

S:\17\_DRAFTING\RAWSON HOMES\CONTRACTS AND JOB FILES\A009863 Rtheinberger & Withers - Lot D, Lewis Street, Mudgee\A009863 Amended Submission Plans.rvt

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**SCHEDULE OF DRAWINGS:**

SHEET	CONTENTS
01	COVER SHEET
02	SITE PLAN
03	FLOOR PLAN
04	ELEVATIONS 1-2
05	ELEVATIONS 3-4
06	SECTIONS
07	WET AREA PLANS
08	SLAB PLAN (NOT IN SET)
09	STORMWATER PLAN
10	SEDIMENT & SITE ANALYSIS
KD	KITCHEN DETAIL
KV	KITCHEN VIEWS

**AMENDMENTS**

ISS	DESCRIPTION	BY	DATE
A	APPLICATION PLANS (VARI:1-28)	TF	05.05.21
B	SUBMISSION PLANS (TV : 1)	PG	12.08.21
C	AMENDED SUBMISSION PLANS (TV:3) (COUNCIL REQ.)	BM	18.02.22

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

**AMENDED SUBMISSION PLANS - DA**  
SIGNATURE: \_\_\_\_\_

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**RAWSON HOMES**  
UNIT 4/14 ERSKINE STREET  
DUBBO NSW 2830  
TELEPHONE 02 6884 6999  
FAX 02 6884 1075  
  
Builder's licence No. 33493C



CLIENT: \_\_\_\_\_  
SITE ADDRESS: \_\_\_\_\_

HOUSE TYPE: \_\_\_\_\_  
MODEL: CUSTOM SINGLE STORY  
FACADE: CONTEMPORARY  
TYPE: SINGLE GARAGE  
SPECIFICATION: CUSTOM COLLECTIONS  
  
DRAWING TITLE:  
**COVER SHEET**

DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION:
TT	12.08.21	QC	
COUNCIL AREA:		SCALE:	
MID-WESTERN			
JOB No:	DRWG No:	ISSUE:	
<b>A009863</b>	<b>01</b>	<b>C</b>	

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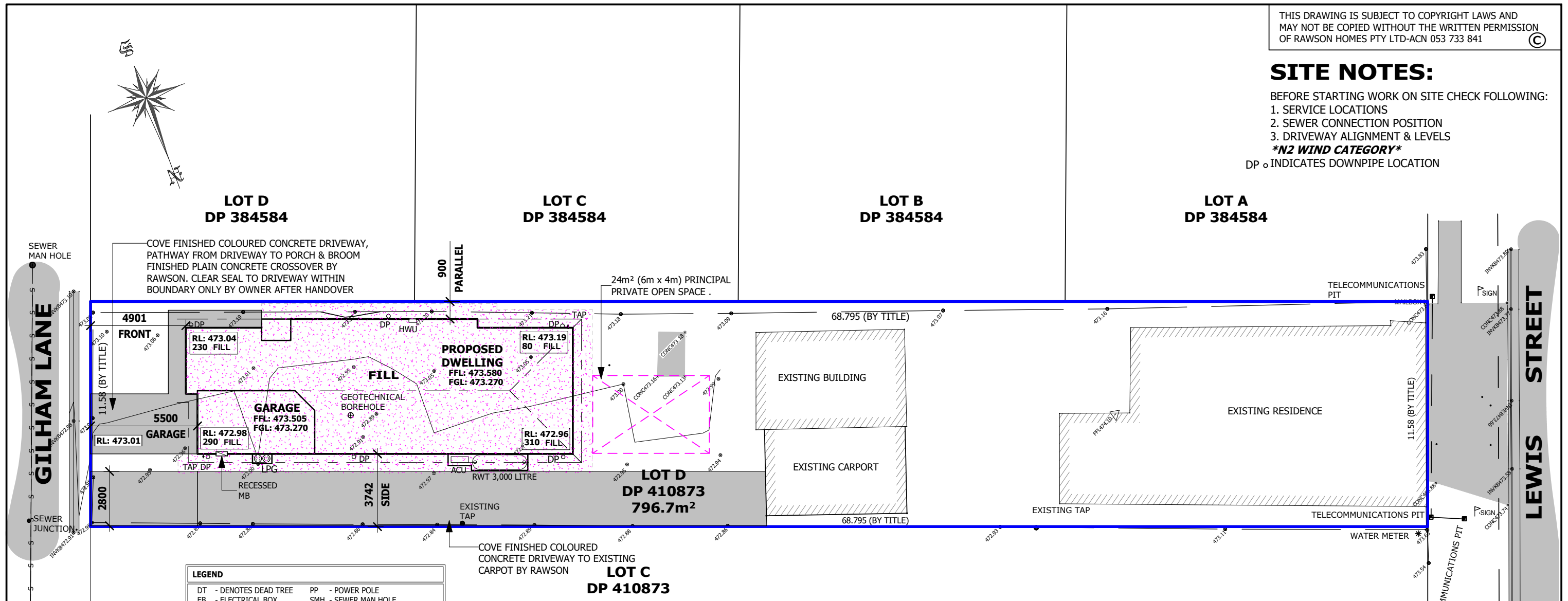
### SITE NOTES:

BEFORE STARTING WORK ON SITE CHECK FOLLOWING:

- SERVICE LOCATIONS
- SEWER CONNECTION POSITION
- DRIVEWAY ALIGNMENT & LEVELS

**\*N2 WIND CATEGORY\***

DP ○ INDICATES DOWNPIPE LOCATION



LEGEND	
DT - DENOTES DEAD TREE	PP - POWER POLE
EB - ELECTRICAL BOX	SMH - SEWER MAN HOLE
EM - ELECTRICAL METER	SIO - SEWER INSPECTION OPENING
G - GAS METER	SV - SEWER VENT PIPE STOP VALVE
H - HYDRANT	S - DENOTES TREE STUMP
R - HYDRANT RECYCLED	SWO - DENOTES STORM WATER PIT
KO - DENOTES KERB OUTLET	T - DENOTES TREE
LP - LIGHT POLE	TP - TELESTRA PIT
LH - LAMP POLE	WT - WATER TAG
MH - MAN HOLE	WM - WATER METER
▲ - BENCH MARK	▭ - GULLY PIT
① - PHOTO POINT	▬ - VEHICULAR CROSSING

- GENERAL SITING NOTES**
- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENT SUBJECT TO CONFIRMATION UPON COMPLETION OF ARCHITECTURAL PLANS.
  - ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEPDOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.
  - ALL AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS.
  - ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.
  - NO ALLOWANCES HAS BEEN MADE FOR RETAINING WALLS, BY OWNER AFTER HANDOVER IF REQUIRED.

EXISTING TREES GREATER THAN 8m IN HEIGHT WITHIN 3m OF THE PROPOSED BUILDING OR ANY TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION.

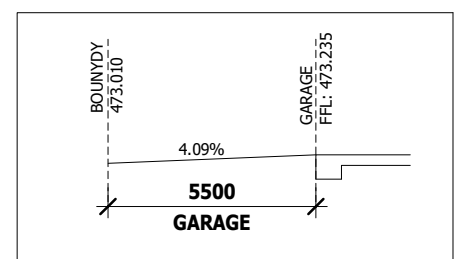
**0.23m FALL ACROSS BUILDING ENVELOPE**

**DRIVEWAY & FRONT PATH TO COMPLY WITH AS2890**

**NOTE:** OWNER TO PROVIDE STANDARD WATER & ELECTRICAL CONNECTION TO WITHIN 5m OF PROPOSED DWELLING PRIOR TO RAWSON HOMES CONSTRUCTION

- GENERAL SURVEY NOTES**
- CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
  - DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY NSW LAND REGISTRY SERVICES PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED. BUILDINGS AND FENCES ARE SHOWN IN APPROXIMATE POSITIONS ONLY AND COULD VARY + OR - 100MM.
  - SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.
  - DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

SITE CALCULATIONS DA		
GROUND FLOOR	111.37	m <sup>2</sup>
GARAGE AREA	19.10	m <sup>2</sup>
TOTAL LIVING AREA	111.37	m <sup>2</sup>
SITE AREA	796.70	m <sup>2</sup>
BUILDING FOOTPRINT (INCLUDING UNENCLOSED AREA)	131.37	m <sup>2</sup>
DRIVEWAY & PATH	24.38	m <sup>2</sup>
CROSSOVER	0.00	m <sup>2</sup>
ADDITIONAL DRIVEWAY	97.3	m <sup>2</sup>
TOTAL FRONT AREA	56.75	m <sup>2</sup>
FRONT LANDSCAPE AREA	57.04	%
TOTAL LANDSCAPE AREA	640.95	m <sup>2</sup>
LANDSCAPE AREA (%)	80.45	%
TOTAL BUILT UPON AREA	19.44	%
FLOOR SPACE RATIO	0.14	:1
SITE COVERAGE	16.49	%



### DRIVEWAY GRADIENT

SCALE: 1 : 200

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_



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Builder's licence No. 33493C

HOUSE TYPE  
MODEL: CUSTOM SINGLE STORY  
FACADE: CONTEMPORARY  
TYPE: SINGLE GARAGE  
SPECIFICATION: CUSTOM COLLECTIONS

DRAWING TITLE:  
**SITE PLAN**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 200	
JOB No: A009863	DRWG No: 02	ISSUE: C	

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**NOTES:**

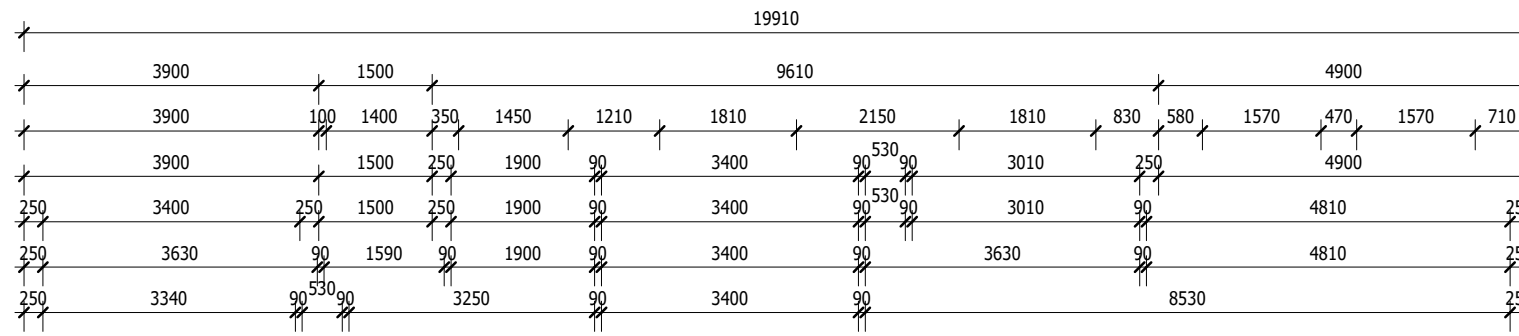
- ALL EXTERNAL DOORS TO BE FITTED WITH DRAFT EXCLUSION DEVICE
- WC DOORS TO BE FITTED WITH LIFT-OFF HINGES
- WINDOW OPENING SIZES TO BE CHECKED BEFORE FRAMES ARE CONSTRUCTED
- FRAMES & TRUSSES TO SATISFY AS 1684 SAA TIMBER FRAMING CODE
- ROOF SPACE TO BE VENILATED BY EAVE VENTS
- CONDENSATION MANAGEMENT TO BE INSTALLED AS PER PART 3.8.7 NCC 2019

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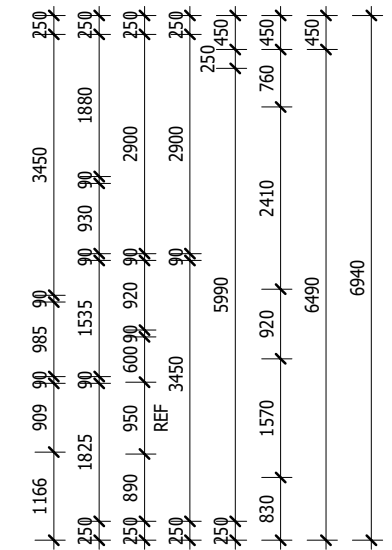
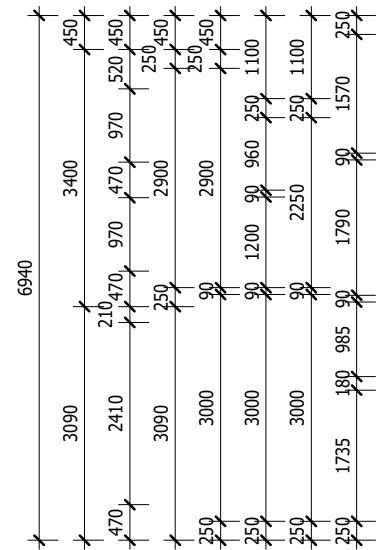
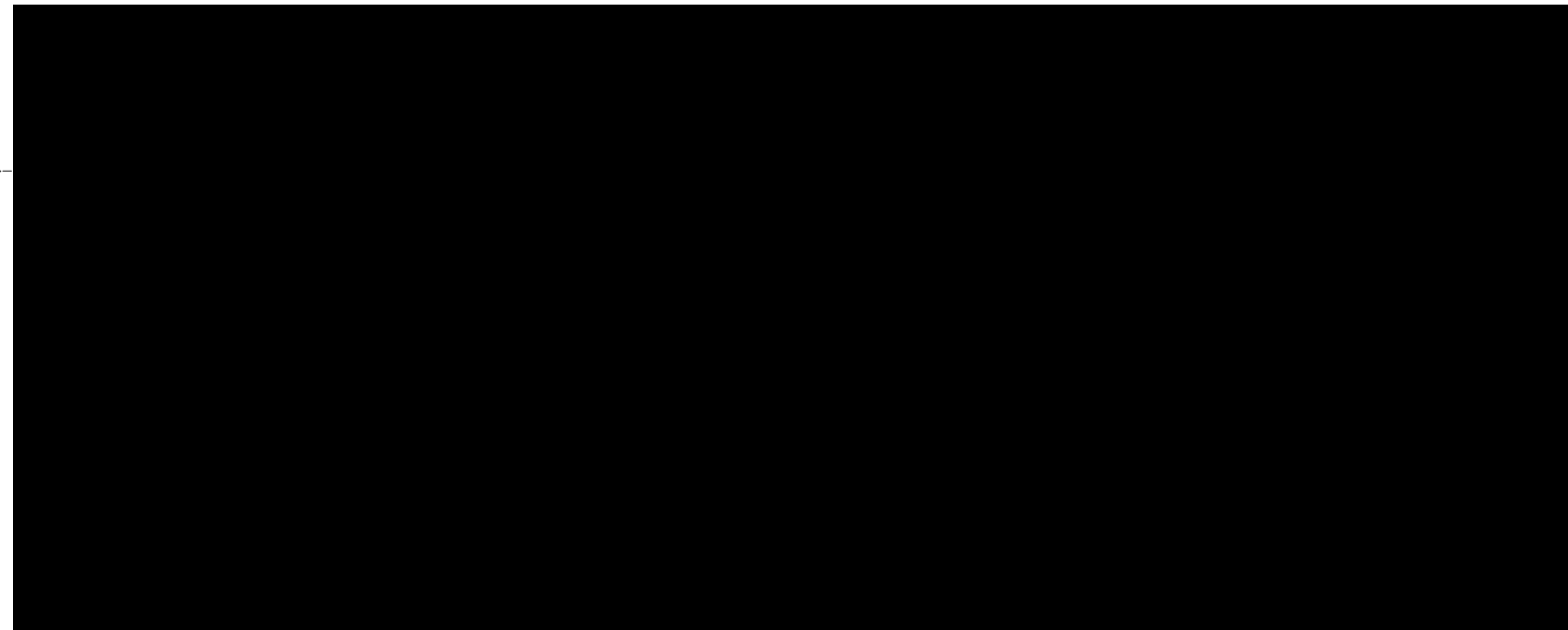
**A/C NOTE:**  
POSITIONS OF OUTLETS, RETURN AIR AND NUMBER OF DROPPERS IS DETERMINED BY AIR CONDITIONING CONTRACTOR

ROOF AREA: 164.155 m<sup>2</sup>  
CONDITIONED FLOOR AREA: 102.278 m<sup>2</sup>  
UNCONDITIONED FLOOR AREA: 90.92 m<sup>2</sup>

**NOTE:**  
- COLONIAL 67 x 18mm PROFILE SKIRTING & ARCHITRAVE THROUGHOUT DWELLING  
- CSR TEMPO 90mm CORNICE THROUGHOUT DWELLING



6 STAR

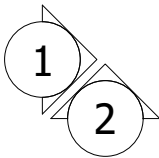
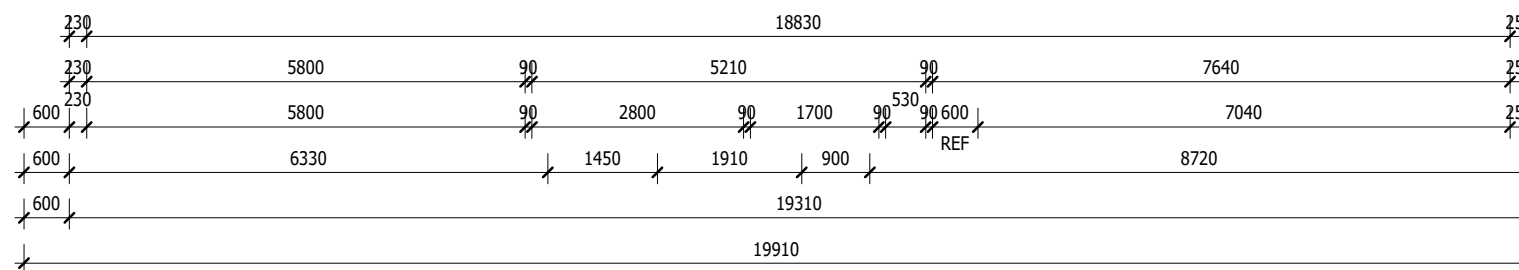


**NOTE:** LOCATION OF ELECTRICAL METER TO BE DETERMINED BY CONTRACTOR ON SITE TO NEAREST POINT OF CONNECTION



SLAB BY RAWSON, 2 x EXCHANGE  
LPG BOTTLES SUPPLIED BY CLIENT  
AFTER HANDOVER

TO LAUNDRY & LINEN



FLOOR AREAS	
LIVING	111.37 m <sup>2</sup>
GARAGE	19.10 m <sup>2</sup>
PORCH	1.65 m <sup>2</sup>
<b>TOTAL</b>	<b>132.12 m<sup>2</sup></b>

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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Builder's licence No. 33493C



CLIENT:  
**MR J. RHEINBERGER & MS A. WITHERS**  
  
SITE ADDRESS:  
**LOT D (DP 410873)  
LEWIS STREET  
MUDGE, NSW 2850**

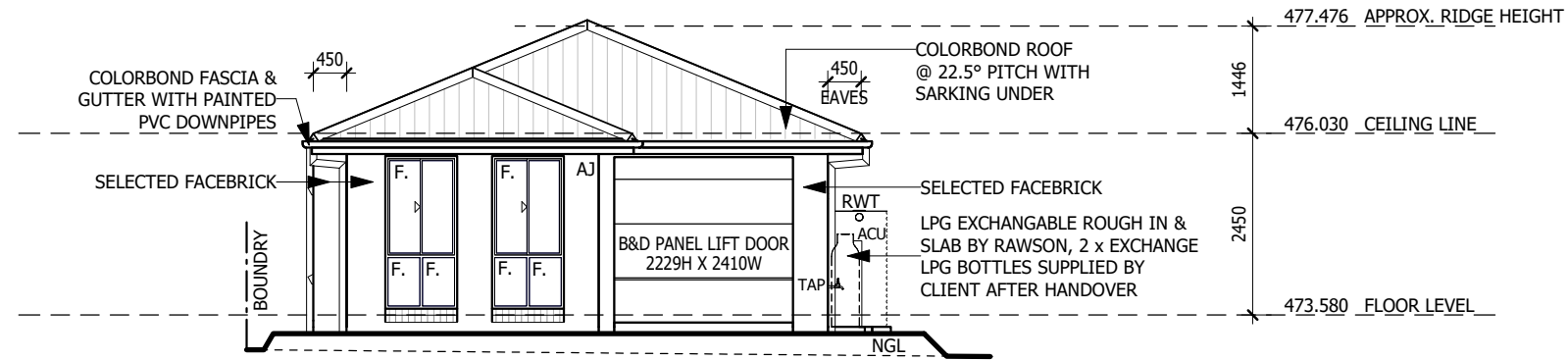
HOUSE TYPE  
MODEL: **CUSTOM SINGLE STORY CONTEMPORARY**  
FACADE: **SINGLE GARAGE**  
TYPE: **CUSTOM COLLECTIONS**  
  
DRAWING TITLE:  
**FLOOR PLAN**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 100	
JOB No: <b>A009863</b>	DRWG No: <b>03</b>	ISSUE: <b>C</b>	

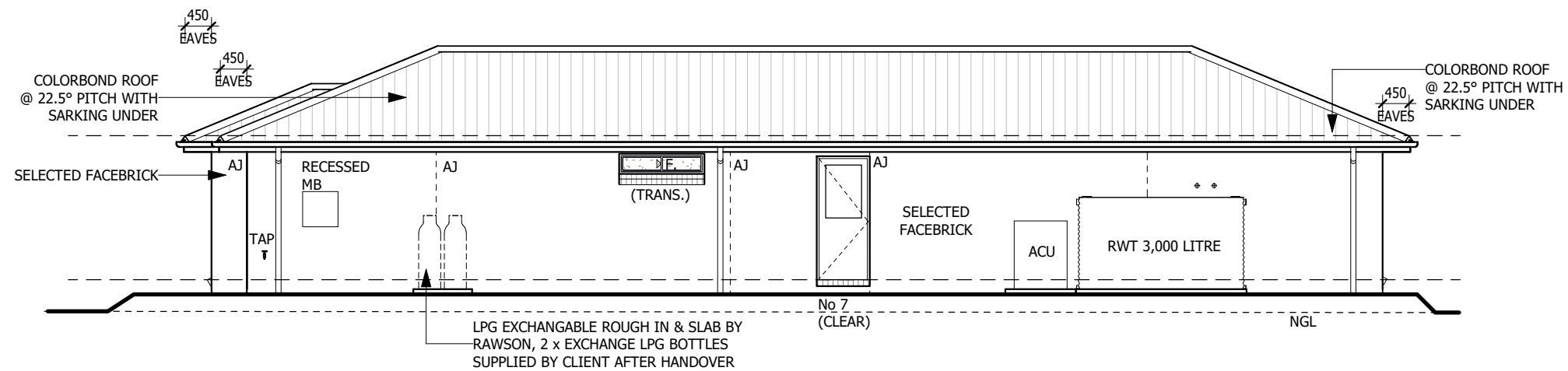
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NYLON MESH FLYSCREENS TO ALL OPENING WINDOWS, SLIDING AND STACKER DOORS (EXCLUDING HINGED DOORS)

CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



**ELEVATION 1**



**ELEVATION 2**

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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SITE ADDRESS:  
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 LEWIS STREET  
 MUDGEE, NSW 2850**

HOUSE TYPE  
 MODEL: **CUSTOM SINGLE STORY CONTEMPORARY**  
 FACADE: **SINGLE GARAGE**  
 TYPE:  
 SPECIFICATION: **CUSTOM COLLECTIONS**

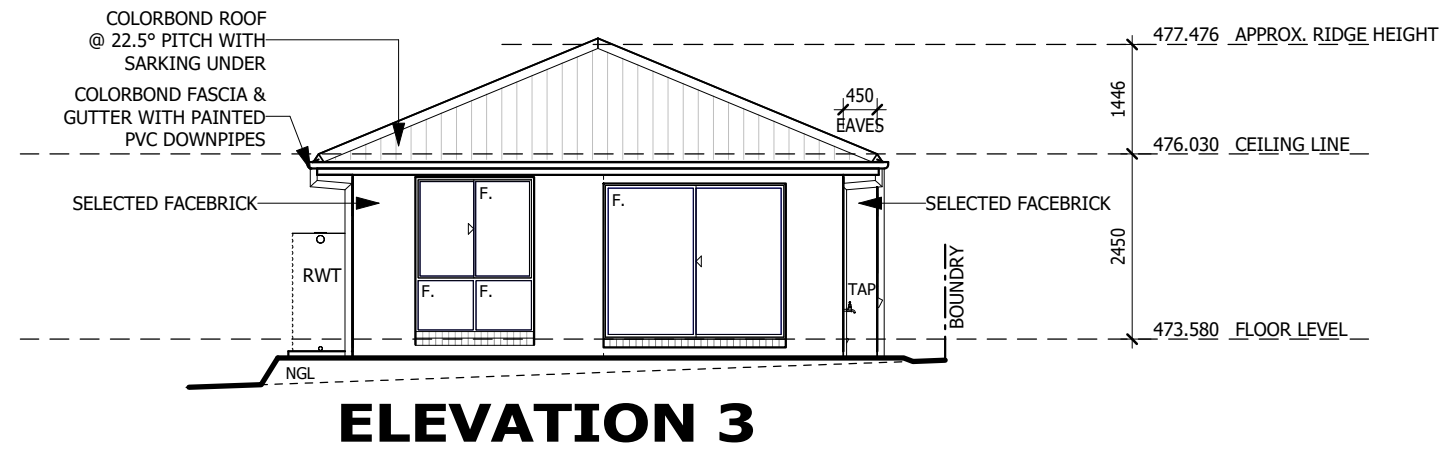
DRAWING TITLE:  
**ELEVATIONS 1-2**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 100	
JOB No: A009863	DRWG No: 04	ISSUE: C	

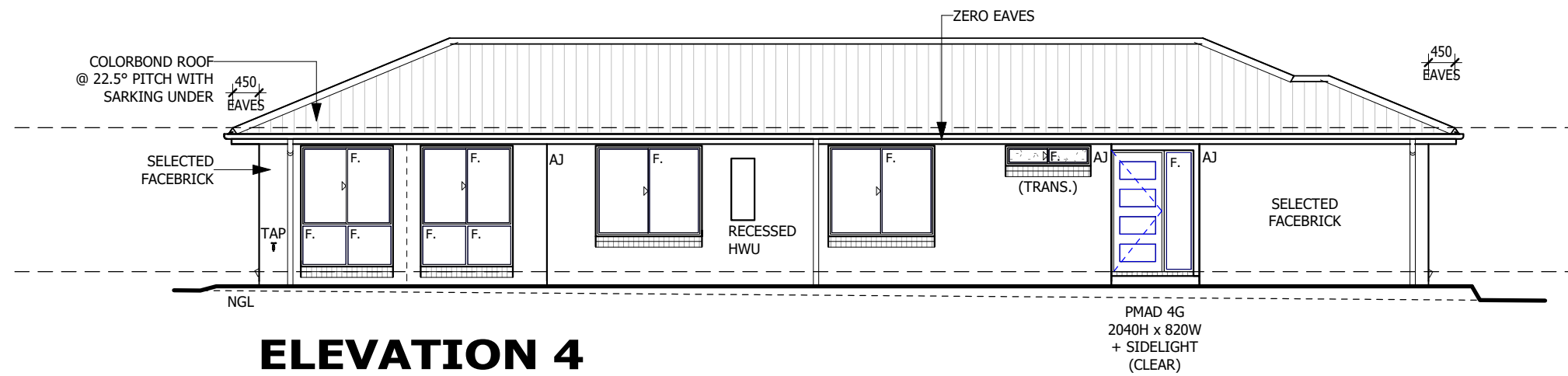
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CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



**ELEVATION 3**



**ELEVATION 4**

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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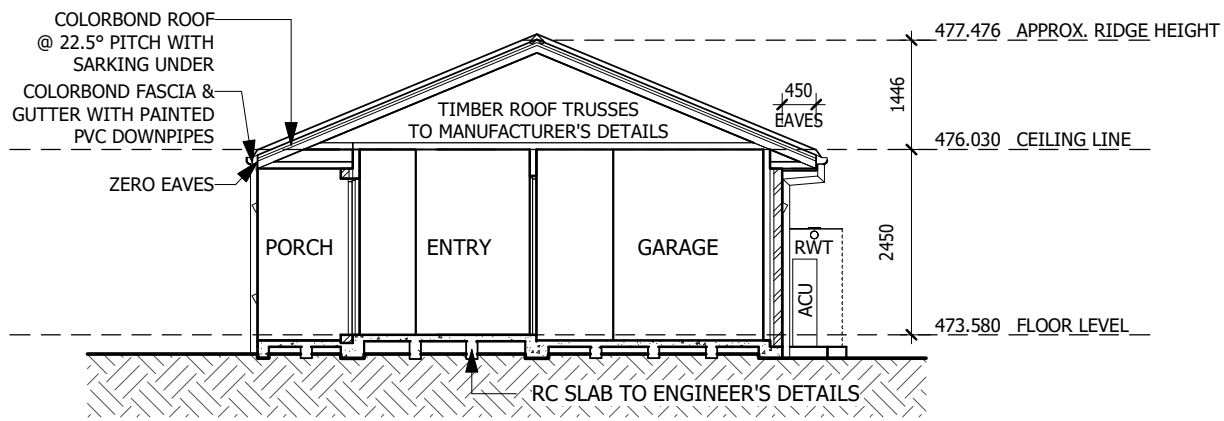
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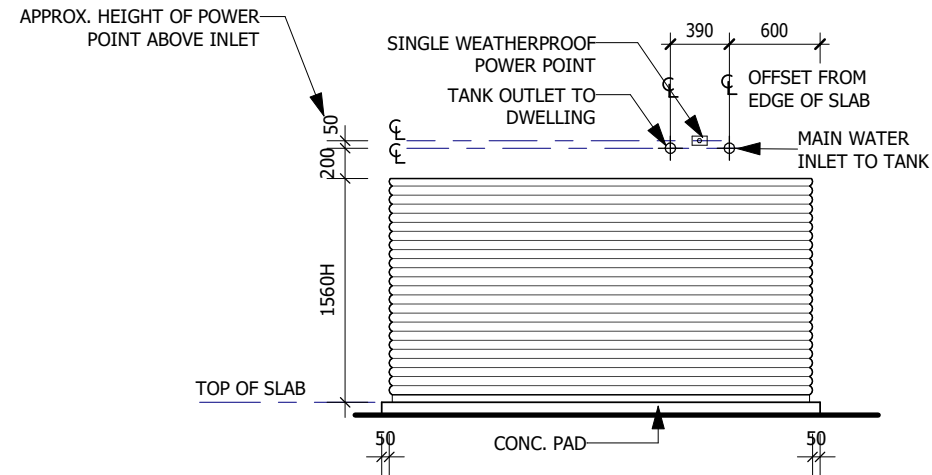
HOUSE TYPE  
MODEL: **CUSTOM SINGLE STORY CONTEMPORARY**  
FACADE: **SINGLE GARAGE**  
TYPE: **CUSTOM COLLECTIONS**  
DRAWING TITLE:  
**ELEVATIONS 3-4**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 100	
JOB No: <b>A009863</b>	DRWG No: <b>05</b>	ISSUE: <b>C</b>	



### SECTION A-A

SCALE: 1 : 100

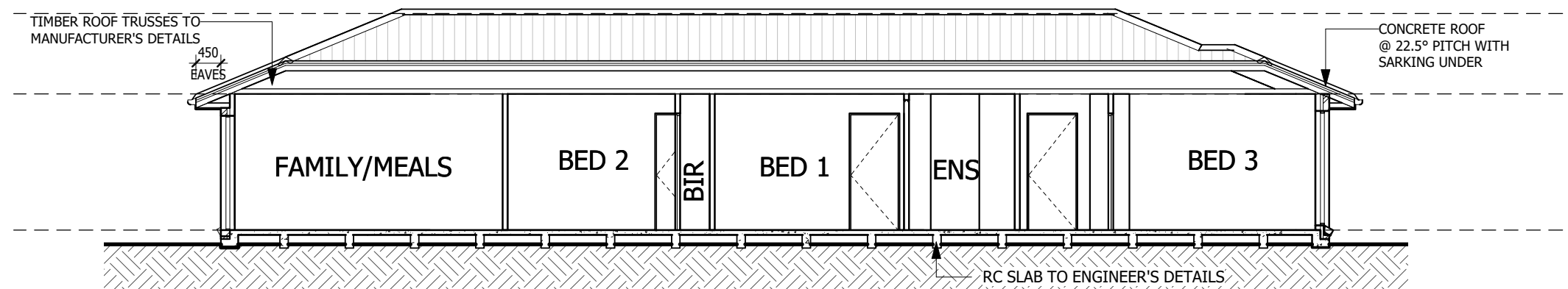


### RAINWATER TANK

SCALE: 1 : 50

**INSULATION NOTE:**

- R4.1 BULK INSULATION BATTS TO LIVING AREA CEILINGS (EXCLUDING CEILINGS OVER GARAGE, PORCH, ALFRESCO & BALCONY)
- R2.5 INSULATION TO EXTERNAL WALLS INCLUDING INTERNAL WALL BETWEEN GARAGE & HOUSE (EXCLUDES EXTERNAL WALLS OF GARAGE)
- CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



### SECTION B-B

SCALE: 1 : 100

BASIX COMMITMENTS						
PROJECT DETAILS			STORMWATER	ENERGY	LIGHTING	
Site area	797	m <sup>2</sup>	Rainwater tank to collect at least 100m <sup>2</sup> of rain run off from roof area	<b>ACTIVE COOLING/HEATING 1-phase</b>	Applicant must provide a window or skylight for natural lighting to 2 bathrooms/toilets	
Roof area	164.0	m <sup>2</sup>	Rainwater tank to be connected to all toilets with in the development	Cooling system with day/night zoning for bedrooms & living areas with an EER 3.0-3.5	<b>COOKING (KITCHEN APPLIANCES)</b>	
number of bedrooms	3		Rainwater tank to be connected to cold water tap to supply water to the washing machine	Heating system with day/night zoning for bedrooms & living areas with an EER 3.5-4.0	Install a gas cooktop and electric oven	
Total area of vegetation (garden & lawn)	100	m <sup>2</sup>	Rainwater to be connected to at least one outdoor tap for garden watering	<b>VENTILATION</b>	<b>DESIGN ENHANCEMENT</b>	
ABSA Certificate Number (if applicable)	N/A		Rainwater to have a capacity of at least 3000 Litres	At least 1 Bathroom: individual fan, ducted to façade or roof: manual switch on/off	Install a fixed outdoor clothes drying line	
Net conditioned floor area	102.27	m <sup>2</sup>	<b>WATER</b>	Kitchen: individual fan, ducted to façade or roof: manual switch on/off		
Net Unconditioned floor area	9	m <sup>2</sup>	All showers with in the development are to have a minimum rating of 3 star showerheads	Laundry: natural ventilation only, or no laundry.		
Concession claimed (if applicable)	N/A		Each toilet is to have a flushing system of no less than a 4 star rating	<b>ARTIFICIAL LIGHTING</b>	<b>INSULATION</b>	
Cooling load (if applicable)	N/A	MJ/m <sup>2</sup> /pa	All basin taps to have a minimum rating of 3 star rating	The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms,	External wall [including garage]: R2.5	
Heating load (if applicable)	N/A	MJ/m <sup>2</sup> /pa	All taps in the kitchen are to have a minimum rating of 3 star	at least 3 of the bedrooms / study; at least 1 of the living / dining rooms; the kitchen; all bathrooms/toilets; the laundry; all hallways;	Ceiling [excluding garage & alfresco]: R4.1	
			<b>HOT WATER</b>			
			Gas instantaneous with a performance of 6 stars			

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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HOUSE TYPE  
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FACADE: **CONTEMPORARY**  
TYPE: **SINGLE GARAGE**  
SPECIFICATION: **CUSTOM COLLECTIONS**  
  
DRAWING TITLE:  
**SECTIONS**

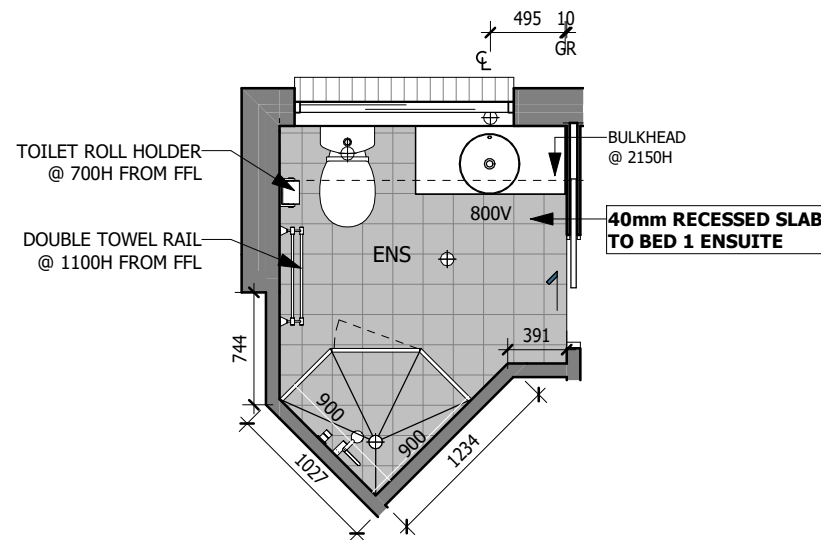
DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION:
TT	12.08.21	QC	
COUNCIL AREA:		SCALE:	
MID-WESTERN		As indicated	
JOB No:	DRWG No:	ISSUE:	
<b>A009863</b>	<b>06</b>	<b>C</b>	

**LAUNDRY / WC**

- PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY
- TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 650mm HIGH
- 950H BENCHTOP

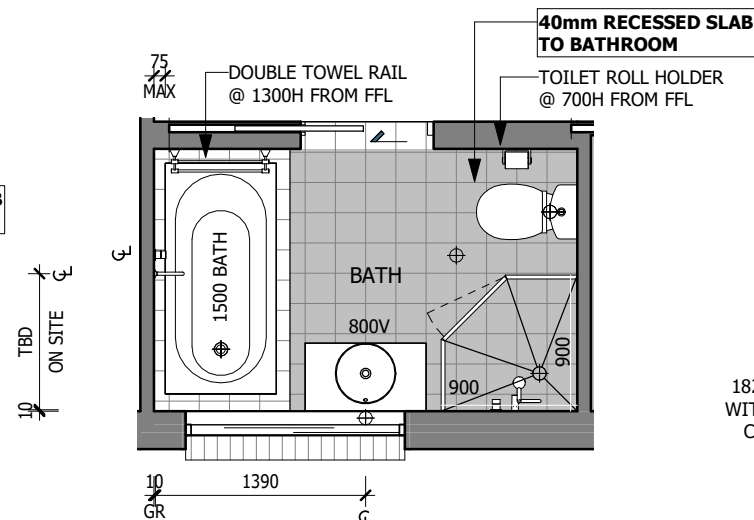
**BATHROOM**

- PROVIDE 2100 HIGH TILES TO SHOWER RECESS 500 OVER BATH & SKIRTING TILE TO PERIMETER WALL
- 1900H SHOWER HEAD FROM FFL TO UNDERSIDE OF SHOWER HEAD
- FLOATING VANITIES
- PROVIDE KICKER TO BATH HOB 140H x 70W
- SQUARE SET WALL/CEILING JUNCTION TO MAIN BATHROOM, ENSUITE (INCLUDING SEPARATE WC ONLY WHEN WITHIN BATHROOM OR ENSUITE).
- FRAMELESS POLISHED EDGE MIRRORS (NO BACKING BOARD) THROUGHOUT
- BASIN MOUNTED TAP/MIXERS TO BATHROOM AND BED 1 ENSUITE
- WALL MOUNTED TAP/MIXERS TO BATHTUB AND BEDROOM 1 ENSUITE



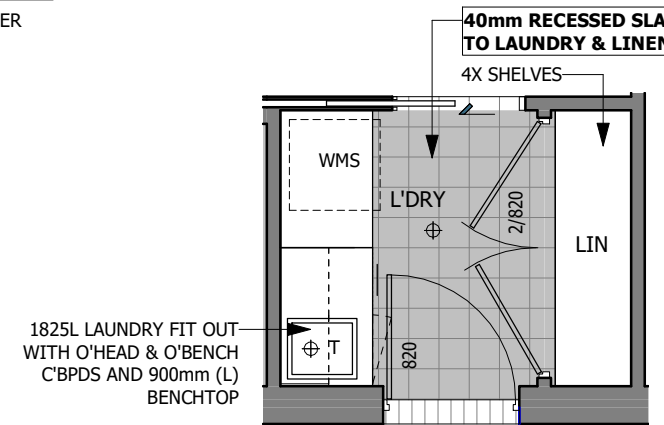
**BED 1 ENSUITE**

SCALE: 1 : 50



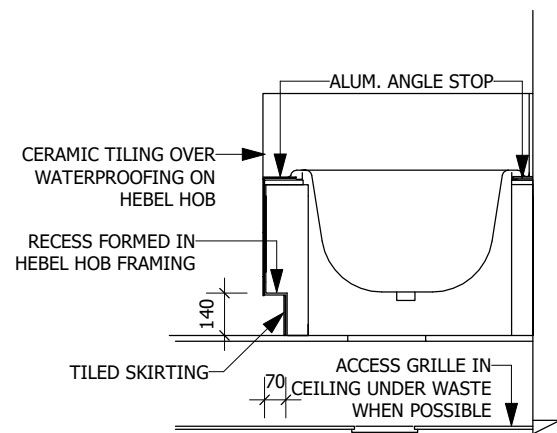
**MAIN BATH**

SCALE: 1 : 50



**LAUNDRY PLAN**

SCALE: 1 : 50



**BATH HOB DETAIL**

SCALE: 1 : 25

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

NOTES:  
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**RAWSON HOMES**  
UNIT 4/14 ERSKINE STREET  
DUBBO NSW 2830  
TELEPHONE 02 6884 6999  
FAX 02 6884 1075  
Builder's licence No. 33493C

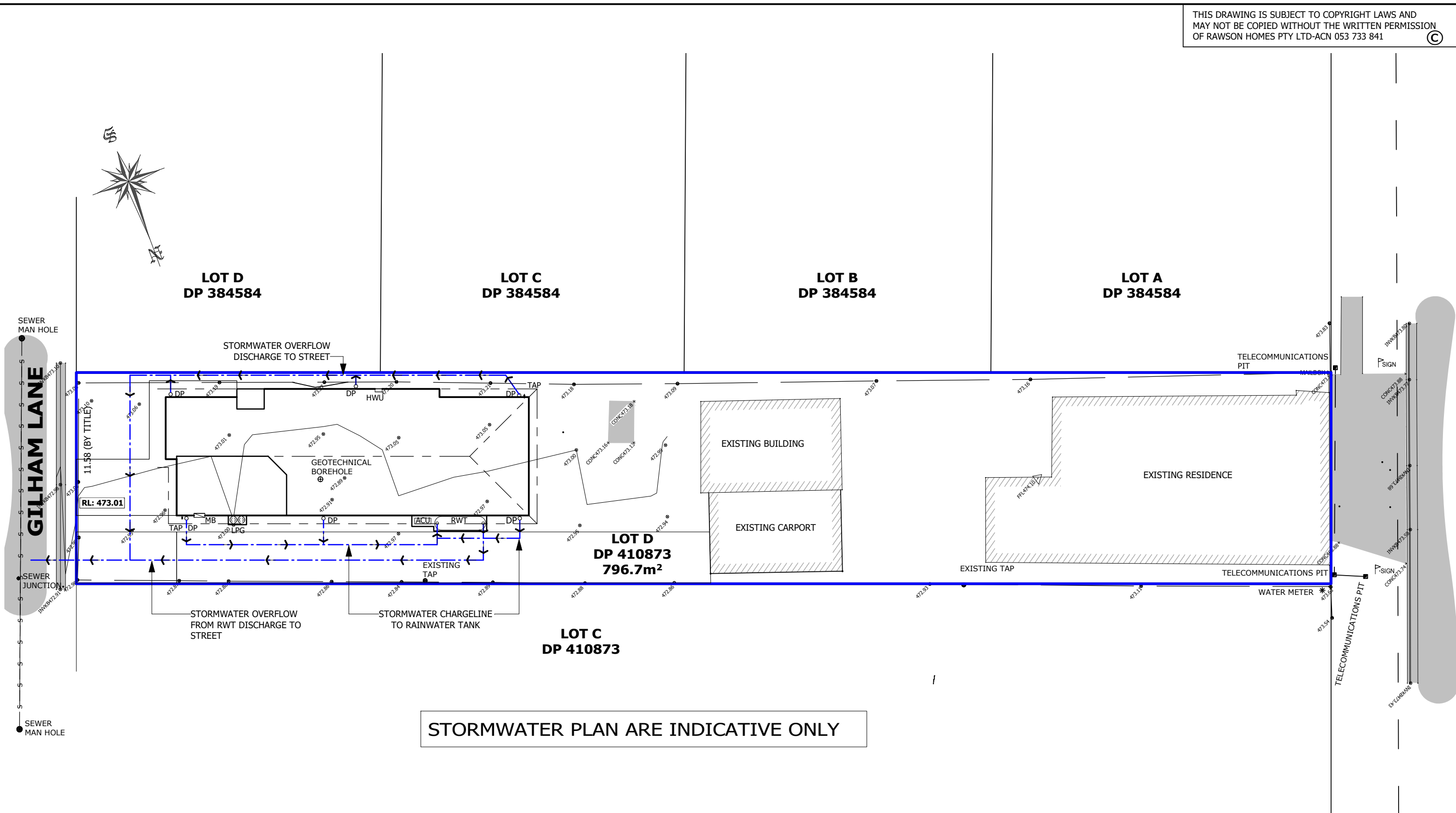


CLIENT:  
**MR J. RHEINBERGER & MS A. WITHERS**  
SITE ADDRESS:  
**LOT D (DP 410873)  
LEWIS STREET  
MUDGEE, NSW 2850**

HOUSE TYPE  
MODEL: **CUSTOM SINGLE STORY**  
FACADE: **CONTEMPORARY**  
TYPE: **SINGLE GARAGE**  
SPECIFICATION: **CUSTOM COLLECTIONS**  
DRAWING TITLE:  
**WET AREA PLANS**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: As indicated	
JOB No: A009863	DRWG No: 07	ISSUE: C	

S:\17. DRAFTING\RAWSON HOMES\CONTRACTS AND JOB FILES\A009863 Rheinberger & Withers - Lot D, Lewis Street, Mudgee\A009863 Amended Submission Plans.rvt



STORMWATER PLAN ARE INDICATIVE ONLY

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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MUDGEE, NSW 2850**

HOUSE TYPE  
MODEL: **CUSTOM SINGLE STORY**  
FACADE: **CONTEMPORARY**  
TYPE: **SINGLE GARAGE**  
SPECIFICATION: **CUSTOM COLLECTIONS**

DRAWING TITLE:  
**STORMWATER PLAN**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 200	
JOB No: A009863	DRWG No: 09	ISSUE: C	



NOISE

GILHAM LANE

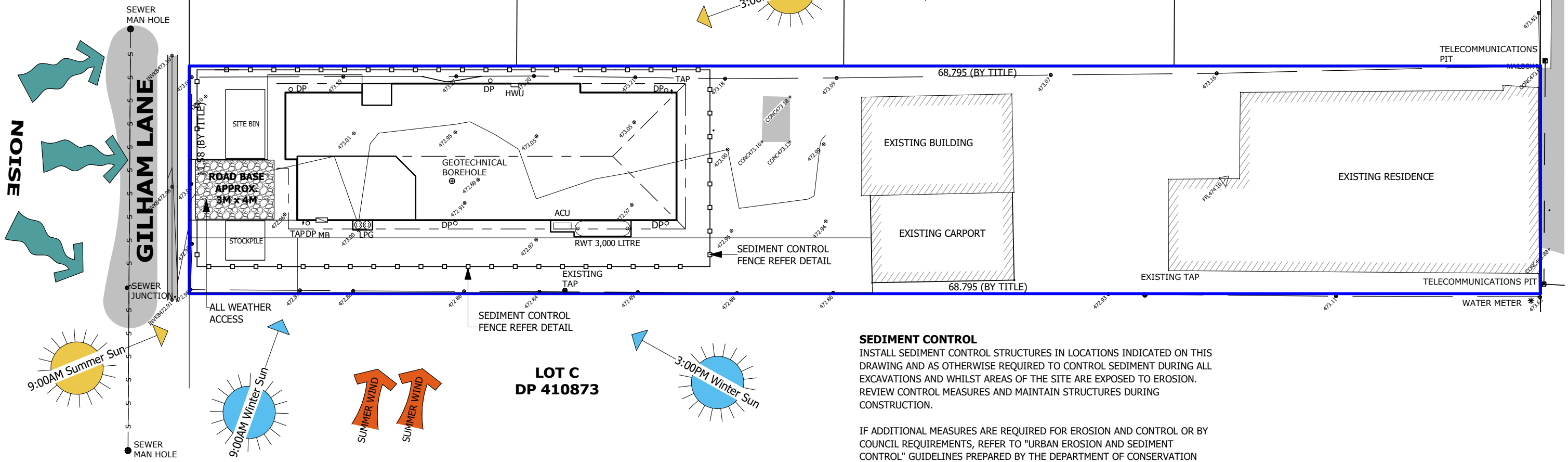
LOT D  
DP 384584

LOT C  
DP 384584

LOT B  
DP 384584

LOT A  
DP 384584

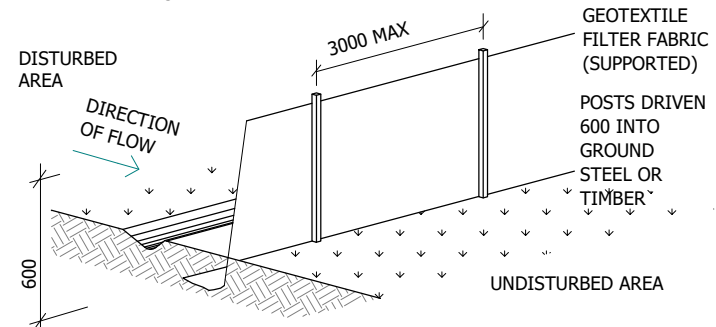
LOT C  
DP 410873



**SEDIMENT CONTROL**

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



**SEDIMENT FENCE DETAIL**  
SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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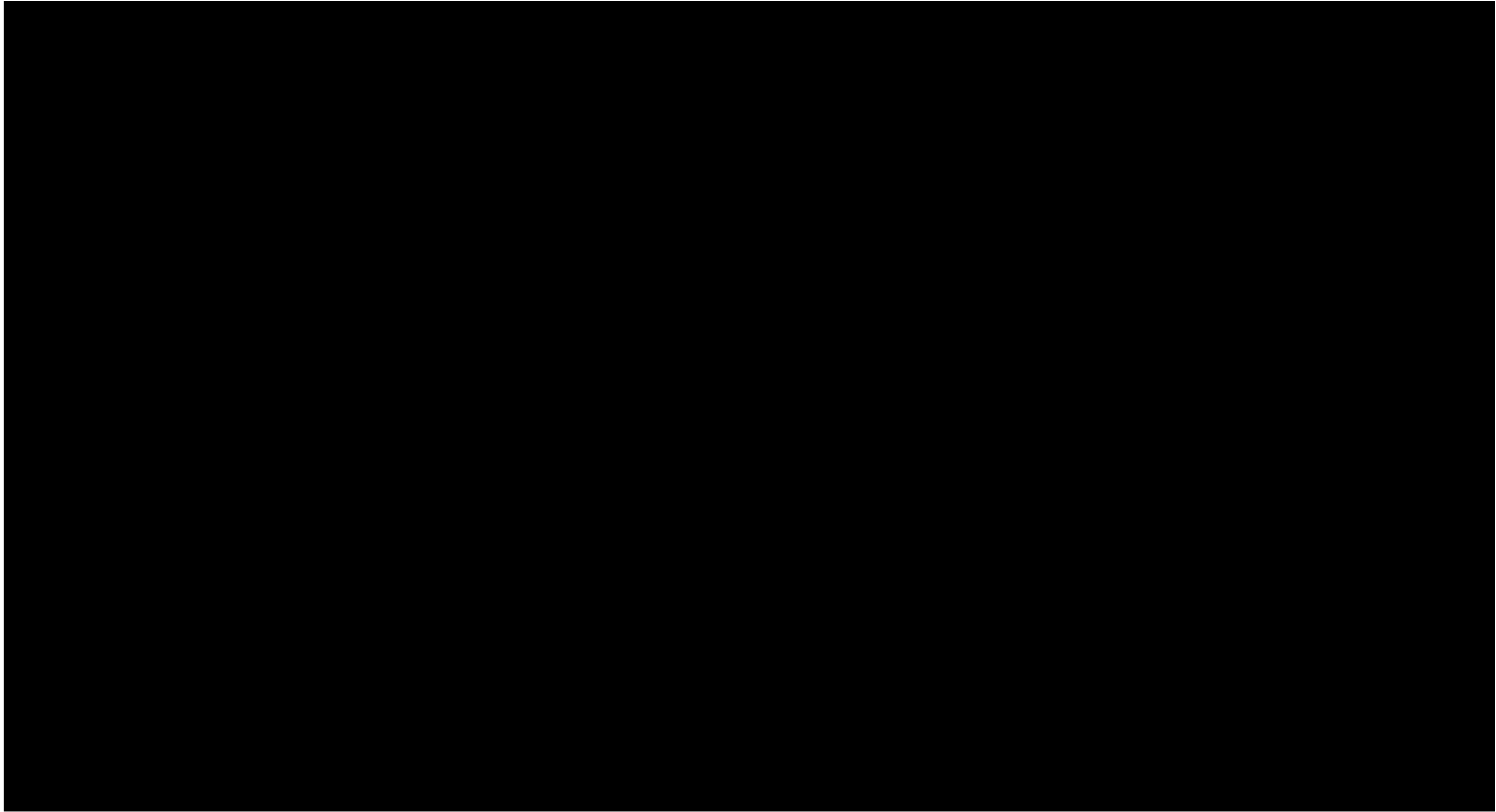
CLIENT:  
**MR J. RHEINBERGER & MS A. WITHERS**

SITE ADDRESS:  
**LOT D (DP 410873)  
LEWIS STREET  
MUDGE, NSW 2850**

HOUSE TYPE  
MODEL: **CUSTOM SINGLE STORY CONTEMPORARY**  
FACADE: **SINGLE GARAGE**  
TYPE: **CUSTOM COLLECTIONS**

DRAWING TITLE:  
**SEDIMENT & SITE ANALYSIS**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 200	
JOB No: A009863	DRWG No: 10	ISSUE: C	



CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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**MR J. RHEINBERGER & MS A. WITHERS**

SITE ADDRESS:  
**LOT D (DP 410873)  
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MUDGEE, NSW 2850**

HOUSE TYPE  
MODEL: **CUSTOM SINGLE STORY**  
FACADE: **CONTEMPORARY**  
TYPE: **SINGLE GARAGE**  
SPECIFICATION: **CUSTOM COLLECTIONS**

DRAWING TITLE:  
**KITCHEN DETAIL**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE: 1 : 50	
JOB No: <b>A009863</b>	DRWG No: <b>KD</b>	ISSUE: <b>C</b>	



CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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FACADE: **CONTEMPORARY**  
TYPE: **SINGLE GARAGE**  
SPECIFICATION: **CUSTOM COLLECTIONS**

DRAWING TITLE:  
**KITCHEN VIEWS**

DRAWN BY: TT	DATE DRAWN: 12.08.21	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID-WESTERN		SCALE:	
JOB No: <b>A009863</b>	DRWG No: <b>KV</b>	ISSUE: <b>C</b>	