



Business Papers 2024

MID-WESTERN REGIONAL COUNCIL

SEPARATELY ATTACHED ATTACHMENTS

*A prosperous and progressive
community we proudly call home*



ATTACHMENTS

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8.2 Planning Proposal Lot 101 DP 1221261 - 148 Wyoming Road, Stubbo - Post Exhibition

REPORT BY THE MANAGER STRATEGIC PLANNING
TO 20 NOVEMBER 2024 ORDINARY MEETING
GOV400103, LAN900153, PP-2023-235

RECOMMENDATION

That Council:

1. **receive the report by the Manager Strategic Planning on the Planning Proposal Lot 101 DP 1221261 - 148 Wyoming Road, Stubbo - Post Exhibition; and**
2. **request the NSW Department of Planning, Housing and Infrastructure to draft and finalise the amendment to the *Mid-Western Regional Local Environmental Plan 2012*.**

1. Executive summary

At Council's 16th August 2023 ordinary meeting, Council resolved unanimously to support the Planning Proposal and forward it to the NSW Department of Planning, Housing and Infrastructure (DPHI) for a Gateway Determination. A copy of this Council report is provided as Attachment 1. The Planning Proposal at 148 Wyoming Road, Stubbo (Lot 101 DP 1221261), proposes to amend the Mid-Western Local Environmental Plan 2012 to rezone RU1 Primary Production to R5 Large lot Residential with a minimum lot size of 12ha.

The Planning Proposal is consistent with Figure 4-4 Rural lifestyle opportunities – 5km offset area surrounding Gulgong of the Comprehensive Land Use Strategy (CLUS) 2010. Specially, the subject site is located within 'Area B', one of the long-term opportunities for Gulgong.

A conditional DPHI Gateway Determination was granted on 14th December 2023. The Gateway Determination has been provided as Attachment 2. The Planning Proposal was placed on public exhibition on 3 April 2024 until 30 April 2024, in accordance with Condition 2. The Planning Proposal has been provided as Attachment 3. Condition 1 of the Gateway Determination required the preparation of a biodiversity assessment report, this report is provided as Attachment 4. Eight submissions raising concerns were received during the exhibition period, the issues raised in these submissions are listed below and a staff comment provided. A copy of the submissions are provided as Attachment 5.

It must be highlighted that the Planning Proposal includes (the required) concept subdivision plan. This subdivision plan is subject to future development assessment and specific elements of the design will be assessed during any future development application. Various matters raised in the submissions will be considered in the assessment of any future development application.

Consultation was also undertaken with the Australian Rail Track Corporation (ARTC) and the NSW Department of Climate Change, Energy, the Environment and Water (DCCEE) in accordance with Condition 3. The comments are provided at Attachments 6 and 7.

The purpose of this report is to provide Council with a post exhibition report, outlining the details of submissions received and progress the Planning Proposal to Stage 6: Finalisation of the LEP making process.

2. Disclosure of Interest

Nil.

3. Detailed report

Planning Proposals

Planning Proposal is a term used to describe the application and process of rezoning or making an amendment to a Local Environmental Plan (LEP). A Planning Proposal application is a document that explains the intended effect of the LEP amendment and provides a strategic justification for doing so. The Department of Planning, Housing and Infrastructure (DPHI) has issued *Local Environmental Plan Making Guideline*, to provide guidance and information on the process for preparing planning proposals.

The Gateway Process

DPHI is responsible for assessing Planning Proposals through the Gateway Process. Details of the Gateway Process are outlined in DPHI's *Local Environmental Plan Making Guideline*.

Gateway Timeline

The following table summarises the key components of making an amendment to the Mid-Western Regional Local Environmental Plan 2012 and the progress of the current Planning Proposal through the various stages.

Stage	Completed	Comment
Preparation of a Planning Proposal		
Planning Proposal lodged with Council	✓	April 2023
Staff undertake assessment	✓	April-July 2023
Council Decision to Support Proposal	✓	August 2023
Issue of Gateway Determination		
Council Requests Gateway Determination	✓	October 2023
DPHI Issues Gateway Determination	✓	December 2023
Gateway Conditions Satisfied	✓	September 2024
Consultation		
Consultation with Relevant Agencies	✓	Agency Consultation with: -NSW Department of Climate Change, Energy, the Environment and Water (DCCEEW), response received 7 May 2024. -Australian Rail and Track Corporation ARTC, response received 13 September 2024.
Public Exhibition	✓	3 rd April – 20 th April 2024
Post-Exhibition Report to Council	✓	Reported to the 20 th November 2024 Meeting
Finalisation of the Planning Proposal		
Council Exercises Delegation to Prepare LEP		
Draft LEP by Parliamentary Council		
Opinion Issued and LEP Made		

SUBJECT SITE OUTLINED IN RED AND PROPOSED SUBDIVISION LAYOUT BELOW IN BLACK AND WHITE



Subject Site (red broken line) CLUS Figure 4-4 Rural lifestyle opportunities – 5km offset area surrounding Gulgong (blue line).



Proposed subdivision layout (8 lot yield).

GATEWAY DETERMINATION

A conditional Gateway Determination was received on 14 December 2023 and included four standard conditions. The Planning Proposal was amended in accordance with Condition 1. The amended Planning Proposal is provided as Attachment 7. The Planning Proposal was placed on

public exhibition according to Condition 2. Consultation was completed with ARTC and DCCEEW according to Condition 3, these are attached as Attachment 2 and 8.

CONSULTATION

Community Consultation

Condition 2 of the Gateway Determination required Council to undertake community consultation with a public exhibition period of 20 business days. The Planning Proposal, Gateway Determination and the Biodiversity Constraints and Opportunities Report were placed on public exhibition and 8 submissions were received, a copy of the submissions have been provided as Attachment 5.

Location of Submissions Received



Subject site (red outline), all submissions received (grey, teal outline).

The issues raised in the submissions have been summarised in the table below and a staff comment provided.

<i>Issue raised in the submission</i>	<i>Staff comment</i>
Dust and impacts to health.	It is noted that additional dwellings will result in additional traffic movements. The matter of dust will be a consideration in the assessment of any future development application.
Roads, accessibility and increased traffic.	The matter of upgrading the existing public road would be a matter for consideration by Council's Development Engineering staff in the assessment of any future development application.
Impact on water supply.	Whilst approximately sixty percent of the CLUS 'Area B' opportunity is mapped as groundwater vulnerable the proposed minimum lot size is 12

	hectares. Such a minimum lot size allows for the required separation distance from onsite sewerage disposal to a water bore.
Creek crossing/Flooding impacts.	The matter of upgrading the existing public road would be a matter for consideration by Council's Development Engineering staff in the assessment of any future development application.
Environment and impacts to wildlife with more activity within the area.	The Department of Climate Change, Energy, Environment and Water have addressed in their comments as attachment 3, the potential impacts to the environment, and the native wildlife. Recommendations are made to ensure the biodiversity be assessed at the development application stage thoroughly and the potential inclusion of a vegetation management plan be considered.
Noise from traffic and potential construction due to subdividing land.	It is noted that additional dwellings will result in additional traffic movements noise. The matter of noise will be a consideration in the assessment of any future development application.
Potential future land use conflict between new landowners and current agricultural practices.	Council has engaged CASA for comment around the use of a private airstrip on an adjoining lot. Regarding any future development on the potentially subdivided land, a recommendation of a set back from the boundary will be advised at the development application stage to avoid any potential land use conflict.

Agency Consultation

In accordance with Condition 3, a Biodiversity report was undertaken and submitted to NSW Department of Climate Change, Energy, the Environment and Water.

FINALISATION OF PLANNING PROPOSAL

Following the consideration of the matters raised in the submission and agency referrals, the recommendation of staff is to proceed to Stage 6: Finalisation. Stage 6 is the last stage in the LEP making process.

4. Community Plan implications

Theme	Looking After Our Community
Goal	Vibrant towns and villages
Strategy	Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning

5. Strategic implications

Council Strategies

Mid-Western Regional Comprehensive Land Use Strategy, August 2010.

Council Policies

The steps involved towards the notification of the Planning Proposal will not require any change to relevant policies.

Legislation

The Planning Proposal has been considered in accordance with Division 3.4 Environmental Planning Instruments - LEPs (previously Division 4) Local Environmental Plans of the *Environmental Planning and Assessment Act 1979* and the *Mid-Western Regional Local Environmental Plan 2012*.

6. Financial implications

Nil

7. Associated Risks

If Council does not wish to proceed with finalisation of the Planning Proposal, it can withdraw its support at this stage in the Gateway Process. Council would be required to formally resolve not to proceed with the Planning Proposal and advise DPHI accordingly.

SARAH ARMSTRONG
MANAGER STRATEGIC PLANNING

ALINA AZAR
DIRECTOR DEVELOPMENT

1 May 2024

- Attachments:*
1. Previous Council Report. (separately attached)
 2. Gateway Determination. (separately attached)
 3. Planning Proposal (Post Gateway). (separately attached)
 4. Biodiversity Constraints and Opportunities Report. (separately attached)
 5. Redacted Submissions. (separately attached)
 6. ARTC Referral. (separately attached)
 7. DCCEEW Referral. (separately attached)

APPROVED FOR SUBMISSION:

BRAD CAM
GENERAL MANAGER



MID-WESTERN REGIONAL COUNCIL

COUNCIL MEETING EXTRACT

ORDINARY COUNCIL MEETING: 20 NOVEMBER 2024

- 8.2 PLANNING PROPOSAL LOT 101 DP 1221261 - 148 WYOMING ROAD, STUBBO - POST EXHIBITION
GOV400105, LAN900153, PP-2023-235

MOTION: Palmer / Dicker

That Council:

1. receive the report by the Manager Strategic Planning on the Planning Proposal Lot 101 DP 1221261 - 148 Wyoming Road, Stubbo - Post Exhibition; and
2. request the NSW Department of Planning, Housing and Infrastructure to draft and finalise the amendment to the Mid-Western Regional Local Environmental Plan 2012.

01/24

AMENDMENT Kennedy / Thompson

That Council:

1. **receive the report by the Manager Strategic Planning on the Planning Proposal Lot 101 DP 1221261 - 148 Wyoming Road, Stubbo - Post Exhibition; and**
2. **withdraws its support for the Planning Proposal Lot 101 DP 1221261 - 148 Wyoming Road, Stubbo - Post Exhibition.**

The amendment was put and carried on the casting vote of the Mayor, with Councillors voting as follows:

Councillors	Ayes	Nayes
Cr Kennedy	✓	
Cr Dicker		✓
Cr Karavas	✓	
Cr Palmer		✓
Cr Shelley		✓
Cr Thompson	✓	
Cr Cornish		✓
Cr Lang	✓	

The amendment, on becoming the motion, was put and won on the casting vote of the Mayor, with Councillors voting as follows:

Councillors	Ayes	Nayes
Cr Kennedy	✓	
Cr Dicker		✓
Cr Karavas	✓	
Cr Palmer		✓
Cr Shelley		✓
Cr Thompson	✓	
Cr Cornish		✓



MID-WESTERN REGIONAL COUNCIL
COUNCIL MEETING EXTRACT
ORDINARY COUNCIL MEETING: 20 NOVEMBER 2024

Cr Lang





LOCALITY PLAN.



saleyards lane, mudgee

lot 30 & 29, dpt1267151 & lot 2, dpt10997

DRAWING SCHEDULE.

A 00	COVER SHEET	REV B	DATED 18.09.2024
A 01	EXISTING SITE PLAN	REV B	DATED 18.09.2024
A 02	PROPOSED SITE PLAN	REV B	DATED 18.09.2024
A 03	EXISTING FLOOR PLAN & DEMOLITION	REV A	DATED 17.07.2024
A 04	PROPOSED FLOOR PLAN	REV B	DATED 18.09.2024
A 05	ELEVATIONS	REV A	DATED 17.07.2024
A 06	SECTIONS	REV A	DATED 17.07.2024
A 07	SHADE SAIL LAYOUT	REV A	DATED 18.09.2024

PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2022, the development may be described as follows:

- classification - NCC 'part A6'**
The building has been classified as a 'Class 'B' building - pre-school.
- rise in stories - NCC 'part C2D2'**
The building has a rise in stories of one.
- effective height - NCC 'schedule 1 definitions'**
The building has an effective height of zero, ie less than 25.0m.
- type of construction required - NCC 'part A6, part C2D2 - table C2D2'**
Class 'B' building - 'Type 'C' construction. The building has been deemed 'conditioned' excluding the toilets & urinals.
- climate zone - NCC 'schedule 1 definitions'**
The building is located within climate zone 4.

GENERAL NOTES.

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2022, the Plumbing Code of Australia, 2022 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards, & codes of practice are to be adhered to through the documentation & construction works:

- AS1668 – Mechanical ventilation & air conditioning in Buildings.
- AS3000 – Electrical installations, buildings, structures & premises (known as the saa wiring rules)
- AS1428.1 – General requirements for access - buildings
- AS2890.6 – Off-street parking, mandatory requirements
- AS1680.0 – Interior lighting - safe movement
- Children (Education & Care Services) Regulation 2011

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

EXTENSION TO GOWRIE CHILDCARE CENTRE

39 SALEYARDS LANE, MUDGEE



Project
**EXTENSION TO GOWRIE
CHILDCARE CENTRE**
Site address
39 SALEYARDS LANE, MUDGEE
Client
GHQS PTY LTD

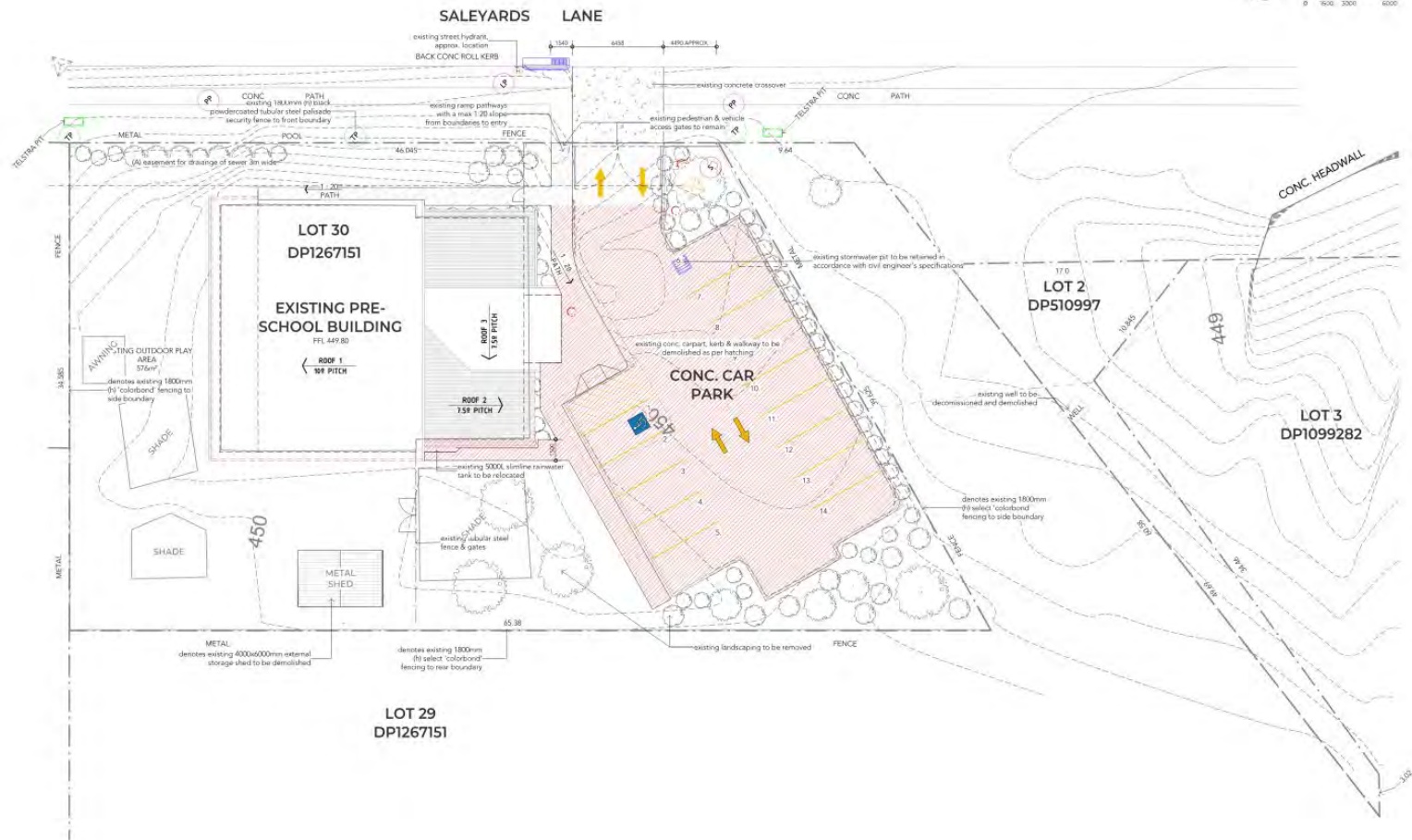
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Sheet: 01 of 08
Project No: 41821

Drawn: CM
Checked:
Revison: B

Drawing No.
**41821-
A00**



01 EXISTING SITE LAYOUT
 Scale 1:150 @ A1
 0 1500 3000 6000 15000



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Rev	Date	Description
A	17/07/2024	ISSUED FOR DA
B	18/09/2024	REVISED AS PER FIRE LOUVERMENT ADVISE

Project
**EXTENSION TO GOWRIE
 CHILDCARE CENTRE**
 Site address
 39 SALEYARDS LANE, MUDGEEO

Client
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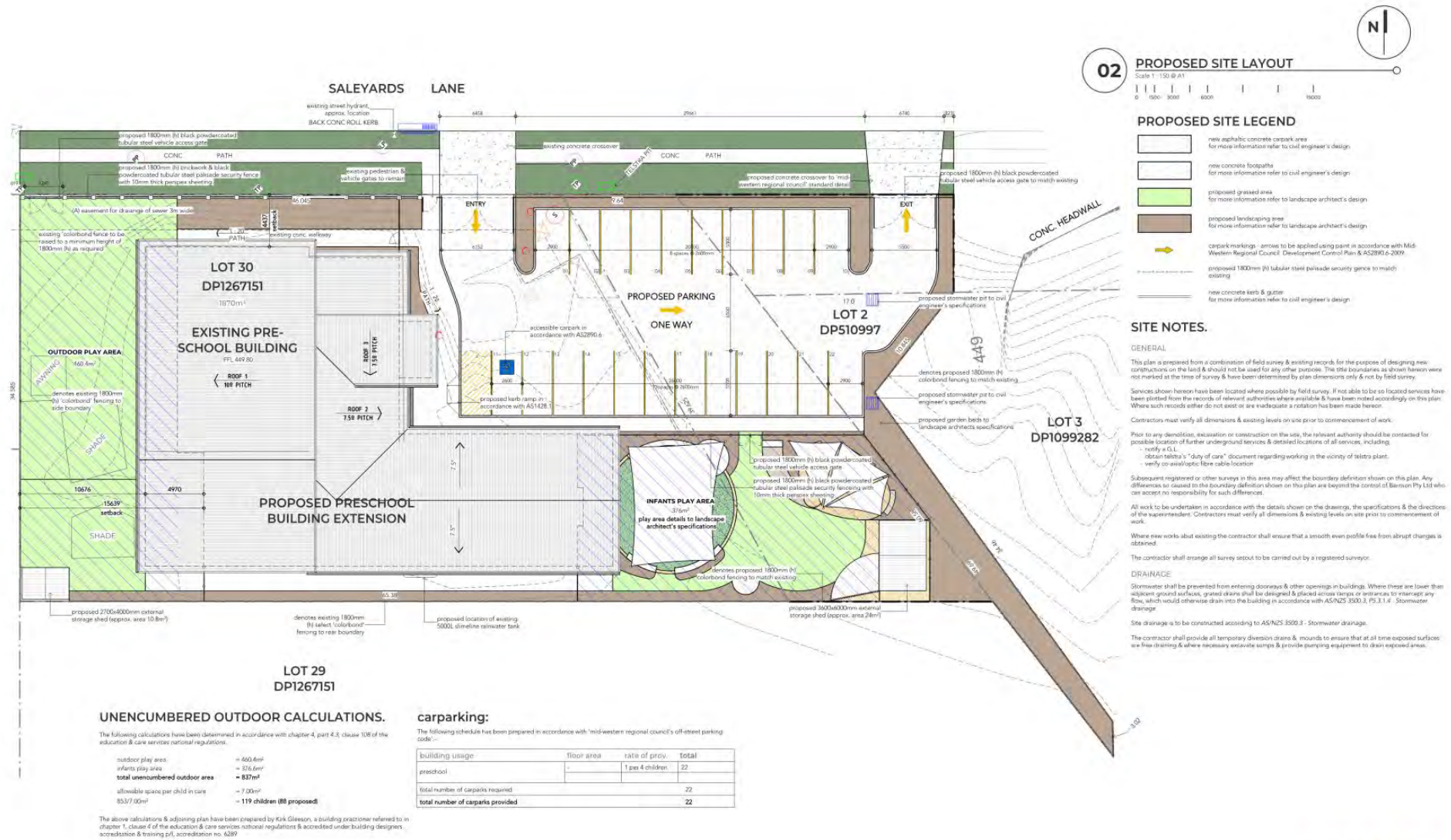
Drawing Title
EXISTING SITE PLAN

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Project No:	41821	Revision:	

ISSUED FOR DA

Drawing No.

**41821-
 A01**



02 PROPOSED SITE LAYOUT

PROPOSED SITE LEGEND

- new asphaltic concrete carpark area for more information refer to civil engineer's design
- new concrete footpaths for more information refer to civil engineer's design
- proposed grassed area for more information refer to landscape architect's design
- proposed landscaping area for more information refer to landscape architect's design
- carpark markings - arrows to be applied using paint in accordance with Mid-Western Regional Council Development Control Plan & AS2893-2009
- proposed 1800mm (H) tubular steel palisade security fence to match existing
- new concrete kerb & gutter for more information refer to civil engineer's design

SITE NOTES.

GENERAL

This plan is prepared from a combination of field survey & existing records for the purposes of designing new constructions on the land & should not be used for any other purpose. The site boundaries as shown herein were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown herein have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made herein.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:

- notify a C.L.
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawing, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new work abuts existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey output to be carried out by a registered surveyor.

DRAINAGE

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, graded drains shall be designed & placed across thresholds or entrances to manage any flow, which would otherwise drain onto the building in accordance with AS/NZS 3500.3, PS 3.1.4. Stormwater drainage.

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

UNENCUMBERED OUTDOOR CALCULATIONS.

The following calculations have been determined in accordance with chapter 4, part 4.3, clause 108 of the education & care services national regulations.

outdoor play area	= 660.4m ²
infants play area	= 576.6m ²
total unencumbered outdoor area	= 1237m²
allowable space per child in care	= 7.03m ²
853/7.03m ²	= 119 children (88 proposed)

The above calculations & adjoining plan have been prepared by Kirk Gleeson, a building practitioner referred to in chapter 1, clause 4 of the education & care services national regulations & accredited under building designers accreditation & training pt, accreditation no. 6289

carparking:

The following schedule has been prepared in accordance with mid-western regional council's off-street parking code:

building usage	floor area	rate of prov.	total
preschool	-	1 per 4 children	22
total number of carparks required			22
total number of carparks provided			22



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Rev: Date Description
 A 17/07/2024 ISSUED FOR DA
 B 19/09/2024 REVISED AS PER FIRE LOUDEMANT ADVISE

Project:
**EXTENSION TO GOWRIE
 CHILDCARE CENTRE**
 site address:
39 SALEYARDS LANE, MUDGEEO
 Client:
GHQS PTY LTD

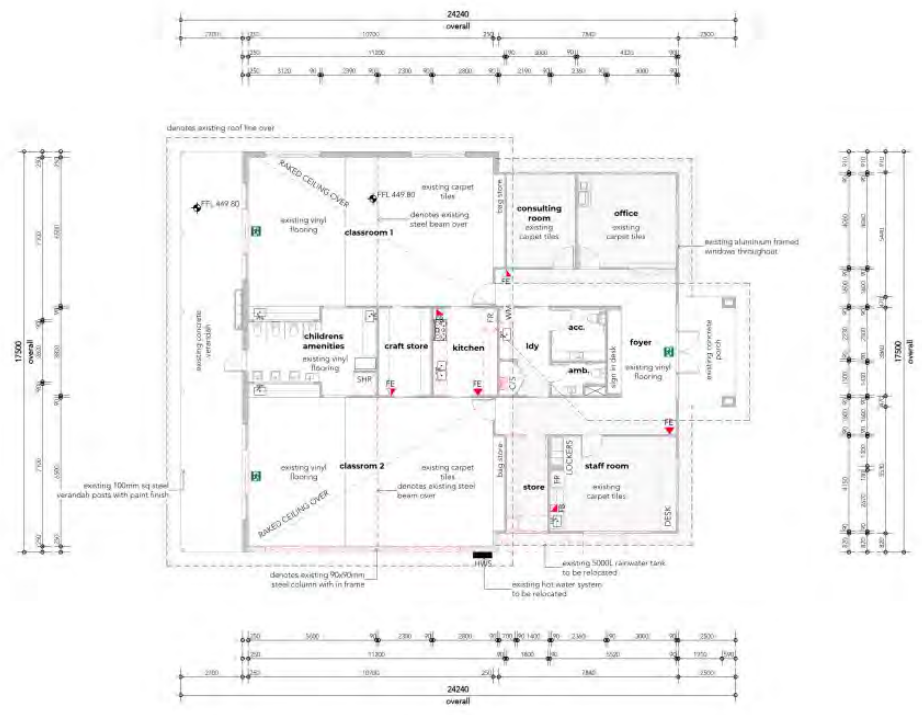
Drawing Title:
PROPOSED SITE PLAN
 Scale: As indicated @ A1 Drawn: CM
 Sheet: 03 of 08 Checked:
 Project No: 41821 Revisor: B

ISSUED FOR DA

Drawing No:
**41821-
 A02**



03 EXISTING FLOOR PLAN & DEMOLITION
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 0 1000 2000 4000 8000



DEMOLITION NOTES.

- The precautions & procedures to be taken before & during the demolitions works shall be in accordance with the building regulations applicable to the state of New South Wales & the following Australian standards & codes of practice.
 - a. AS 2801:2001 - demolition of structures & the following additional requirements.
 - b. AS 2436 - 1991 guide to noise control
 - c. OHS&S - code of practice for demolition (1991) no. 14
 - d. OHS&S - asbestos regulations - 2003
- The relevant statutory authorities shall be notified in advance & their approvals or services, if necessary shall be obtained.
- Security fencing shall be provided around the perimeter of the demolition site & any additional precautionary measures taken, as may be necessary to prevent unauthorised entry to the site at all times during the demolition & construction period.
- The erection of hoardings, outriggers & scaffolding shall be constructed in accordance with the requirements of the relevant authorities & the applicable Australian standards.
- All electrical, gas, water, sewer & other service lines not required in the demolition process shall be shut off, capped or disconnected at or outside the building line, before the demolition works commence. Any service retained for demolition will be adequately protected.
- All protection works to the adjoining properties (as required) will be in place before demolition works.
- Demolition & removal of the building shall be undertaken in a careful & proper manner & with a minimum disturbance to the adjoining buildings & to the public & occupants.
- All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed member is removed.
- No wall, chimney or other structure shall be left free standing & unattended without temporary bracing or supports in such a condition that it may collapse due to wind or vibration.
- Procedures & method of demolition will be adequate to prevent injury to persons & avoid damage to neighbouring buildings.
- No combustible material & rubbish will be left on site to cause a fire hazard.

ISSUED FOR DA



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Rev: 1.00 Date: 07/07/2024
 A 11/07/2024 Rev: 02/15/2024

Project: **EXTENSION TO GOWRIE CHILD-CARE CENTRE**
 Site address: **39 SALEYARDS LANE, MUDGEEO**
 Client: **GHQS PTY LTD**

Drawing Title: **EXISTING FLOOR PLAN & DEMOLITION**
 Scale: As Indicated @ A1
 Sheet: 04 of 08
 Project No: 41821

Drawing No: 41821-
A03
 Date: CM
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 Revision: A



04 FLOOR PLAN - GENERAL ARRANGEMENT
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0 1000 2000 4000 10000

EXISTING FLOOR AREA

existing ancillary	160.65 m ²
existing classroom	154.02 m ²
existing verandah & porch	61.65 m ²
TOTAL	376.28 m²

PROPOSED FLOOR AREA

proposed ancillary	151.29 m ²
proposed classroom	207.53 m ²
proposed verandah	60.04 m ²
TOTAL	418.83 m²

OVERALL TOTAL 790.55m²

UNENCUMBERED INDOOR SPACE CALCULATIONS.

The following calculations have been determined in accordance with chapter 4, part 4.1, clause 10P of the education & care services national regulations.

infants 1

total unencumbered floor area	= 51.1m ²
allowable space per child in care	= 3.25m ²
= 15 children (12 proposed)	

infants 2

total unencumbered floor area	= 54.1m ²
allowable space per child in care	= 3.25m ²
= 16 children (12 proposed)	

classroom 1

total unencumbered floor area	= 68.4m ²
allowable space per child in care	= 3.25m ²
= 21 children	

classroom 2

total unencumbered floor area	= 68.4m ²
allowable space per child in care	= 3.25m ²
= 21 children	

classroom 3

total unencumbered floor area	= 73.6m ²
allowable space per child in care	= 3.25m ²
= 22 children (21 proposed)	

LEGEND.

- fire blanket
- fire extinguisher (A-BE) powder type
- fire extinguisher CO2 type
- wall mounted emergency exit light
- ceiling mounted directional emergency exit light
- fire hose reel w/ cabinet
- main switch board

FIRE NOTES.

Fire safety measures.
Essential fire safety measures as shown on adjacent plan areas follow:
Fire extinguisher type powder à bsl - 4
Fire extinguisher type CO2 - 1
Fire blanket - 2

Fire services.
Portable fire extinguishers, fire blankets to cover glass fire risk to be provided in accordance with Part E1D14 of the NCC Vol 1, 2022 & selected, located & distributed in accordance with sections 1.2, 3.8 & 4 of AS2444.

For all portable extinguisher types AS2444:2001 allows higher mounting if the unit is likely to be oblonged - refer to the NCC Vol 1, 2022 & AS2444:2001 for details.

Fire extinguishers & fire blankets shall be clearly identified with the appropriate location sign as per AS2444:2001.

During construction, not less than one fire extinguisher to suit class A, B or C fire is required to be located adjacent to each exit in accordance with the NCC, Vol 1, Part E1D16.

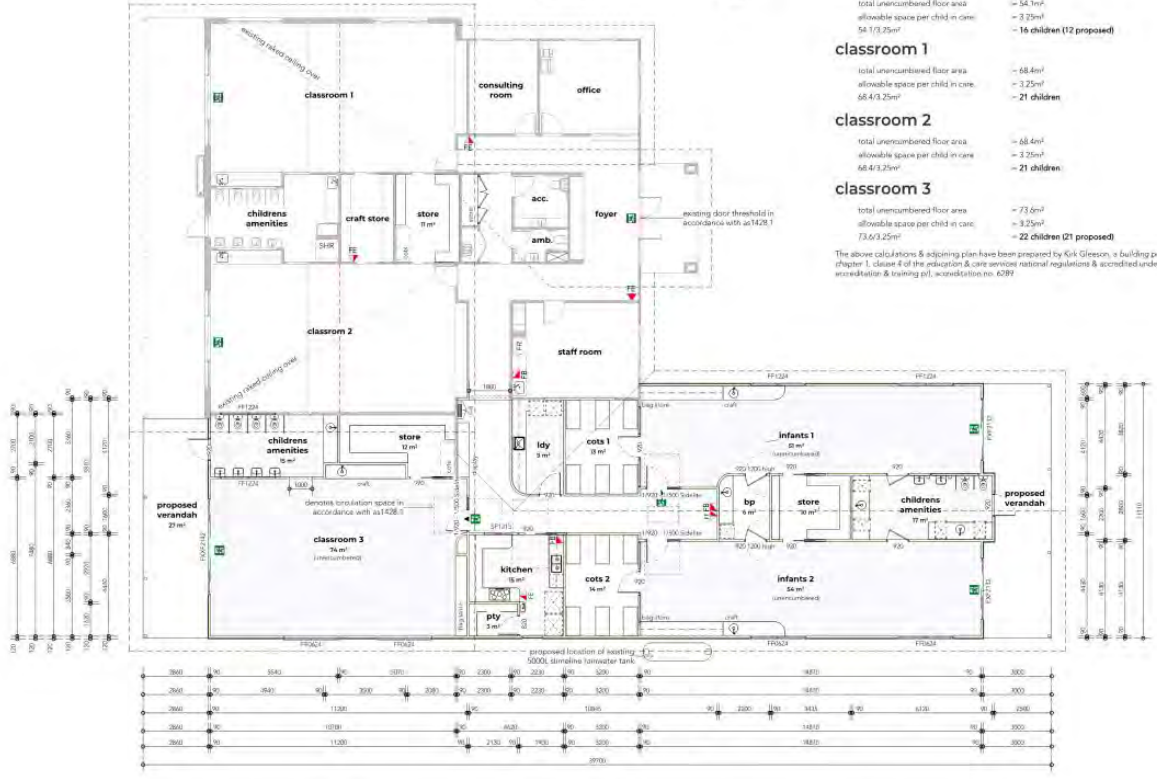
Fire hazard properties
New floor material & coverings to have a max. Critical radiant flux to comply with Part 5/3C of Specification 7 of the NCC, Vol 1, 2022. Must also have a max. Smoke development rate of 750 percent-minute as specified in Specification 17 of the NCC, Vol 1, 2022. Specified materials are to be confirmed both manufacturer for compliance in this regard.

New wall & ceiling lining materials are to comply with Table 5/3C4 of Specification 7, 5/3C4 of the NCC, Vol 1, 2022.

New materials & assemblies other than floor materials, floor coverings & wall & ceiling linings are to comply with the fire hazard properties as specified in Specification 7, Part 5/3C of the NCC, Vol 1, 2022.

emergency lighting
Emergency lighting to be installed along the path of travel to the exits of the building in accordance with Part E5C2 of the NCC, Vol 1.

Illuminated exit signs must comply with AS2913:2018 or for a photoluminescent exit sign, Specification 25 of the NCC, Vol 1 & be clearly visible at all times when the building is occupied by any person having the right of legal entry to the building.



LEGEND

ISSUED FOR DA



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web: barnson.com.au

Rev	Date	Description
A	17/07/2024	ISSUED FOR DA
B	19/03/2024	REVISED AS PER FIRE/LOCKDOWN ADVISE

Project: **EXTENSION TO GOWRIE CHILD CARE CENTRE**
Site address: 39 SALEYARDS LANE, MUDGEEO
Client: GHQS PTY LTD

Drawing Title: **PROPOSED FLOOR PLAN**

Scale:	As Indicated @ A1	Drawn:	CM
Sheet:	05 of 08	Checked:	
Project No:	41821	Revision:	B

Drawing No: 41821-
A04



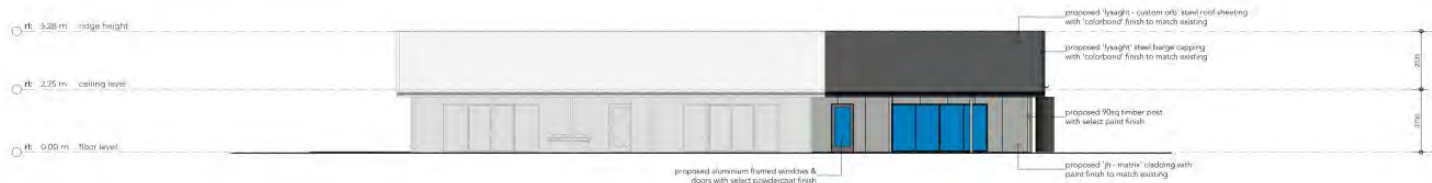
05 ELEVATION. NORTH FAÇADE
 Scale 1: 100 @ A1



06 ELEVATION. EAST FAÇADE
 Scale 1: 100 @ A1



07 ELEVATION. SOUTH FAÇADE
 Scale 1: 100 @ A1



08 ELEVATION. WEST FAÇADE
 Scale 1: 100 @ A1

LEGEND



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 web: barnson.com.au

Rev: A Date: 17/07/2024 Drawn: GHQ
 Issued: PSR DA

Project: **EXTENSION TO GOWRIE CHILD CARE CENTRE**
 Site address: **39 SALEYARDS LANE, MUDGEE**
 Client: **GHQS PTY LTD**

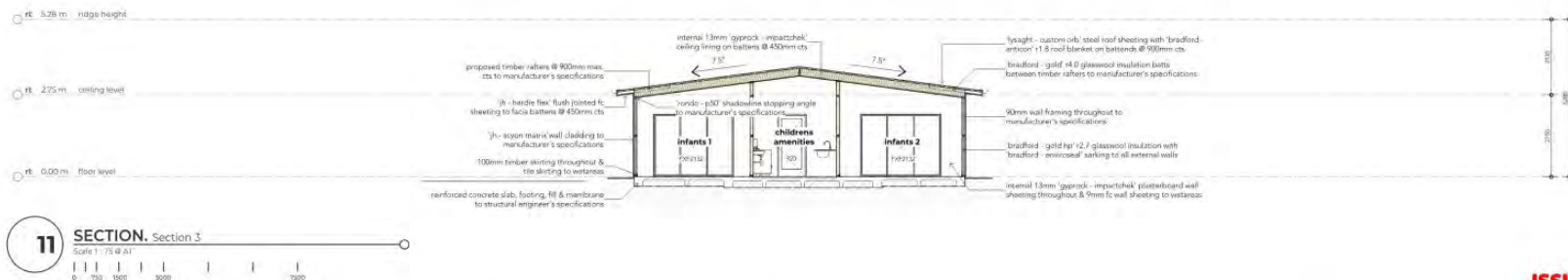
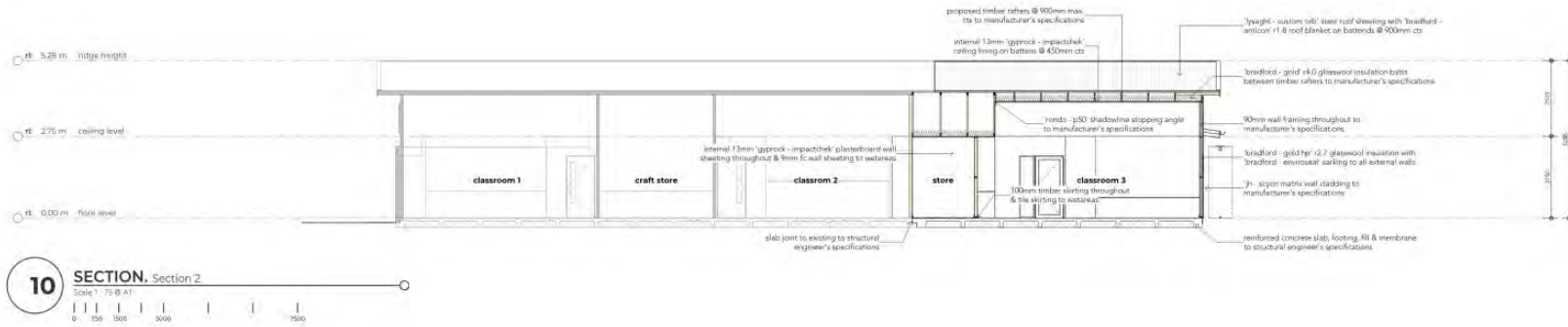
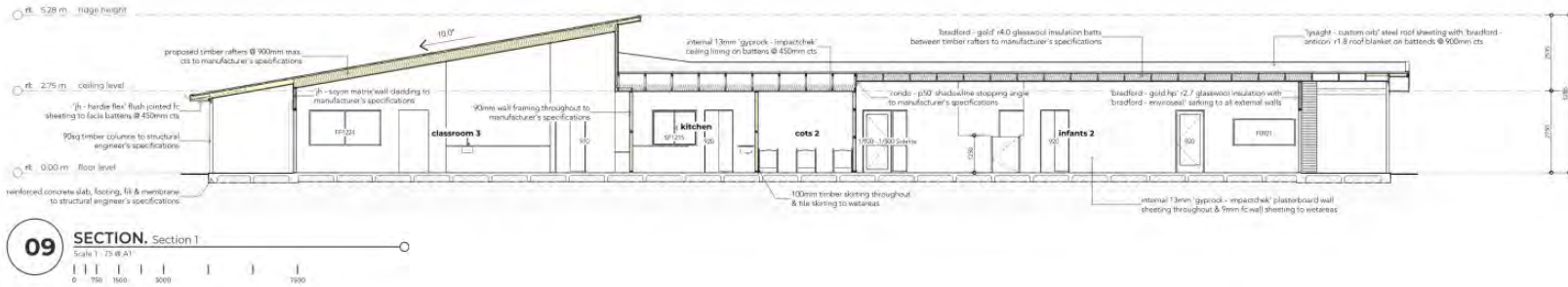
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 Scale: 1:100 @ A1
 Sheet: 06 of 08
 Project No: 41821

Drawn: CM
 Checked:
 Revised: A

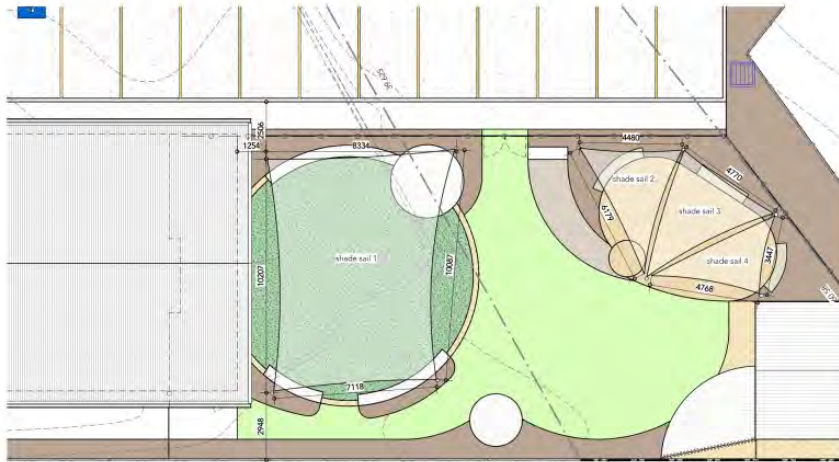
ISSUED FOR DA

Drawing No:

41821-A05



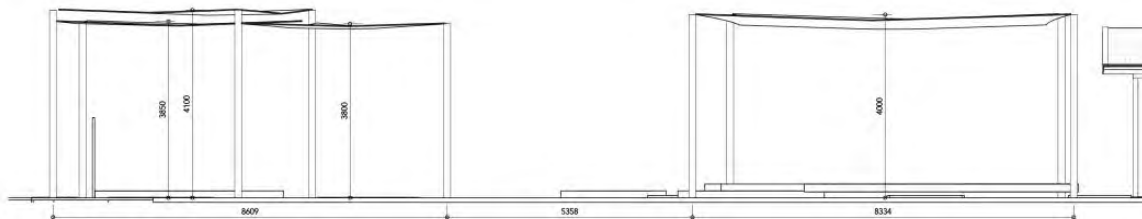
ISSUED FOR DA



12 PROPOSED SHADE SAIL LAYOUT
 Scale 1:100 @ A1



13 3D SHADE SAIL 1
 Scale @ A1



14 ELEVATION, PROPOSED SHADE SAILS
 Scale 1:50 @ A1



15 3D SHADE SAIL 2-4
 Scale @ A1



Civil Design Documentation

Proposed Extension to Gowrie Childcare Centre

Lot 30 in DP 1267157
39 Saleyards Lane, MUDGEE, NSW, 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
41821-C00	COVER SHEET AND DRAWING SCHEDULE
41821-C01	EXISTING SITE PLAN
41821-C02	PROPOSED SITE PLAN
41821-C10	PROPOSED STORMWATER MANAGEMENT PLAN
41821-C11	GENERAL NOTES & TYPICAL DETAILS – STORMWATER MANAGEMENT DESIGN
41821-C20	PROPOSED SEWER & SEWER SERVICES PLAN
41821-C21	GENERAL NOTES & TYPICAL DETAILS – WATER & SEWER SERVICES DESIGN
41821-C30	PROPOSED CUT & FILL PLAN



LOCALITY PLAN
NOT TO REDUCTION RATIO

SUBMISSION FOR DA



BARNSON PTY LTD

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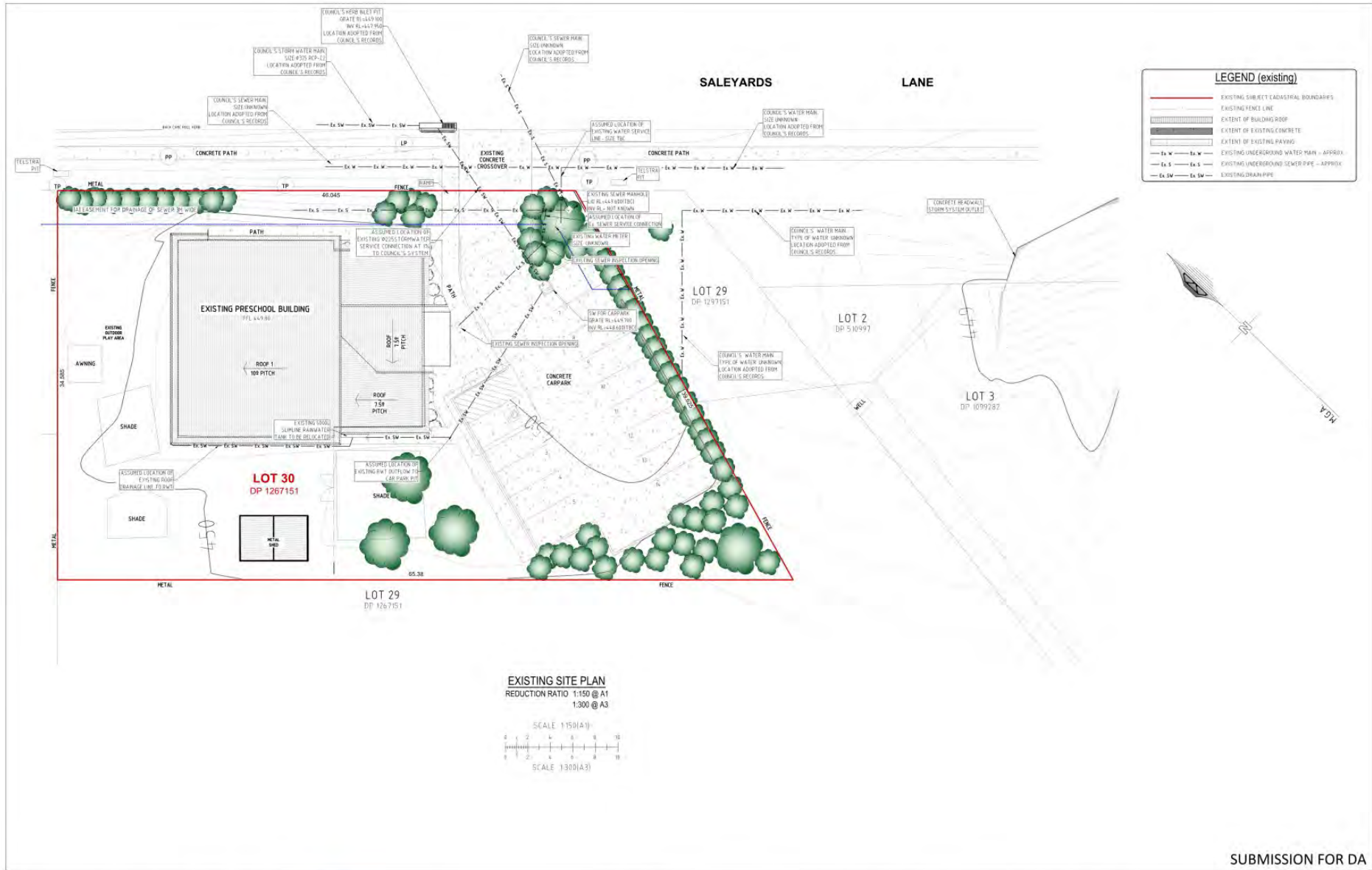
A 04-07-2024 ISSUED FOR DA
B 28-08-2024 CUT & FILL PLAN ADDED

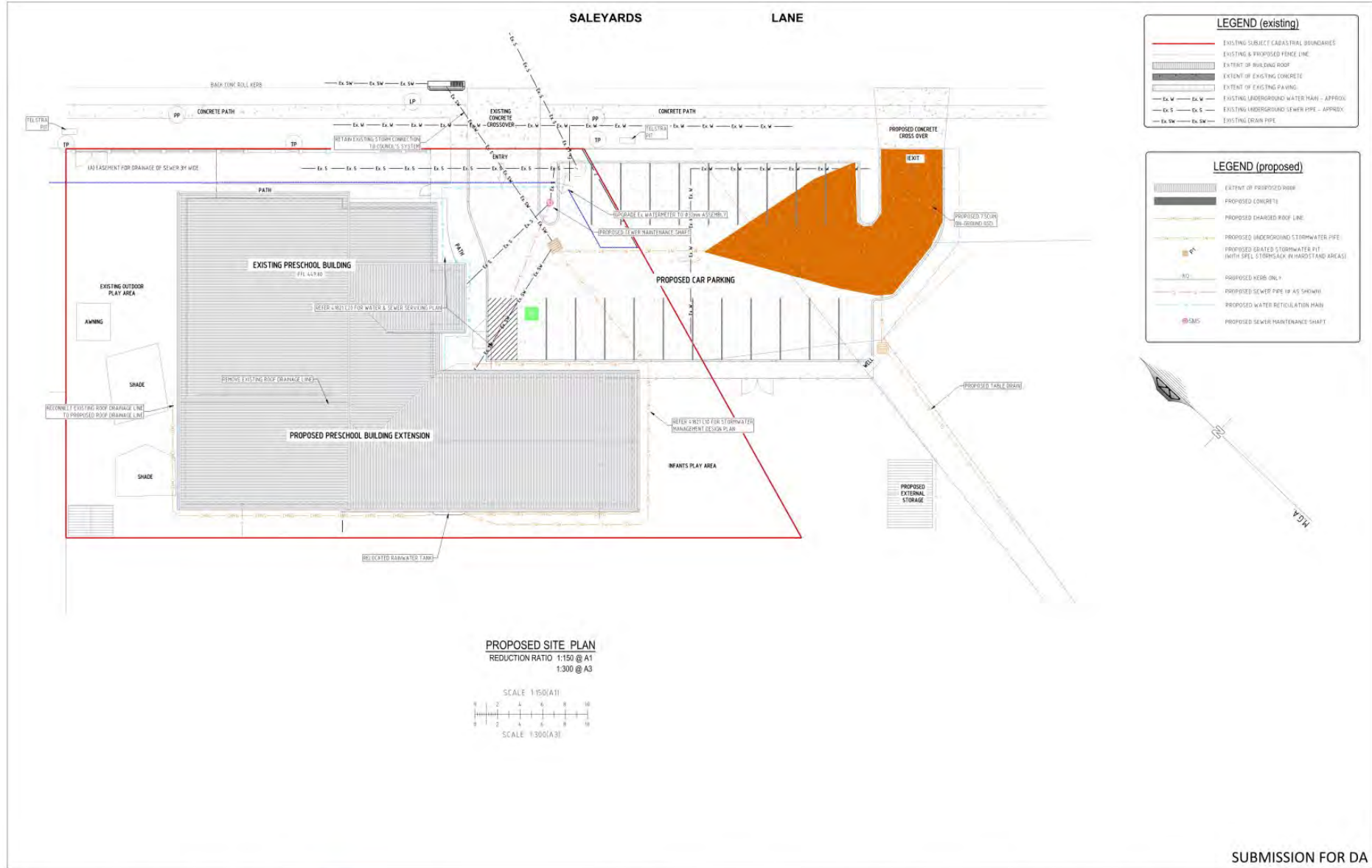
EXTENSION TO GOWRIE
CHILD CARE CENTRE
39 SALEYARDS LANE
MUDGEE NSW 2850
GHQS PTY LTD

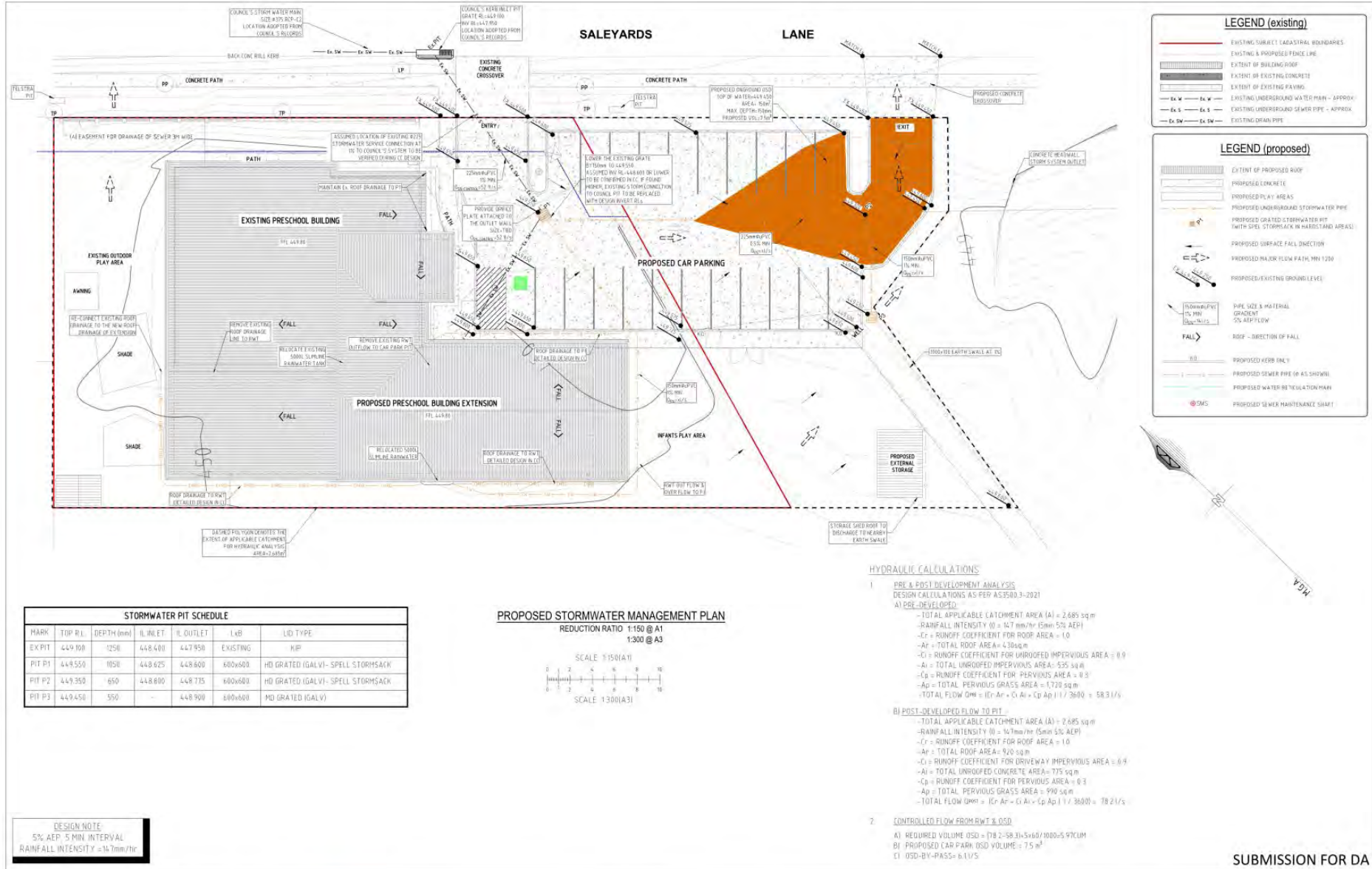
CIVIL ENGINEERING COVER SHEET

ST	A1
JS	
DOS	B

41821
C00







SITEWORKS NOTES

1. ORIGIN OF LEVELS – AND
2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
3. ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT
4. EXISTING SERVICES HAVE BEEN OBTAINED FROM SURFACE INSPECTION ONLY IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
5. WHERE NEW WORKS ADJUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED
6. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A QUALIFIED SURVEYOR
7. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS
8. ON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS
9. MAKE SMOOTH TRANSITION TO EXISTING AREAS
10. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND HOUSES TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE GRADING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS. ALL WORK TO BE UNDERTAKEN WITH ADHERENCE TO THE REQUIREMENTS OF THE SOIL AND WATER MANAGEMENT PLAN
11. THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.

SURVEY NOTES

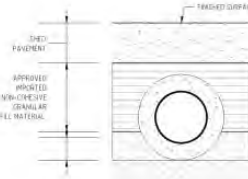
1. CONTOURS SHOWN DEPICT THE TOPOGRAPHY EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE AND ARE INDICATIVE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH

PIPE TRENCH – FILL NOTES

1. **BEDDING SAND**
BEDDING SAND SHALL BE GRANULAR MATERIAL HAVING A LOW PERMEABILITY AND HIGH STABILITY WHEN SATURATED CONFORMING TO THE GRADING LIMITS FOR BEDDING SAND AS INDICATED IN THE CONTRACT DOCUMENTS. BEDDING SAND SHALL BE COMPACTED TO A DENSITY INDEX OF 95% AS DETERMINED IN ACCORDANCE WITH AS1289
2. **APPROVED IMPORTED GRANULAR FILL**
ONLY IMPORTED GRANULAR FILL MATERIAL APPROVED BY THE SUPERINTENDENT SHALL BE USED. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK TO A DRY DENSITY OF 100% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL AND WITH A MOISTURE CONTENT NO MORE THAN 1% ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289
3. **ORDINARY EXCAVATED FILL MATERIAL**
ORDINARY EXCAVATED FILL MATERIAL IS EXCAVATED TRENCH MATERIAL THAT IS FREE OF VEGETABLE MATTER, HUMUS, LARGE CLAY LUMPS AND ROCK BouldERS. THIS FILL MATERIAL SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 300mm THICK TO A DENSITY OF 95% OF THE STANDARD MAXIMUM DRY DENSITY OF THE MATERIAL WITH A MOISTURE CONTENT OF NOT MORE THAN 1% ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH AS1289

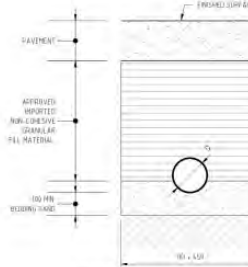
STORMWATER NOTES

1. ALL DOWNPIPE LINES SHALL BE SEWER GRADE (PVC WITH SOLVENT WELD JOINTS) (U/R/O)
2. EQUIVALENT STRENGTH VCP OR PER PIPE MAY BE USED
3. MINIMUM GRADE TO STORMWATER LINES TO BE 0.5% MINIMUM (U/R/O)
4. CONTRACTORS TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK
5. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERVAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH
6. APPROVED PRECAST RPTS MAY BE USED
7. WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50mm CONCRETE BED 75mm THICK BED OF 12mm BLUE METAL UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR THE ROCK. IN OTHER THAN ROCK PIPES SHALL BE LAD ON A 75mm THICK SAND BED IN ALL CASES. BACKFILL THE TRENCH WITH THE SAND TO 200mm ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS, BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150mm LAYERS TO 98% MAX DRY DENSITY
8. WHERE STORMWATER LINES PASS UNDER FLOOR SLABS/ SEWER GRADE RUBBER RING JOINTS ARE TO BE USED
9. ALL PIPES IN THE ROADWAY AND FOOTPATH AREAS, WHERE THE DEPTH OF PIPE IS LESS THAN 500mm FROM THE FINISHED SURFACE LEVEL ARE TO BE CONCRETE ENCASED



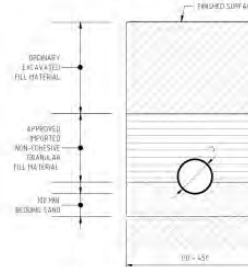
TYPICAL PIPE ENCASEMENT

SCALE 1:10
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



TYPICAL SECTION TRENCH IN ROADWAY

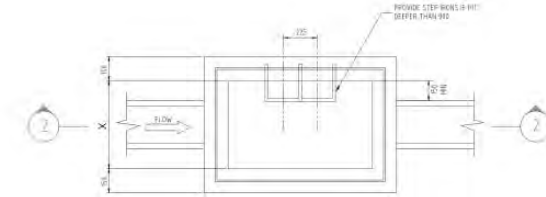
SCALE 1:10
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL



TYPICAL SECTION EARTH FOUNDATION TRENCH

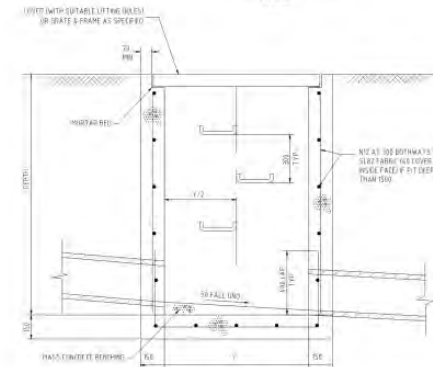
SCALE 1:10
NOTE: PIPE COLLAR IS NOT TO REST ON ORIGINAL MATERIAL

INSPECTION HOLD POINTS	
1. INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES	
2. WATER & SEWER LINE INSTALLATION PRIOR TO BACKFILL	
3. ESTABLISHMENT OF LINE & LEVEL FOR KERB & GUTTER PLACEMENT	
4. ROAD PAVEMENT CONSTRUCTION	
5. ROAD PAVEMENT SURFACING	
6. PRACTICAL COMPLETION	
SERVICES INSTALLATION	
1. INSTALLATION OF ALL UNDERGROUND PIPES BE INSTALLED PRIOR TO INSTALLATION OF ROAD PAVEMENT	



**PLAN
GRADED INLET PIT
N.T.S.**

PIT DIMENSIONS		
DEPTH	X	Y
D=600	450	450
D=1000	600	600
D=1500	800	900
1500-D=2400	900	800
D=2400	750	1200

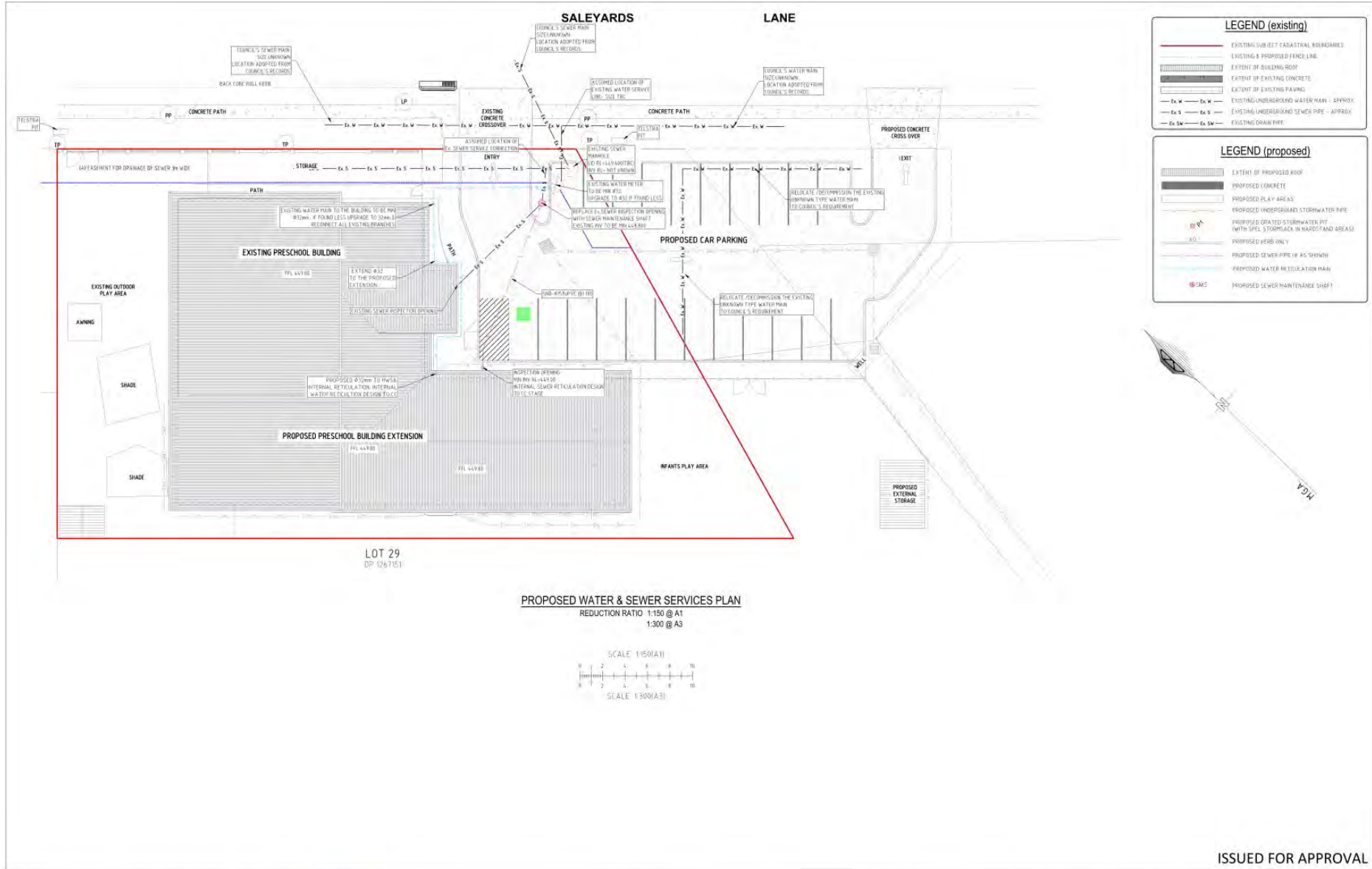


SECTION 2



**KO KERB ONLY
SCALE 1:10 (A1), 1:20 (A3)**

SUBMISSION FOR DA



SEWERWORKS NOTES

- ORIGIN OF LEVELS - AHD
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT
- EXISTING SERVICES HAVE BEEN OBTAINED FROM SURFACE INSPECTION ONLY. TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY
- WHERE NEW WORKS ADJUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A QUALIFIED SURVEYOR
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS
- ON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS MAKE SMOOTH TRANSITION HAND EXCAVATE IN THESE AREAS
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SIMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS
- ALL WORK TO BE UNDERTAKEN WITH ADHERENCE TO THE REQUIREMENTS OF THE SOIL AND WATER MANAGEMENT PLAN
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS

SEWER MAIN NOTES

- ALL SEWER MAINS SHALL BE 150P CLASS 5N8 R9J UPVC PIPE. ALL GRAVITY LINES TO USE SEWER GRADE FITTINGS WHERE REQUIRED
- DESTRUCTION OF SEWER MAINS AND MANHOLES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE WSA SEWERAGE CODE, WSA-02-2002
- ANY OTHER SERVICES INCLUDING TELESTR, GAS, POWER, WATER AND STORMWATER MUST BE LOCATED BEFORE WORK COMMENCES
- MANHOLES SHALL BE PRECAST CONCRETE FROM A SUPPLIER APPROVED BY COUNCIL AND HAVE STEP IRONS AT 300mm SPACINGS. A ROUND REMOVABLE LIGHT DUTY GATE COVER (MND) AND A MINIMUM INTERNAL DIAMETER OF 700mm
- 750mm BOUNDARY RISERS SHALL BE PROVIDED TO EACH LOT TO THE REQUIREMENTS OF THE MANAGER, HEALTH & BUILDING
- RISERS AND SOELINES TO BE CONSTRUCTED TO WSA-02-2002
- FLOW LINE CHANNELS AND INTERSECTIONS SHALL BE CONSTRUCTED THROUGH MANHOLES AS PER WSA-02-2002
- ALL SEWER MAINS TO BE PRESSURE TESTED AS PER WSA-02-2002 AND THE REQUIREMENTS OF COUNCIL
- ANY EXTERNAL MANHOLE DROPS TO BE IN ACCORDANCE WITH SEWER CODE OF AUSTRALIA DRAWING No. SEW_1303 MN DNDP 460mm
- THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 600mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 800mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DCL UNDER ROADS
- GRADES OF GRAVITY MAINS NOT TO BE FLATTER THAN 1 IN 80 (2% S) FOR 150mm DIAMETER PIPES AS PER DESIGN, UNLESS APPROVED BY COUNCIL
- MANHOLES SHALL BE PLACED AT EACH CHANGE IN DIRECTION OR GRADE OF THE PIPE LINE AT INTERVALS ALONG THE LINE NOT EXCEEDING 80m

BEDDING NOTES:

- THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 600mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 800mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DCL UNDER ROADS

GENERAL WATER RETICULATION NOTES:

- ALL PLUMBING WORKS SHALL BE IN ACCORDANCE WITH AS 1500 LOCAL WATER AUTHORITY, THE BUILDING CODE OF AUSTRALIA, & WATER GUIDELINES
- LIASE WITH THE LOCAL WATER AUTHORITY AND PLUMBING INDUSTRY COMMISSION AND ALLOW TO PAY ALL REQUIRED FEES/LETTICES ETC. ASSOCIATED WITH THE WORKS
- FIXTURES, TAP WARE & FITTINGS SHALL BE SUPPLIED & INSTALLED AS PER ARCHITECTS SELECTION. REFER BUILDING WORKS SPECIFICATION CONCEAL ALL PIPES WITHIN WALLS. NO SURFACE MOUNTED PIPING IS ACCEPTABLE. INCLUDE RETICULATION OF DOMESTIC HOT AND COLD WATER TO ALL FIXTURES - REFER ARCHITECTS PLANS
- COORDINATE ALL WORKS WITH ALL OTHER SERVICES. CHECK LEVELS OF ALL PIPES PRIOR TO WORKS
- THE PLUMBING CONTRACTOR SHALL CARRY OUT ALL EXCAVATION, SHORING AND BACKFILLING. BACK FILL WITH CONSOLIDATED CLASS 2 CRUSHED ROCK WHERE SERVICES ARE BELOW PATHS, ROADS ETC. 98% COMPACTION DRY DENSITY
- ALL PIPE WORK SHALL BE CONCEALED WITHIN WALL CAVITIES, OUTS VENTRIES AND CEILING SPACES. INSTALL FIREWORKS SUCH THAT NO WATER HAMMER OCCURS. SHOULD WATER HAMMER OCCUR RELIEF VALVES REQUIRED
- PIPING VALVES LOCATED UNDERGROUND SHALL WHERE REQUIRED BE WRAPPED WITH AN APPROVED MATERIAL
- THE PLUMBING CONTRACTOR SHALL SUPPLY AND INSTALL TEST AND COMMISSION ALL PLUMBING SYSTEMS AS NOTED ON DRAWINGS. ALL WORKS TO BE IN ACCORDANCE WITH AS 1500 RELEVANT PARTS, LOCAL WATER AUTHORITY, FIRE AUTHORITY AND BUILDING CODE OF AUSTRALIA
- TESTING OF WATER SERVICES SHALL BE AS PER AS3500.12 1998 i.e. AT 1500kPa FOR A PERIOD OF NOT LESS THAN 10 MINUTES. WORKS MUST BE TESTED PRIOR TO COMMENCEMENT. TEST SECTIONS OF WORK (STAGES) AS REQUIRED. TESTING OF FIRE SERVICES SHALL BE TO AUTHORITIES REQUIREMENTS INCLUDING FLOW/PRESSURE TESTS, HOSE REELS AND HYDROSTATIC TESTS BY AN INDEPENDENT FIRE TESTER
- MATERIALS:
 - WATER SERVICES TO BE POLYETHYLENE PIPE TO AS3500.1 FITTING TO COMPLY WITH AS 1589
 - FIRE SERVICES SHALL BE COPPER TYPE A TO AS 1432
 - HOT WATER SERVICES SHALL BE LAGGED WITH 19mm ARMAFLEX
- PROVIDE CONCRETE THROUST BLOCKS AS PER PIPE MANUFACTURERS REQUIREMENTS AND AS PER AS3500.12 1998
- VALVES SHALL BE AS FOLLOWS:
 - TEMPERING VALVES R9IC OR APPROVED EQUAL
 - ALL ISOLATING VALVES TO BE BRONZED GATE VALVES WITH NON-RISING SPINDLE TYPE
 - ALL VALVES TO BE FULLY TESTED
 - PROVIDE CAST IRON VALVE BOXES TO ALL IN GROUND VALVES
 - PROVIDE ISOLATING VALVES AS REQUIRED BY STANDARDS
- PROVIDE VACUUM BREAKERS TO ALL HOSE BIBBS
- OTHER REQUIREMENTS - PRIOR TO COMPLETION OF DEFECTS WARRANTY PERIOD CARRY OUT A MAINTENANCE VISIT AND CHECK THE COMPLETE SYSTEM INCLUDING ALL EQUIPMENT TAPWARE ETC
- ALLOW FOR ALL AUTHORITIES CHARGES INCLUDING METERS & INSTALLATION, APPLICATION FEES, CONNECTION AND TAPPING FEES FOR WATER. CLEARLY IDENTIFY IN TENDER WITH DETAILED BREAKDOWN
- PROVIDE IDENTIFICATION LABELS TO ALL PIPING
- AVAILABLE WATER PRESSURE & FLOW RATES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH AS3500

PIPE TRENCH - FILL NOTES:

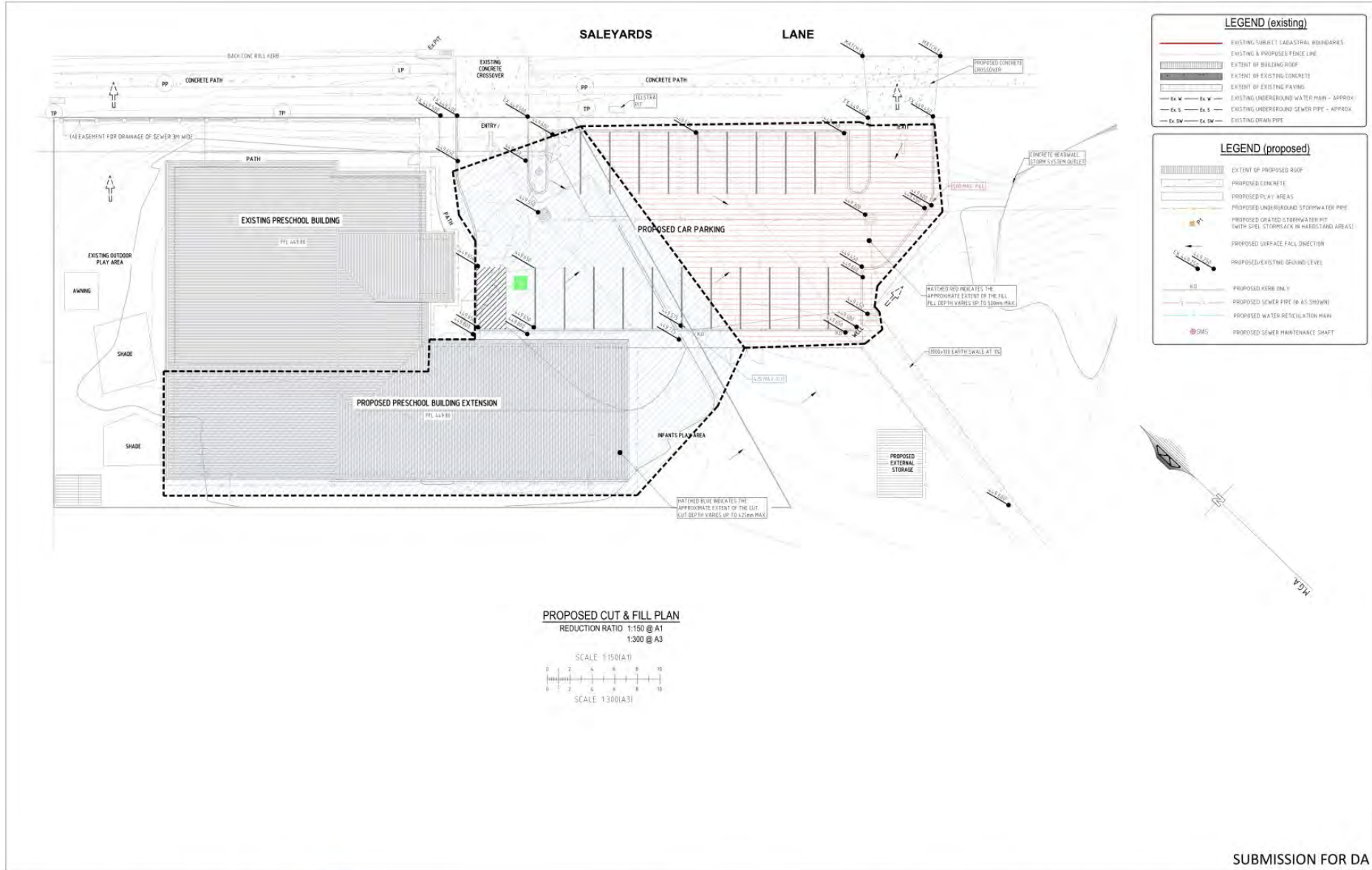
- BEDDING SAND
- APPROVED IMPORTED GRANULAR FILL
- ORDINARY EXCAVATED FILL MATERIAL

TYPICAL SEWER TRENCH SECTION

INSTALLATION OF UPVC PIPES SHALL TO CONFORM TO AS1500-1997
ASSUMED-TYPE "B" GRADE (ELECTRICAL PROTECTIVE) WSA-02-2002
AND MANUFACTURERS INSTRUCTIONS

TYPICAL JUNCTION MAINTENANCE SHAFT ELEVATION

SUBMISSION FOR DA



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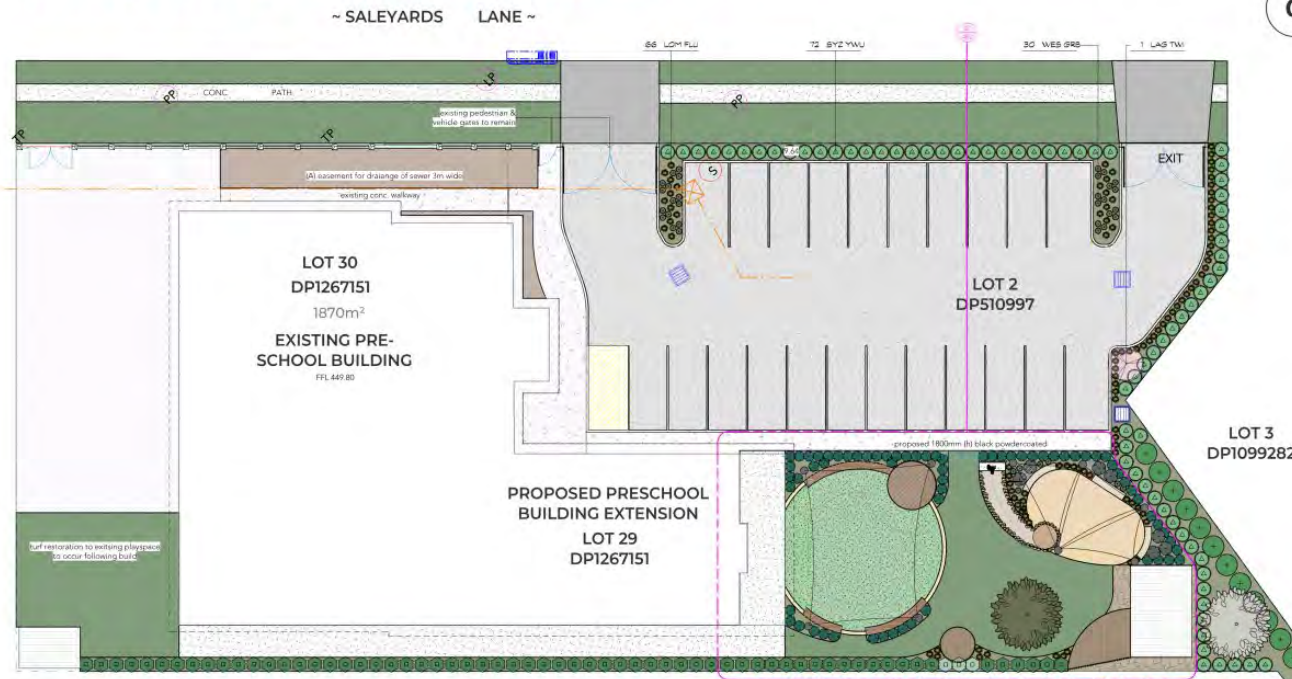
PROPOSED LANDSCAPING GOWRIE CHILDCARE

39 SALEYARDS LANE, MUDGEE

DRAWING SCHEDULE.

LA 00	COVER SHEET	REV B	DATED 16.09.2024
LA 01	OVERALL LANDSCAPE PLAN	REV B	DATED 16.09.2024
LA 02	OUTDOOR PLAYSPACE	REV B	DATED 16.09.2024

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02 OVERALL LANDSCAPE PLAN
 Scale: 1:50 @ A1
 0 1000 2000 4000 10000
 N

Plant Schedule					
Symbol	Plant Code	Botanical Name	Common Name	LAFX Remarks	Count
Trees					
LAG TMI	LAG TMI	Lagerstroemia indica 'Twilight'	Twilight Grape Myrtle	H:3.5m W:2.5m	1
TRI LUS	TRI LUS	Trientalis leucoma 'DOW10'	Lustrous Water Gum	H:8m W:5m	2
					3
Shrubs					
LOM FLU	LOM FLU	Lomandra flavivittis 'ABU7'	Shara Mat Rush	H:0.5m W:0.5m	101
PIT SIL	PIT SIL	Pinus torulosa 'Silver Sheen'	Silver Sheen Tawehihi	H:1m W:1m	67
ROS TUS	ROS TUS	Rosa multiflora 'Tuscan Blue'	Tuscan Blue Rosemary	H:1m W:1m	66
SAL HOT	SAL HOT	Salvia microphylla 'Hot Lips'	Hot Lips Graftem Sage	H:0.9m W:0.9m	7
SYZ PIN	SYZ PIN	Syzygium australe 'Pinnacle'	Pinnacle Lilly Pilly	H:8m W:1.5m	21
SYZ YWU	SYZ YWU	Syzygium australe 'Up and Away'	Up and Away Lilly Pilly	H:8m W:1m	72
WES GRB	WES GRB	Westringia frutescens 'WES04'	Gray Box? Coast Rosemary	H:0.4M W:0.4M	37
					371

EXISTING SITE LEGEND.	PROPOSED SOFTSCAPE LEGEND.	PROPOSED HARDSCAPE LEGEND.
excluded works area	proposed garage area	new concrete footpaths for more information refer to civil engineer's design
existing boundary	proposed irrigated kikuyu turf area	proposed natural sandstone pavement
existing fence line	proposed synthetic grassed softfall area	proposed crushed granite
underground stormwater		proposed creek bed - pressed river pebble
underground sewer		proposed curved bench seating
underground telecommunications line		proposed timber decking
overhead electrical lines		proposed sandstone log seating
underground water lines		proposed wet sand play area
		proposed dry sand play area
		proposed shade cloth - by others
		proposed water pump station
		proposed granite boulder
		proposed feature timber post screen

REVISED FOR DA



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 email: generalenquiry@barnson.com.au
 web: barnson.com.au

Rev: A 27.08.2024 FOR DA
 B 16.09.2024 REVISED FOR DA

Project: **PROPOSED LANDSCAPING GOWRIE CHILDCARE**
 29A Saleyards Lane, Mudgee
 Client: GHQS PTY LTD

Drawing Title: **OVERALL LANDSCAPE PLAN**
 Scale: As indicated @ A1
 Sheet: 02 of 03
 Project No: 41821

Drawing No: 41821-LA01
 Drawn: BP
 Checked: CM
 Revised: B

DRAFT ONLY - NOT TO BE CONSTRUCTED



PROPOSED SOFTSCAPE LEGEND.

- proposed garden area
- proposed irrigated kikuyu turf area
- proposed synthetic grassed softfall area

PROPOSED HARDSCAPE LEGEND.

- new concrete footpaths for more information refer to civil engineer's design
- proposed natural sandstone pavement
- proposed crushed granite
- proposed creek bed - graded river pebble
- proposed curved bench seating
- proposed timber decking
- proposed wet sand play area
- proposed dry sand play area
- proposed shade cloth - by others
- proposed water pump station
- proposed granite boulder
- proposed feature timber batten post screen

02 OUTDOOR PLAYSAPCE
Scale 1:50 @ A1



BARNSON PTY LTD
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 web: barnson.com.au

Rev.	Desc.	Amendment
A	27.08.2024	FOR DA
B	16.09.2024	REVISED FOR DA

Project:
**PROPOSED LANDSCAPING
 COWRIE CHILDCARE**
 Site Address:
 39 SALEYARDS LANE, MUDGEEO
 Client:
 GHQS PTY LTD

Drawing Title:
OUTDOOR PLAYSAPCE

Scale:	As indicated @ A1	Drawn:	BP
Sheet:	03 of 03	Checked:	CM
Project No.:	41821	Revised:	B

REVISED FOR DA

Drawing No.
**41821-
 LA02**

Noise Assessment

Proposed Modifications to Approved Childcare Centre
39 Saleyards Lane
Mudgee, NSW

Prepared for: Barnson Pty Ltd
July 2024
MAC242183-01RP1V1



Document Information

Noise Assessment

Proposed Modifications to Approved Childcare Centre

39 Saleyards Lane

Mudgee, NSW

Prepared for: Barnson Pty Ltd

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1 Introduction

Muller Acoustic Consulting Pty Ltd (MAC) has been commissioned by the Barnson Pty Ltd (Barnson) to prepare a Noise Assessment (NA) to quantify emissions from the proposed modifications to the approved Childcare Centre (CCC) to be established at 39 Saleyards Lane, Mudgee, NSW. The NA has quantified potential emissions associated with the proposed CCC as well as the noise intrusion from surrounding noise sources to the CCC spaces.

This assessment has been undertaken in accordance with the following documents:

- NSW Department of Environment and Climate Change (DECC), NSW Interim Construction Noise Guideline (ICNG), July 2009;
- NSW Environment Protection Authority (EPA), Noise Policy for Industry (NPI), 2017;
- NSW Environment Protection Authority (EPA's), Approved Methods for the measurement and analysis of environmental noise in NSW, 2022;
- Standards Australia AS 1055:2018 - Acoustics - Description and measurement of environmental noise - General Procedures; and
- Association of Australian Acoustical Consultants (AAAC), Guideline for Childcare Centre Acoustic Assessment (GCCCAA).

A glossary of terms, definitions and abbreviations used in this report is provided in **Appendix A**.

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2 Project Description

2.1 Background

The alterations and modifications of the CCC is to be established at 39 Saleyards Lane, Mudgee, NSW, which is located in a low-density residential area approximately 2km northwest from the town centre of Mudgee. The project site is bound by future residential lots and newly built residential receivers. The ambient noise environment surrounding the project site is dominated by residential traffic along Saleyards Lane and ambient environmental noise such as birds and insects. The existing CCC currently has the approval for operation.

The project proposes the modification to the approved CCC to allow for a total of 87 children to attend the centre and will also include construction to extend the existing CCC building. The modified CCC will provide the following childcare spaces and facilities:

- two baby rooms accommodating up to 24 babies;
- one toddler room accommodating up to 21 toddlers;
- two preschool rooms accommodating up to 42 preschool children;
- two outdoor play areas;
- admin offices, staff rooms, water closets with amenities; and
- associated car parking.

Site plans are provided in **Appendix B**. The CCC is proposed to operate from 7am to 6pm Monday to Friday. It is noted that hours of operation are not proposed to be changed as part of the modification to the project.

2.1.1 Receiver Review

A review of residential receivers in close proximity to the project has been completed and are summarised in **Table 1**. **Figure 1** provides a locality plan showing the position of these receivers in relation to the project.

Table 1 Receiver Locations

Receiver	Receiver Type	Receiver Height	MGA55 Coordinates	
			Easting	Northing
FR01	Future Residential	1.5m	740970	6391941
FR02	Future Residential	1.5m	740958	6391953
FR03	Future Residential	1.5m	740951	6391962
FR04	Future Residential	1.5m	741017	6391989
R01	Residential	1.5m	740977	6392032
R02	Residential	1.5m	740988	6392019
R03	Residential	1.5m	741001	6392005
R04	Residential	1.5m	741068	6391955
R05	Residential	1.5m	740933	6391973
R06	Residential	1.5m	740936	6391982
R07	Residential	1.5m	740944	6391989
R08	Residential	1.5m	740951	6391995
R09	Residential	1.5m	740959	6392002

The CCC receivers for both external play areas and internal occupied rooms are presented in **Table 2**.

Table 2 On-site Receiver Locations

Receptors	Type	Height Above Ground Level	MGA55 Coordinates	
			Easting	Northing
Cots Room 01	Internal Sleep Area	0.6m	740976	6391963
Cots Room 02	Internal Sleep Area	0.6m	740971	6391959
Infants Room 01	Internal Play Area	0.6m	740983	6391956
Infants Room 02	Internal Play Area	0.6m	740977	6391952
Classroom 01	Internal Play Area	0.6m	740976	6391984
Classroom 02	Internal Play Area	0.6m	740970	6391978
Classroom 03	Internal Play Area	0.6m	740962	6391971
Outdoor (Infants) Play Area 01	External Play Area	0.6m	740992	6391940
Outdoor Play Area 02	External Play Area	0.6m	740958	6391987



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3 Noise Policy and Guidelines

3.1 Noise Policy for Industry

The EPA released the Noise Policy for Industry (NPI) in October 2017 which provides a process for establishing noise criteria for consents and licenses enabling the EPA to regulate noise emissions from scheduled premises under the Protection of the Environment Operations Act 1997. The objectives of the NPI are to:

- provide noise criteria that is used to assess the change in both short term and long-term noise levels;
- provide a clear and consistent framework for assessing environmental noise impacts from industrial premises and industrial development proposals;
- promote the use of best-practice noise mitigation measures that are feasible and reasonable where potential impacts have been identified; and
- support a process to guide the determination of achievable noise limits for planning approvals and/or licences, considering the matters that must be considered under the relevant legislation (such as the economic and social benefits and impacts of industrial development).

The policy sets out a process for industrial noise management involving the following key steps:

1. Determine the Project Noise Trigger Levels (PNTLs) (ie criteria) for a development. These are the levels (criteria), above which noise management measures are required to be considered. They are derived by considering two factors: shorter-term intrusiveness due to changes in the noise environment; and maintaining the noise amenity of an area.
2. Predict or measure the noise levels produced by the development with regard to the presence of annoying noise characteristics and meteorological effects such as temperature inversions and wind.
3. Compare the predicted or measured noise level with the PNTL, assessing impacts and the need for noise mitigation and management measures.
4. Consider residual noise impacts - that is, where noise levels exceed the PNTLs after the application of feasible and reasonable noise mitigation measures. This may involve balancing economic, social and environmental costs and benefits from the proposed development against the noise impacts, including consultation with the affected community where impacts are expected to be significant.

5. Set statutory compliance levels that reflect the best achievable and agreed noise limits for the development.
6. Monitor and report environmental noise levels from the development.

3.1.1 Project Noise Trigger Levels (PNTL)

The policy sets out the procedure to determine the PNTLs relevant to an industrial development. The PNTL is the lower (ie, the more stringent) of the **Project Intrusiveness Noise Level (PINL)** and **Project Amenity Noise Level (PANL)** determined in accordance with Section 2.3 and Section 2.4 of the NPI.

3.1.2 Rating Background Level (RBL)

The Rating Background Level (RBL) is a determined parameter from noise monitoring and is used for assessment purposes. As per the NPI, the RBL is an overall single figure background level representing each assessment period (day, evening and night) over the noise monitoring period. The measured RBLs relevant to the project are contained in **Section 4**.

3.1.3 Project Intrusiveness Noise Level (PINL)

The PINL ($L_{Aeq}(15min)$) is the RBL + 5dB and seeks to limit the degree of change a new noise source introduces to an existing environment. Hence, when assessing intrusiveness, background noise levels need to be measured.

Background noise levels need to be determined before intrusive noise can be assessed. The NPI states that background noise levels to be measured are those that are present at the time of the noise assessment and without the subject development operating. For the assessment of modifications to existing premises, the noise from the existing premises should be excluded from background noise measurements. It is note that the exception is where the premises has been operating for a significant period of time and is considered a normal part of the acoustic environment; it may be included in the background noise assessment under the following circumstances:

- the development must have been operating for a period in excess of 10 years in the assessment period/s being considered and is considered a normal part of the acoustic environment; and
- the development must be operating in accordance with noise limits and requirements imposed in a consent or licence and/or be applying best practice.

Where a project intrusiveness noise level has been derived in this way, the derived level applies for a period of 10 years to avoid continuous incremental increases in intrusiveness noise levels. This approach is consistent with the purpose of the intrusiveness noise level to limit significant change in the acoustic environment. The purpose of the Project Amenity Noise Level is to moderate against background noise creep.

3.1.4 Project Amenity Noise Level (PANL)

The PANL is relevant to a specific land use or locality. To limit continuing increases in intrusiveness levels, the ambient noise level within an area from all combined industrial sources should remain below the recommended Amenity Noise Levels specified in Table 2.2 (of the NPI). The NPI defines two categories of Amenity Noise Levels:

- **Amenity Noise Levels (ANL)** – are determined considering all current and future industrial noise within a receiver area; and
- **Project Amenity Noise Level (PANL)** – is the recommended level for a receiver area, specifically focusing the project being assessed.

Additionally, Section 2.4 of the NPI states: "to ensure that industrial noise levels (existing plus new) remain within the recommended Amenity Noise Levels for an area, a Project Amenity Noise Level applies for each new source of industrial noise as follows":

PANL for new industrial developments = recommended **ANL** minus 5dBA.

The following exceptions apply when deriving the PANL:

- areas with high traffic noise levels;
- proposed developments in major industrial clusters;
- existing industrial noise and cumulative industrial noise effects; and
- greenfield sites.

The NPI states with respect to high traffic noise areas:

The level of transport noise, road traffic noise in particular, may be high enough to make noise from an industrial source effectively inaudible, even though the LAeq noise level from that industrial noise source may exceed the Project Amenity Noise Level. In such cases the Project Amenity Noise Level may be derived from the LAeq, period(traffic) minus 15 dB(A).

Where relevant this assessment has considered influences of traffic with respect to Amenity Noise Levels (ie areas where existing traffic noise levels are 10dB greater than the recommended ANL).

The recommended Amenity Noise Levels as per Table 2.2 of the NPI are reproduced in **Table 3**.

Table 3 Amenity Noise Levels			
Receiver Type	Noise Amenity Area	Time of day ¹	Recommended Amenity Noise Level dB LAeq(period)
Residential ²	Rural	Day	50
		Evening	45
		Night	40
	Suburban	Day	55
		Evening	45
		Night	40
	Urban	Day	60
		Evening	50
		Night	45
Hotels, motels, caretakers' quarters, holiday accommodation, permanent resident caravan parks.	See column 4	See column 4	5dB above the recommended Amenity Noise Level for a residence for the relevant noise amenity area and time of day
School Classroom	All	Noisiest 1-hour period when in use	35 (internal) 45 (external)
Hospital ward			
- internal	All	Noisiest 1-hour	35
- external	All	Noisiest 1-hour	50
Place of worship			
- internal	All	When in use	40
Passive Recreation	All	When in use	50
Active Recreation	All	When in use	55
Commercial premises	All	When in use	65
Industrial	All	When in use	70

Notes: The recommended Amenity Noise Levels refer only to noise from industrial noise sources. However, they refer to noise from all such sources at the receiver location, and not only noise due to a specific project under consideration. The levels represent outdoor levels except where otherwise stated.

Types of receivers are defined as rural residential; suburban residential; urban residential; industrial interface; commercial; industrial – see Table 2.3 and Section 2.7 of the NPI.

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

3.2 The AAAC Guideline

The Guideline for Childcare Centre Acoustic Assessment (GCCCCAA) been prepared by the AAAC. The document provides criteria for the assessment of noise intrusion into and noise emissions from CCCs and also provides recommendations for treatment to minimise noise upon surrounding receptors. The guideline aligns with the NPI for establishing criteria for CCCs with respect to the following noise sources:

- mechanical plant (air conditioning condensers and mechanical ventilation);
- on-site traffic, deliveries and ingress and egress of vehicles;
- on-site drop off/collection areas of children; and
- noise emissions from children at play.

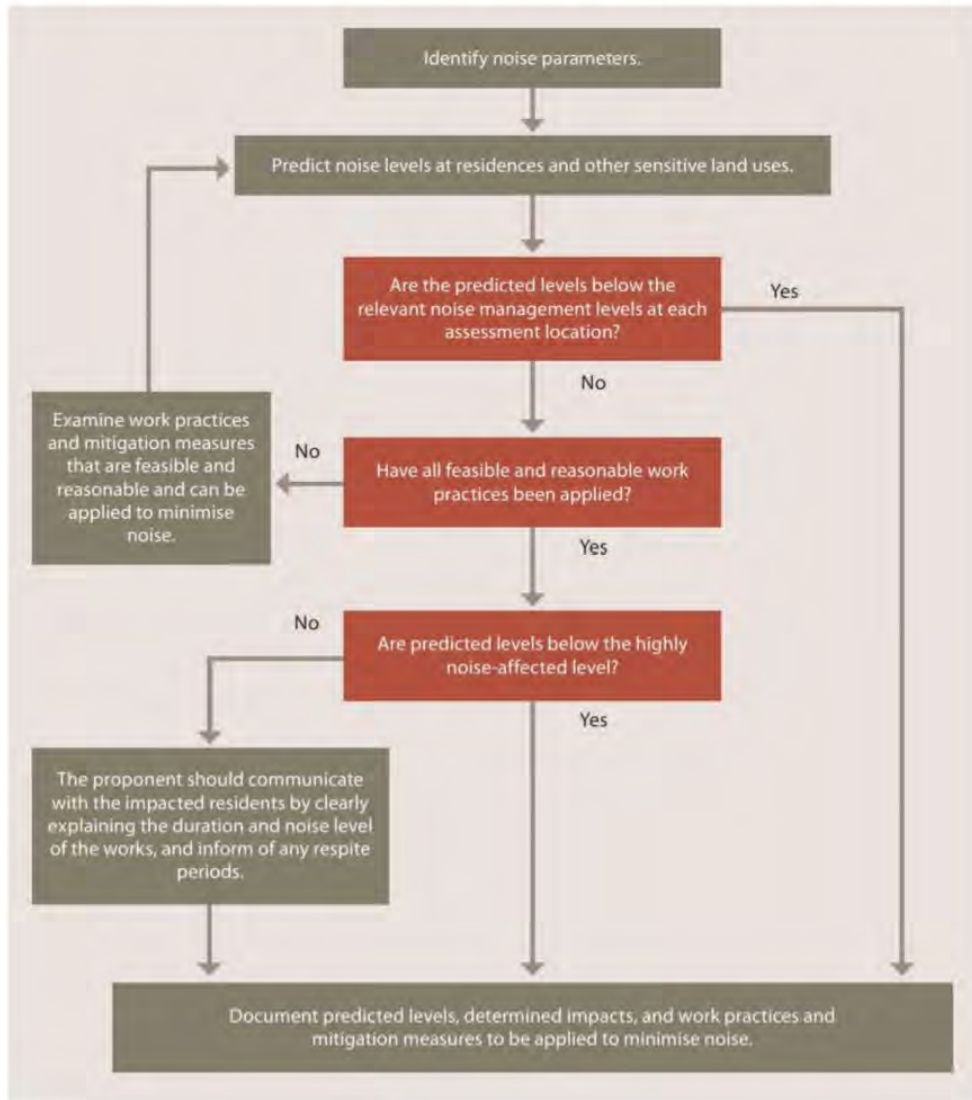
3.3 Interim Construction Noise Guideline

The ICNG sets out procedures to identify and address the impacts of construction noise on residences and other sensitive land uses. This section provides a summary of noise objectives that are applicable to the assessment. The ICNG provides two methodologies for the assessment of construction noise emissions:

- quantitative, which is suited to major construction projects with typical durations of more than three weeks; and
- qualitative, which is suited to short term infrastructure maintenance (< three weeks).

The qualitative assessment methodology is a more simplified approach that relies on noise management strategies. This NA has adopted a quantitative assessment approach which is summarised in **Figure 2**. The quantitative approach includes identification of potentially affected receivers, derivation of the construction noise management levels, quantification of potential noise impact at receivers via predictive modelling and, provides management and mitigation recommendations.

Figure 2 Quantitative Assessment Processes for Assessing and Managing Construction Noise



Source: Department of Environment and Climate Change, 2009.

3.3.1 Standard Hours for Construction

Table 4 presents the ICNG recommended standard hours for construction works.

Table 4 Recommended Standard Hours for Construction	
Daytime	Construction Hours
Monday to Friday	7am to 6pm
Saturdays	8am to 1pm
Sundays or Public Holidays	No construction

These recommended hours do not apply in the event of direction from police, or other relevant authorities, for safety reasons or where required in an emergency to avoid the loss of lives, property and/or to prevent environmental harm. Construction activities are anticipated to be undertaken during standard construction hours.

3.3.2 Construction Noise Management Levels

Section 4 of the ICNG details the quantitative assessment method involving predicting noise levels and comparing them with the Noise Management Level (NML) and are important indicators of the potential level of construction noise impact. **Table 5** reproduces the ICNG Noise Management Level (NML) for residential receivers. The NML is determined by adding 10dB (standard hours) or 5dB for Out of Hours (OOH) to the Rating Background Level (RBL) for each specific assessment period.

Table 5 Noise Management Levels

Time of Day	Management Level LAeq(15min)	How to Apply
Recommended standard hours: Monday to Friday 7am to 6pm Saturday 8am to 1pm No work on Sundays or public holidays.	Noise affected RBL + 10dB	The noise affected level represents the point above which there may be some community reaction to noise. Where the predicted or measured LAeq(15min) is greater than the noise affected level, the proponent should apply all feasible and reasonable work practices to meet the noise affected level. The proponent should also inform all potentially impacted residents of the nature of work to be carried out, the expected noise levels and duration, as well as contact details.
	Highly Noise Affected 75dBA (HNA)	The highly noise affected level represents the point above which there may be strong community reaction to noise. Where noise is above this level, the relevant authority (consent, determining or regulatory) may require respite periods by restricting the hours that the very noisy activities can occur, taking into account times identified by the community when they are less sensitive to noise such as before and after school for work near schools, or mid-morning or mid-afternoon for work near residences; and if the community is prepared to accept a longer period of construction in exchange for restrictions on construction times.
Outside recommended standard hours.	Noise affected RBL + 5dB	A strong justification would typically be required for work outside the recommended standard hours. The proponent should apply all feasible and reasonable work practices to meet the noise affected level. Where all feasible and reasonable practices have been applied and noise is more than 5dBA above the noise affected level, the proponent should negotiate with the community. For guidance on negotiating agreements see Section 7.2.2 of the ICNG.

Note 1: The Rating Background Level (RBL) is an overall single figure background level representing each assessment period over the whole monitoring period. The RBL is used to determine the construction noise management levels for noise assessment purposes and is the median of the ABL's.

3.3.3 Minimising Construction Noise

The ICNG outlines noise management and mitigation measures to minimise the noise impacts from construction activities on nearby sensitive receivers. Adopting the standard mitigation measures may result in an attenuation of up to 10dBA where space requirements place limitations on the attenuation options. Examples of standard mitigation measures are reproduced in **Table 6**, which may be adopted for the operation.



Table 6 Standard Mitigation Measures

	Action Required	Details
Management Measures	Implement community consultation or notification measures	<p>Notification detailing work activities, dates, and hours, impacts and mitigation measures, indication of work schedule over the night-time period, any operational noise benefits from the works (where applicable) and contact telephone number. Notification should be a minimum of 7 calendar days prior to the start of works. For projects other than maintenance works more advanced consultation or notification may be required. Please contact Roads and Maritime Communication and Stakeholder Engagement for guidance:</p> <ul style="list-style-type: none"> - website (if required); - contact telephone number for community; - email distribution list (if required); and/or - community drop-in session (if required by approval conditions).
	Site Inductions	<p>All employees, contractors and subcontractors are to receive an environmental induction. The induction must at least include:</p> <ul style="list-style-type: none"> - all relevant project specific and standard noise and vibration mitigation measures; - relevant licence and approval conditions; - permissible hours of work; - any limitations on noise generating activities; - location of nearest sensitive receivers; - construction employee parking areas; - designated loading/unloading areas and procedures; - site opening/closing times (including deliveries); and - environmental incident procedures.
Site Controls	Minimise disturbance arising from delivery of goods to construction sites	<p>Loading and unloading of materials/deliveries is to occur as far as possible from sensitive receivers.</p> <p>Select site access points and roads as far as possible away from sensitive receivers.</p> <p>Dedicated loading/unloading areas to be shielded if close to sensitive receivers.</p> <p>Delivery vehicles to be fitted with straps rather than chains for unloading, wherever possible.</p> <p>Avoid or minimise these out of hours movements where possible.</p>
	Shield stationary noise sources	<p>Stationary noise sources should be enclosed or shielded whilst ensuring that the occupational health and safety of workers is maintained. Appendix D of AS2436:2010 lists materials suitable for shielding.</p>
Path Controls	Shield sensitive receivers from noise activities	<p>Use structures to shield residential receivers from noise such as site shed placement; earth bunds; fencing; erection of operational stage noise barriers (where practicable) and consideration of site topography when situating plant.</p>

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4 Existing Environment

4.1 Unattended Noise Monitoring

To quantify the existing background noise environment of the area, unattended noise monitoring was conducted at one location representative of the ambient environment surrounding the project site. The selected monitoring location is shown in **Figure 1** and is considered representative of surrounding residential receivers as per Fact Sheet B1.1 of the NPI.

The unattended noise survey was conducted in general accordance with the procedures described in Standards Australia AS 1055:2018, "Acoustics – Description and Measurement of Environmental Noise".

The measurements were carried out using one Svantek 977 noise analyser from Thursday 27 June 2024 to Friday 5 July 2024. All acoustic instrumentation used carries appropriate and current NATA (or manufacturer) calibration certificates with records of all calibrations maintained by MAC as per Approved Methods for the measurement and analysis of environmental noise in NSW (EPA, 2022) and complies with AS/NZS IEC 61672.1-2019-Electroacoustics - Sound level meters – Specifications. Calibration of all instrumentation was checked prior to and following measurements. Drift in calibration did not exceed ± 0.5 dBA.

Observations on-site identified the surrounding locality was typical of a rural environment, with road traffic noise and wildlife noise audible.

Data affected by adverse meteorological conditions have been excluded from the results in accordance with methodologies provided in Fact Sheet A4 of the NPI. Residential receivers situated in the surrounding area have been classified under the EPA's rural amenity category. This criteria is used in conjunction with the intrusiveness criteria to determine the limiting criteria. The summary results of long-term unattended noise monitoring are provided in **Table 7**. The measured daily ABLs for the background monitoring are provided in **Table C1** in **Appendix C** along with the daily noise monitoring charts.

Table 7 Background Noise Monitoring Summary

Location	Measured background noise level, RBL, dBA			Measured LAeq, dBA		
	Day	Evening	Night	Day	Evening	Night
	7am to 6pm	6pm to 10pm	10pm to 6am	7am to 6pm	6pm to 10pm	10pm to 6am
L1	38	33	29	50	43	41

Note: Excludes periods of wind or rain affected data. Meteorological data obtained from the Bureau of Meteorology weather station Mudgee Airport AWS 32.6°S 149.6°E 471m AMSL

4.2 Attended Noise Monitoring

To supplement the unattended noise assessment and to quantify the changes in ambient noise in the community surrounding the operation, one 15 minute attended measurement was completed.

The attended noise survey was conducted in general accordance with the procedures described in Standards Australia AS 1055:2018, "Acoustics – Description and Measurement of Environmental Noise".

All acoustic instrumentation used carries appropriate and current NATA (or manufacturer) calibration certificates with records of all calibrations maintained by MAC as per Approved Methods for the measurement and analysis of environmental noise in NSW (EPA, 2022) and complies with AS/NZS IEC 61672.1-2019-Electroacoustics - Sound level meters - Specifications. Calibration of all instrumentation was checked prior to and following measurements. Drift in calibration did not exceed ±0.5dBA.

The attended noise monitoring was conducted using one Svantek 971 noise analyser at the site (see **Figure 1**) on Friday 5 July 2024 to quantify ambient background noise levels.

The attended measurement was completed during calm and clear meteorological conditions and confirmed that traffic and ambient environmental noise dominated the surrounding environment. The results of the short-term noise measurement and observations are summarised in **Table 8**.

Table 8 Operator-Attended Noise Survey Results

Date/ Time (hrs)	Noise Descriptor (dBA re 20 µPa)			Meteorology	Description and SPL, dBA
	L _{Amax}	L _{Aeq}	L _{A90}		
05/07/2024 11:49	72	52	43	WD: SE WS: 4.0m/s Rain: Nil	Traffic 42-59 Insects <37 Birds 40-52 Aircraft 40-72 Wind in trees <38 Construction 42-44

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 9am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

5 Assessment Criteria

5.1 Operational Noise Criteria

5.1.1 Intrusiveness Noise Levels

The PINL are presented in **Table 9** and have been determined based on the RBL +5dBA and only apply to residential receivers.

Table 9 Project Intrusiveness Noise Levels

Location	Receiver Type	Period ¹	Measured RBL dB LA90	Adopted RBL dB LA90	PINL dB LAeq(15min)
L1	Residential	Day	38	38	43
		Evening	33	33	38 ²
		Night	29	30 ²	35 ²

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

Note 2: As per NPI guidance, minimum assumed RBLs and project intrusive noise levels have been adopted for evening and night periods.

5.1.2 Amenity Noise Levels and Project Amenity Noise Levels

The PANL for residential receivers affected by the project are presented in **Table 10**.

Table 10 Amenity Noise Levels and Project Amenity Noise Levels

Receiver Type	Noise Amenity Area	Assessment Period ¹	NPI Recommended ANL dB LAeq(period)	ANL dB LAeq(period) ²	PANL dB LAeq(15min)
Residential	Rural	Day	50	53	53
		Evening	45	48	48
		Night	40	43	43

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

Note 2: Includes a +3dB adjustment to the amenity period level to convert to a 15-minute assessment period as per Section 2.2 of the NPI.

5.1.3 Project Noise Trigger Levels

The PNTL are the lower of either the PINL or the PANL. **Table 11** presents the derivation of the PNTLs in accordance with the methodologies outlined in the NPI.

Table 11 Project Noise Trigger Levels

Receiver Type	Noise Amenity Area	Assessment Period ¹	PINL dB LAeq(15min)	PANL dB LAeq(15min)	PNTL dB LAeq(15min)
Residential	Rural	Day	43	53	43
		Evening	38	48	38
		Night	35	43	35

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

5.2 Noise Intrusion Criteria to Childcare Centres

The GCCCAA provides recommendations for external noise impact upon children in Childcare Centres. The relevant criteria for noise intrusion to the CCC is reproduced below:

- the LAeq(1-hour) intrusive noise level from road, rail or industry at any location within an outdoor play area should not exceed 55dBA; and
- the LAeq(1-hour) intrusive noise level from road, rail or industry within the indoor play or sleeping areas should not exceed 40dBA.

5.3 Noise Emission Criteria from Childcare Centres

The GCCCAA recommends a base criterion of 45dB LAeq(15min) for the assessment of outdoor play where the background noise level is less than 40dBA, however, where the background noise level is greater than 40dBA, the GCCCAA states:

The contributed Leq, 15min noise level emitted from an outdoor play and internal activity areas shall not exceed the background noise level by more than 5 or 10 dB at the assessment location, depending on the usage of the outdoor play area. AAAC members regard that a total time limit of approximately 2 hours outdoor play per morning and afternoon period should allow an emergence above the background of 10 dB (ie background + 10 dB if outdoor play is limited to 2 hours in the morning and 2 hours in the afternoon).

The project adopted the base criterion of 45dB LAeq(15min) for the assessment of outdoor play due to the RBL remaining below 40dBA for the daytime period and is presented in **Table 12**.

Table 12 CCC Noise Emission Criteria			
Location	Period	Activity	Criteria
Location A	Day (7:00am-6:00pm)	Outdoor Play	45dB LAeq(15min)
	Day (7:00am-6:00pm)	All Other Activities	45dB LAeq(15min)

5.4 Construction Noise Criteria

The relevant Noise Management Levels (NMLs) for standard construction hours are presented in **Table 13**.

Table 13 Construction Noise Management Levels			
Catchment (No)	Assessment Period ¹	Adopted RBL	NML
Receiver ID		dB LA90	dB LAeq(15min)
Residential Premises	When in use	38	48

¹Note 1: Refer to Table 4 for Standard Recommended Hours for Construction

6 Modelling Methodology

A computer model was developed to quantify project noise emissions to neighbouring receivers using DGMR (iNoise, Version 2024) noise modelling software. iNoise is an intuitive and quality assured software for industrial noise calculations in the environment. 3D noise modelling is considered industry best practice for assessing noise emissions from projects.

The model incorporated a three-dimensional digital terrain map giving all relevant topographic information used in the modelling process. Additionally, the model uses relevant noise source data, ground type, attenuation from barrier or buildings and atmospheric information to predict noise levels at the nearest potentially affected receivers. Where relevant, modifying factors in accordance with Fact Sheet C of the NPI have been applied to calculations.

The model calculation method used to predict noise levels was in accordance with ISO 9613:1 and ISO 9613:2 including corrections for meteorological conditions using CONCAWE¹. The ISO 9613 standards are the most used noise prediction method worldwide. Many countries refer to ISO 9613 in their noise legislation. However, the ISO 9613 standard does not contain guidelines for quality assured software implementation, which leads to differences between applications in calculated results. In 2015 this changed with the release of ISO/TR 17534-3. This quality standard gives clear recommendations for interpreting the ISO 9613 method. iNoise fully supports these recommendations. The models and results for the 19 test cases are included in the software.

¹ Report no. 4/18, 'the propagation of noise from petroleum and petrochemical complexes to neighbouring communities', Prepared by G.J. Manning, M.Sc., M.I.O.A. Acoustic Technology Limited (Ref.AT-931), CONCAWE, Den Haag May 1981

6.1 Sound Power Levels

Table 14 presents the sound power level for each noise source modelled in this assessment. It is noted that operational sound power levels were sourced from manufacturer's specifications or from in-field measurements at similar project sites. Sound powers for children at play activities were sourced from the Guideline for Childcare Centre Acoustic Assessment.

Table 14 Acoustically Significant Sources - Sound Power Levels dBA (re 10⁻¹² Watts)

Item and number modelled per 15 minutes	Sound Power Level dB LAeq	Total Sound Power Level dB LAeq(15min)	Source Height ¹
CCC Operational Sources			
15Kw AC plant (x7)	71	79	1.5m
Toilet Extraction Fan (x3)	70	74	0.5m
Kitchen Extraction Fan (x1)	73	73	0.5m
Car enters, park, start up, idle and drive off – External (x11) ²	73	83	0.5m
CCC Outdoor Play Sources			
Child aged 0-2 years vocal effort (x24)	68	82	0.6m
Child aged 2-3 years vocal effort (x21)	75	88	0.6m
Child aged 3-6 years vocal effort (x42)	77	93	0.6m
Construction			
Combined Construction Fleet		108	1.5m

Note 1: Height above the relative ground or building below source.

Note 2: Includes a duration adjustment assuming vehicles operate for three (3) minutes continuously within a period of 15-minutes.

6.2 Noise Attenuation Assumptions, Controls and Recommendations

The noise model adopted the following assumptions, controls and recommendations:

- the project is constructed as per the site design and plans, which includes the barrier attenuation provided by the project buildings orientation;
- construction of an impervious barrier surrounding the project boundary (see **Figure 3**). The barrier should be constructed to an RL of 1.8m above the relative ground level of the site and consist of materials with a surface density of at least 10kg/m^2 , and not contain any gaps (ie lapped and capped timber or equivalent); and
- the mechanical plant for the CCC is yet to be finalised. Therefore, the modelling assumes seven 15Kw AC units to account for the classrooms and admin spaces. The AC units are assumed to be located on rooftop of the building over each served area.



7 Noise Assessment Results

7.1 Operational Noise Assessment

Noise predictions from all operational sources have been quantified at surrounding residential receivers to the project site and are presented in **Table 15**.

Table 15 Noise Predictions – All Receivers

Receiver	Predicted Noise Level	PNTL	Compliant
	dB LAeq(15min)	dB LAeq(15min)	
	Day	Day	
FR01	37	43	✓
FR02	40	43	✓
FR03	38	43	✓
FR04	39	43	✓
R01	32	43	✓
R02	33	43	✓
R03	37	43	✓
R04	35	43	✓
R05	34	43	✓
R06	35	43	✓
R07	34	43	✓
R08	33	43	✓
R09	32	43	✓

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

The results of the predictive noise modelling demonstrate the noise emissions from the project site satisfy the GCCCAA criteria from operational sources.

7.2 Childcare Centre Noise Assessment Results

7.2.1 Noise Intrusion Results – Outdoor Play Area

Table 16 presents the noise intrusion from the measured ambient noise levels comprising of traffic noise levels impacting on the CCC external play spaces. The results demonstrate compliance with the criteria outlined in the GCCCAA.

Table 16 External Play Area Noise Results

Receiver	Measured Ambient Noise Level dB LAeq(1hr)		Criteria dB LAeq(1hr)	Compliant
		Traffic		
Outdoor (Infants) Play Area 01		50	55	✓
Outdoor Play Area 02		50	55	✓

7.2.2 Noise Intrusion Results – Internal Play Spaces

Table 17 presents the predicted internal CCC noise levels (assuming that rooms have an external façade) from the existing ambient noise levels. The predicted internal results show compliance with the criteria in the GCCCAA assuming a 20dB loss for the installed windows when closed.

Table 17 Internal Cumulative Noise Results

Receiver	Predicted noise level dB LAeq(1hr)		Internal Criteria dB LAeq(1hr)	Compliant
	Ambient Noise Level	Internal		
Cots Room 01	50	<35 ¹	40	✓
Cots Room 02	50	<35 ¹	40	✓
Infants Room 01	50	<35 ¹	40	✓
Infants Room 02	50	<35 ¹	40	✓
Classroom 01	50	<35 ¹	40	✓
Classroom 02	50	<35 ¹	40	✓
Classroom 03	50	<35 ¹	40	✓

Note 1: Includes 20dB attenuation for a closed window.

7.2.3 Noise Emission Results – Outdoor play

Table 18 presents the noise emission results for children at play (LAeq(15min)) in the outdoor play area of the CCC. The predicted results show compliance with the criteria in the GCCCAA.

Table 18 Noise Emissions Results – CCC Outdoor Play

Receiver	Predicted Noise Level dB LAeq(15min)	Emission Criteria dB LAeq(15min)	Compliant
FR01	31	45	✓
FR02	34	45	✓
FR03	41	45	✓
FR04	31	45	✓
R01	34	45	✓
R02	35	45	✓
R03	34	45	✓
R04	25	45	✓
R05	40	45	✓
R06	42	45	✓
R07	44	45	✓
R08	44	45	✓
R09	44	45	✓

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

7.3 Construction Noise Assessment

Table 19 presents the results of modelled construction noise emissions taking into account the additional 10dB attenuation provided by standard mitigation measures. Predictions identify that emissions from construction would remain below the Construction NMLs at all the assessed existing receivers with the inclusion of standard mitigation measures.

Table 19 Construction Noise Levels – All Receivers

Receiver	Period ¹	Predicted Noise Level	Management Level	Compliant
		dB LAeq(15min)	dB LAeq(15min)	
R01	Day	28	48	✓
R02	Day	30	48	✓
R03	Day	34	48	✓
R04	Day	45	48	✓
R05	Day	33	48	✓
R06	Day	32	48	✓
R07	Day	32	48	✓
R08	Day	31	48	✓
R09	Day	30	48	✓

Note: Future residential lots are not currently approved hence will not be present during construction.

Note 1: See Table 4 for Recommended Standard Hours for Construction.

8 Discussion and Conclusion

Muller Acoustic Consulting Pty Ltd (MAC) has completed a Noise Assessment (NA) to quantify emissions from the Proposed Modification to the approved Childcare Centre to be established at 39 Saleyards Road, Mudgee, NSW. The Noise Assessment has quantified potential emissions associated with the proposed modifications to the CCC as well as the noise intrusion from surrounding noise sources to the CCC.

The results of the Noise Assessment demonstrate that noise emissions from the operation would satisfy the relevant trigger levels at all assessed receivers once noise controls for the project are implemented (see **Section 6.2**):

- the project is constructed as per the site design and plans, which includes the barrier attenuation provided by the project buildings orientation;
- construction of an impervious barrier surrounding the project boundary (see **Figure 3**). The barrier should be constructed to an RL of 1.8m above the relative ground level of the site and consist of materials with a surface density of at least 10kg/m^2 , and not contain any gaps (ie lapped and capped timber or equivalent); and
- the mechanical plant for the CCC is yet to be finalised. Therefore, the modelling assumes seven 15Kw AC units to account for the classrooms and admin spaces. The AC units are assumed to be located on rooftop of the building over each served area.

Modelled noise emissions from construction activities identify that predicted noise emissions will remain below the applicable construction management levels at all receivers taking into account the standard mitigation measures (see **Table 6**).

In summary, the Noise Assessment supports the Development Application for the project incorporating the recommendations and controls outlined in this report.

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Appendix A – Glossary of Terms

A number of technical terms have been used in this report and are explained in **Table A1**.

Table A1 Glossary of Acoustical Terms

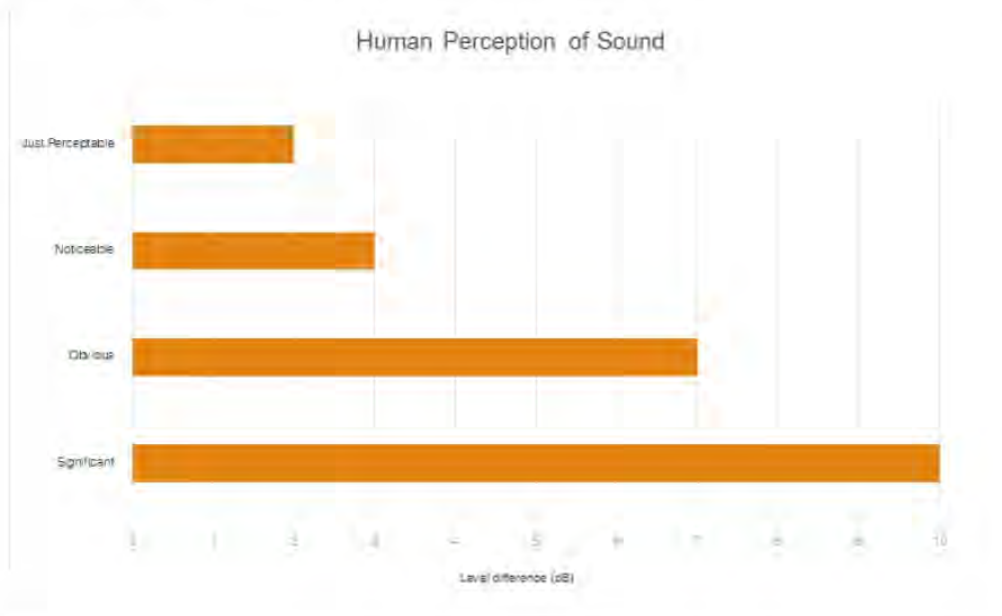
Term	Description
1/3 Octave	Single octave bands divided into three parts
Octave	A division of the frequency range into bands, the upper frequency limit of each band being twice the lower frequency limit.
ABL	Assessment Background Level (ABL) is defined in the NPI as a single figure background level for each assessment period (day, evening and night). It is the tenth percentile of the measured L90 statistical noise levels.
Ambient Noise	The total noise associated with a given environment. Typically, a composite of sounds from all sources located both near and far where no particular sound is dominant.
A Weighting	A standard weighting of the audible frequencies designed to reflect the response of the human ear to sound.
Background Noise	The underlying level of noise present in the ambient noise, excluding the noise source under investigation, when extraneous noise is removed. This is usually represented by the LA90 descriptor
dBA	Noise is measured in units called decibels (dB). There are several scales for describing noise, the most common being the 'A-weighted' scale. This attempts to closely approximate the frequency response of the human ear.
dB(Z), dB(L)	Decibels Z-weighted or decibels Linear (unweighted).
Extraneous Noise	Sound resulting from activities that are not typical of the area.
Hertz (Hz)	The measure of frequency of sound wave oscillations per second - 1 oscillation per second equals 1 hertz.
LA10	A sound level which is exceeded 10% of the time.
LA90	Commonly referred to as the background noise, this is the level exceeded 90% of the time.
LAeq	Represents the average noise energy or equivalent sound pressure level over a given period.
LAmx	The maximum sound pressure level received at the microphone during a measuring interval.
Masking	The phenomenon of one sound interfering with the perception of another sound. For example, the interference of traffic noise with use of a public telephone on a busy street.
RBL	The Rating Background Level (RBL) as defined in the NPI, is an overall single figure representing the background level for each assessment period over the whole monitoring period. The RBL, as defined is the median of ABL values over the whole monitoring period.
Sound power level (Lw or SWL)	This is a measure of the total power radiated by a source in the form of sound and is given by $10 \cdot \log_{10} (W/W_0)$. Where W is the sound power in watts to the reference level of 10^{-12} watts.
Sound pressure level (Lp or SPL)	the level of sound pressure; as measured at a distance by a standard sound level meter. This differs from Lw in that it is the sound level at a receiver position as opposed to the sound 'intensity' of the source.

Table A2 provides a list of common noise sources and their typical sound level.

Table A2 Common Noise Sources and Their Typical Sound Pressure Levels (SPL), dBA

Source	Typical Sound Pressure Level
Threshold of pain	140
Jet engine	130
Hydraulic hammer	120
Chainsaw	110
Industrial workshop	100
Lawnmower (operator position)	90
Heavy traffic (footpath)	80
Elevated speech	70
Typical conversation	60
Ambient suburban environment	40
Ambient rural environment	30
Bedroom (night with windows closed)	20
Threshold of hearing	0

Figure A1 – Human Perception of Sound



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Appendix B – Site Plans



LOCALITY PLAN.



saleyards lane, mudgee

lot 30 & 29, dp1267151 & lot 2, dps10997

DRAWING SCHEDULE.

A 00	COVER SHEET	REV B	DATED 20.02.2023
A 01	EXISTING SITE PLAN	REV B	DATED 20.02.2023
A 02	PROPOSED SITE PLAN	REV D	DATED 20.02.2023
A 03	EXISTING FLOOR PLAN & DEMOLITION	REV A	DATED 27.06.2023
A 04	PROPOSED FLOOR PLAN	REV C	DATED 20.02.2023
A 05	ELEVATIONS	REV C	DATED 20.02.2023

EXTENSION TO GOWRIE CHILDCARE CENTRE

39 SALEYARDS LANE, MUDGEE



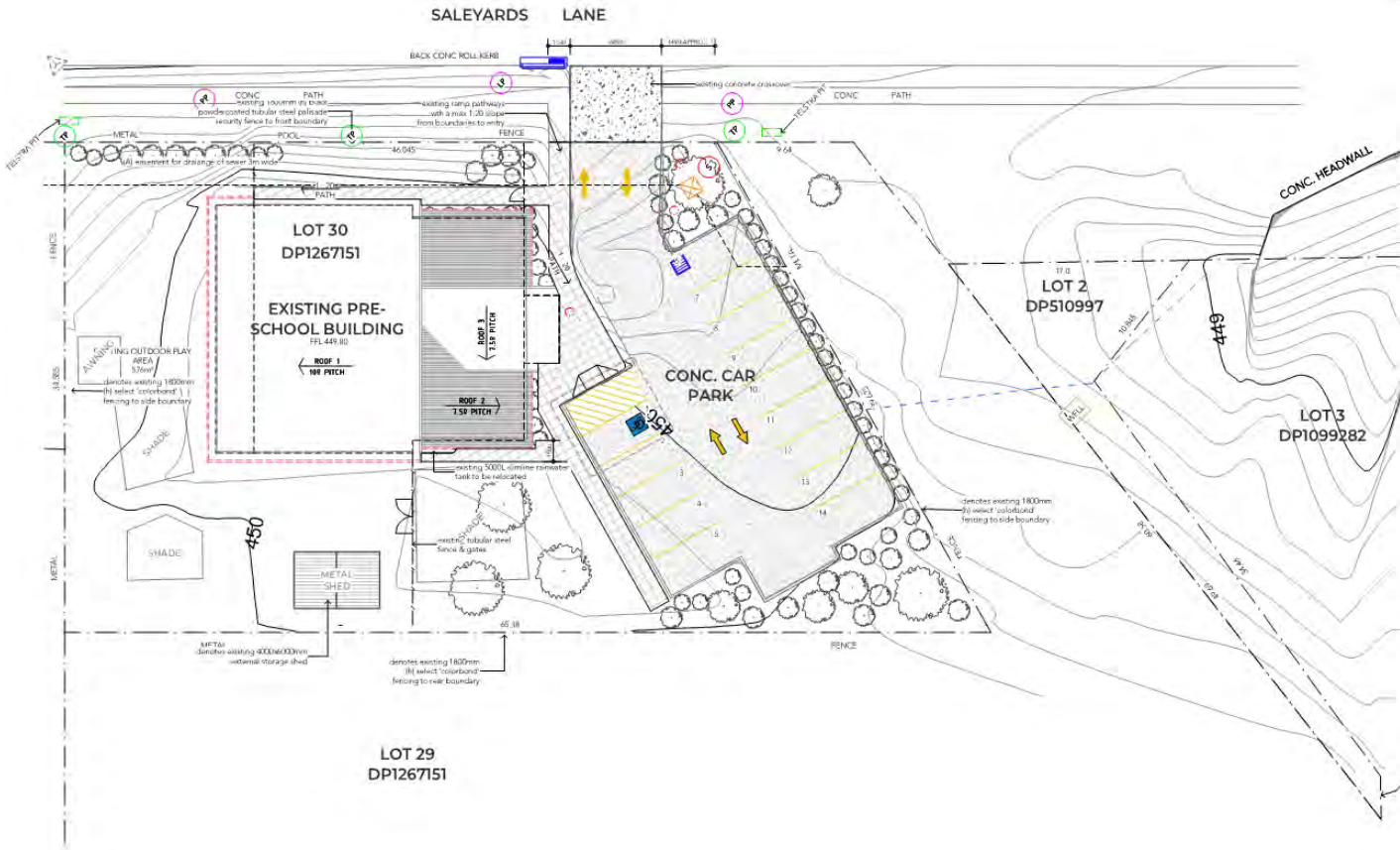
Project:
**EXTENSION TO GOWRIE
CHILDCARE CENTRE**
Site Address:
39 SALEYARDS LANE, MUDGEE
Client:
GHQS PTY LTD

Drawing Title:
COVER SHEET
Scale: As indicated @ A1
Sheet: 01 of 06
Project No: 41821

Drawing No:
**41821-
A00**



01 EXISTING SITE LAYOUT
 Scale 1:180 (M:A)
 0 100 200 400 800



BARNSON PTY LTD:

address: Unit 1, 35 Curlew Street
 Dubbo NSW 2885
 phone: (08) 9493 8100
 email: general.enquiries@barnson.com.au
 web: barnson.com.au

Rev: 27.08.2024
 Date: 30.02.2025
 Description: PRELIMINARY SURVEY INFO: 39 SALEYARDS LANE (AMENDMENT)

Project: EXTENSION TO GOWRIE
 CHILD CARE CENTRE
 Site Address: 39 SALEYARDS LANE, MUDGEE
 Client: GHQS PTY LTD

Drawing title: EXISTING SITE PLAN
 Scale: 1:180 (M:A)
 Sheet: 01 of 04
 Project No: 41821
 Drawn: CM
 Checked: KG
 Revision: B

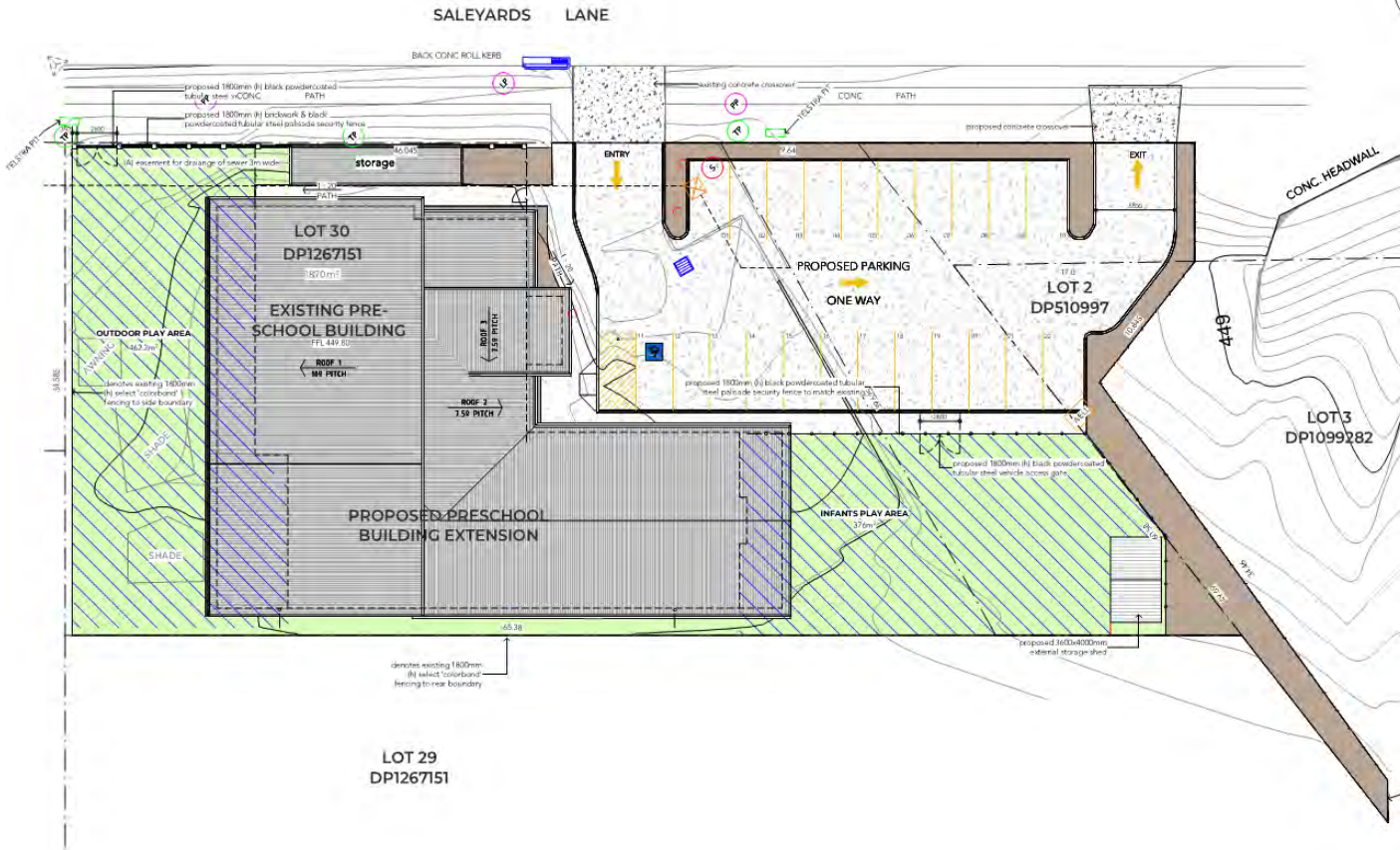
PRELIMINARY

Drawing No:

41821-
A01



02 PROPOSED SITE LAYOUT
Scale: 1:100 @ A1
0 100 200 400 600



PROPOSED SITE LEGEND

- new asphaltic concrete carpark area for more information refer to civil engineer's design
- new concrete footpaths for more information refer to civil engineer's design
- proposed grassed area for more information refer to landscape architect's design
- proposed landscaping area for more information refer to landscape architect's design
- carpark markings - arrows to be applied using part in accordance with Mid-Western Regional Council Development Control Plan & AS2896.4-2009
- proposed 1800mm (H) tubular steel palisade security fence to match existing
- new concrete kerb & gutter for more information refer to civil engineer's design

UNENCUMBERED OUTDOOR CALCULATIONS.

The following calculations have been determined in accordance with chapter 4, part 4.3, clause 108 of the education & care services national regulations:

outdoor play area	= 462.2m ²
infants play area	= 376.6m ²
total unencumbered outdoor area	= 838.8m²
allowable spaces per child in care	= 7.00m ²
838.7/00m ²	= 115 children (88 proposed)

The above calculations & adjoining plan have been prepared by Kirk Gleeson, a building practitioner referred to in chapter 1, clause 3 of the education & care services national regulations & accredited under building designers accreditation & marking no. 6289



BARNSON PTY LTD

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email: generalenquiry@barnson.com.au
web: barnson.com.au

Rev	Date	Description
A	27/06/2024	PRELIMINARY
B	18/07/2024	CLIENT REQUESTED AMENDMENTS
C	11/07/2024	PARKING AMENDMENT
D	03/07/2024	SURVEY IMPROVEMENT & FLOOR PLAN AMENDMENT

Project: **EXTENSION TO GOWRIE CHILD CARE CENTRE**
Site Address: **39 SALEYARDS LANE, MUDGEE**
Client: **GHQS PTY LTD**

Drawing Title: **PROPOSED SITE PLAN**
Scale: **As indicated @ A1**
Sheet: **02 of 04**
Project No.: **41821**

Drawing No.:
Drawn: **CM**
Checked: **KG**
Revision: **D**

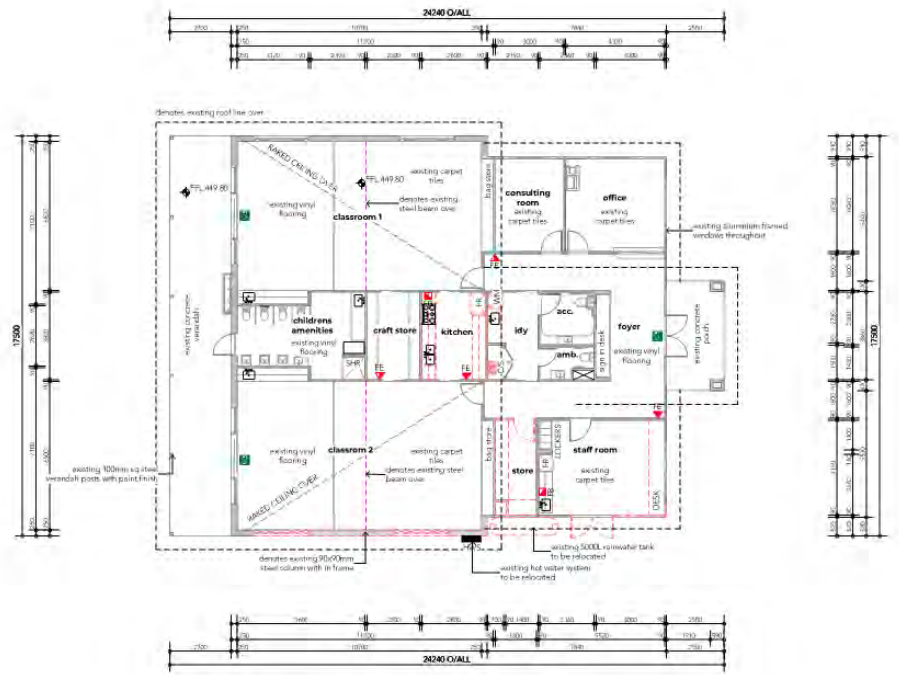
PRELIMINARY
41821-A02



03 EXISTING FLOOR PLAN & DEMOLITION
 Scale: 1:100 @ A1



- denotes existing elements to be demolished, make good to existing surface.
- denotes existing walls to be demolished, make good to existing surface.
- denotes existing doors to be demolished, make good to existing surface.
- denotes existing windows to be demolished, make good to existing surface.



BARNSON PTY LTD
 Unit 1, 3rd Floor above
 Dandenong Station
 1/300 BARNSON (1300 27 8700)
 general@barnson.com.au
 barnson.com.au

Scale: 1:100
 Date: 21/06/2024
 Drawn: HIRSHMANN

Project:
**EXTENSION TO GOWRIE
 CHILDCARE CENTRE**
 Site address:
39 SALEYARDS LANE, MUDGEE
 Client:
GHQS PTY LTD

Drawing title:
**EXISTING FLOOR PLAN &
 DEMOLITION**
 Scale: As Indicated @ A1
 Sheet: 03 of 04
 Project No.: 41821

Drawing No.:

PRELIMINARY
 41821-
A03



04 FLOOR PLAN - GENERAL ARRANGEMENT
Scale: 1:100 (A1)



EXISTING FLOOR AREA	
existing ancillary	160.00 m ²
existing classroom	154.07 m ²
existing verandah & porch	61.45 m ²
TOTAL	375.52 m²
PROPOSED FLOOR AREA	
proposed ancillary	171.48 m ²
proposed classroom	201.97 m ²
proposed verandah	89.85 m ²
TOTAL	463.30 m²
OVERALL TOTAL	790.50 m²

UNENCUMBERED INDOOR SPACE CALCULATIONS.

The following calculations have been determined in accordance with chapter 4, part 3, clause 107 of the education & care services national regulations.

infants 1	
total unencumbered floor area	= 51.76m ²
allowable space per child in care	47.0/3.25m ²
	= 15 children (12 proposed)
infants 2	
total unencumbered floor area	= 55.96m ²
allowable space per child in care	49.8/3.25m ²
	= 16 children (12 proposed)
classroom 1	
total unencumbered floor area	= 68.60m ²
allowable space per child in care	68.4/3.25m ²
	= 21 children
classroom 2	
total unencumbered floor area	= 68.46m ²
allowable space per child in care	68.4/3.25m ²
	= 21 children
classroom 3	
total unencumbered floor area	= 68.56m ²
allowable space per child in care	68.4/3.25m ²
	= 21 children

The above calculations & seating plan have been prepared by K&K Design, a Building Practitioner registered for Chapter 1, clause 4 of the education & care services national regulations & accredited under building designers accreditation & membership of accreditation no. 6289.

1/6/2024



BARNSON PTY LTD

Level 1, 34 Cornhill Street
Dunedin 9014
100 BARNSON STREET
DUNEDIN 9014
GENERAL ENQUIRY: 0800 227 676
BARNSON PTY LTD

REV	DATE	DESCRIPTION
1	27/06/2024	PRELIMINARY
2	11/07/2024	CLIENT REQUESTED AMENDMENTS
3	21/07/2024	STAKEHOLDER FEEDBACK AMENDMENTS

Project: **EXTENSION TO GOWRIE
CHILD CARE CENTRE**
Site address: **39 SALEYARDS LANE, MUDGEE**
Client: **GHQS PTY LTD**

Drawing Title: **PROPOSED FLOOR PLAN**

Scale: As indicated (A1)	Drawn: CM
Sheet: 04 of 04	Checked: KG
Project No: 41821	Revision: C

PRELIMINARY

Drawing No.

41821-
A04

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Appendix C – Unattended Noise Monitoring Charts

Table C1 Background Noise Monitoring Summary – Location L1¹

Date	Measured Background Noise Level (LA90) dB ABL ²			Measured Ambient Noise Level dB LAeq(period)		
	Day	Evening	Night	Day	Evening	Night
	Thursday 27 June 2024	N/A ³	33	25	N/A ³	44
Friday 28 June 2024	33	35	26	50	44	39
Saturday 29 June 2024	35	28	N/A ³	48	43	N/A ³
Sunday 30 June 2024	31	28	25	43	40	41
Monday 01 July 2024	38	32	30	53	41	42
Tuesday 02 July 2024	43	37	33	53	45	42
Wednesday 03 July 2024	43	34	31	49	43	40
Thursday 04 July 2024	42	33	29	51	42	40
Location L1 – RBL / Leq Overall	38	33	29	50	43	41

Note 1: Day - the period from 7am to 6pm Monday to Saturday or 8am to 6pm on Sundays and public holidays; Evening - the period from 6pm to 10pm; Night - the remaining periods.

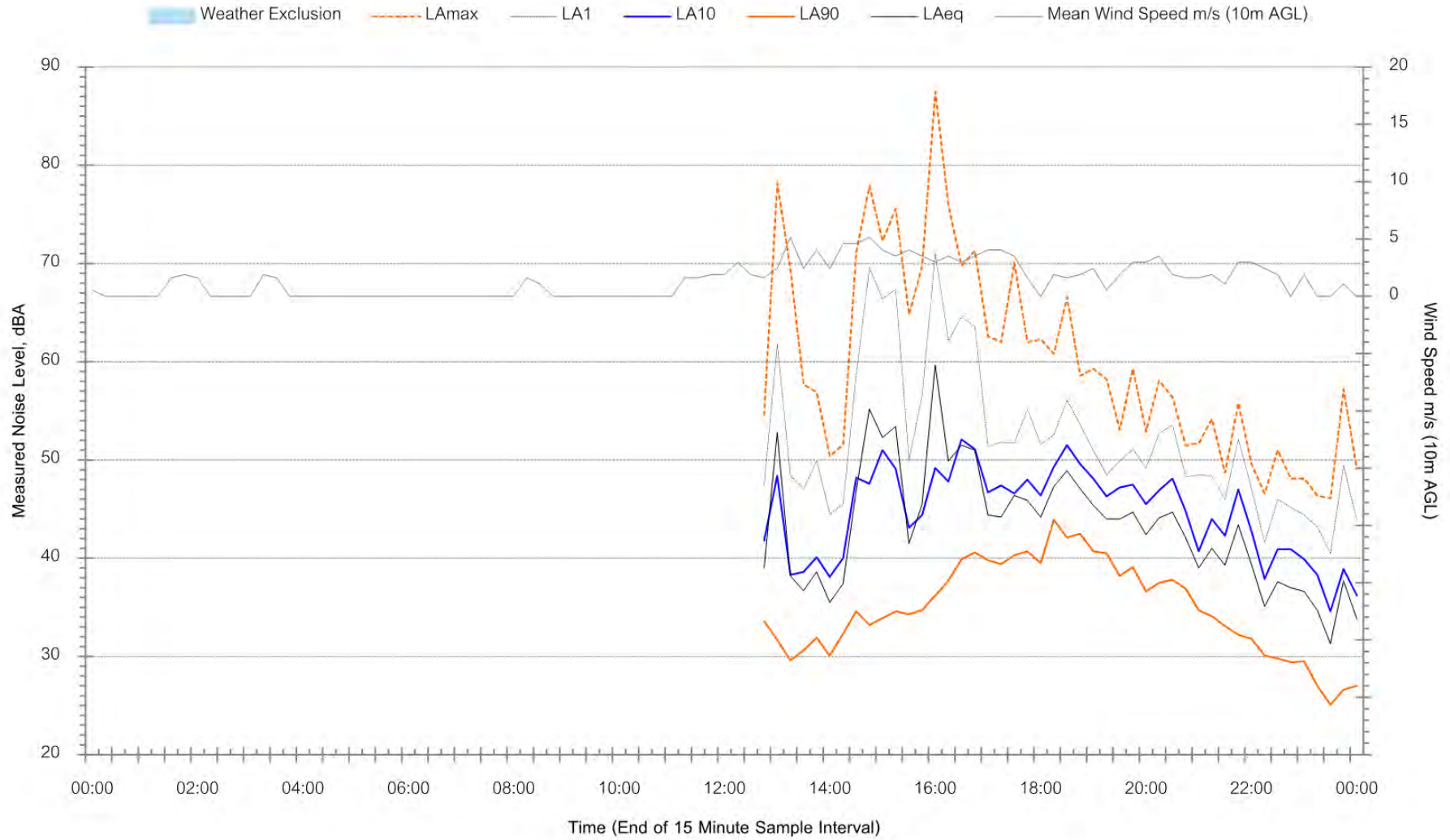
Note 2: Assessment background level (ABL) - the single-figure background level representing each assessment period: day, evening, and night as per NPI Fact Sheet A.

Note 3: Extraneous noise excluded.

Note: Excludes periods of wind or rain affected data. Meteorological data obtained from the Bureau of Meteorology weather station Mudgee Airport AWS 32°S 149.6°E 471m AMSL.

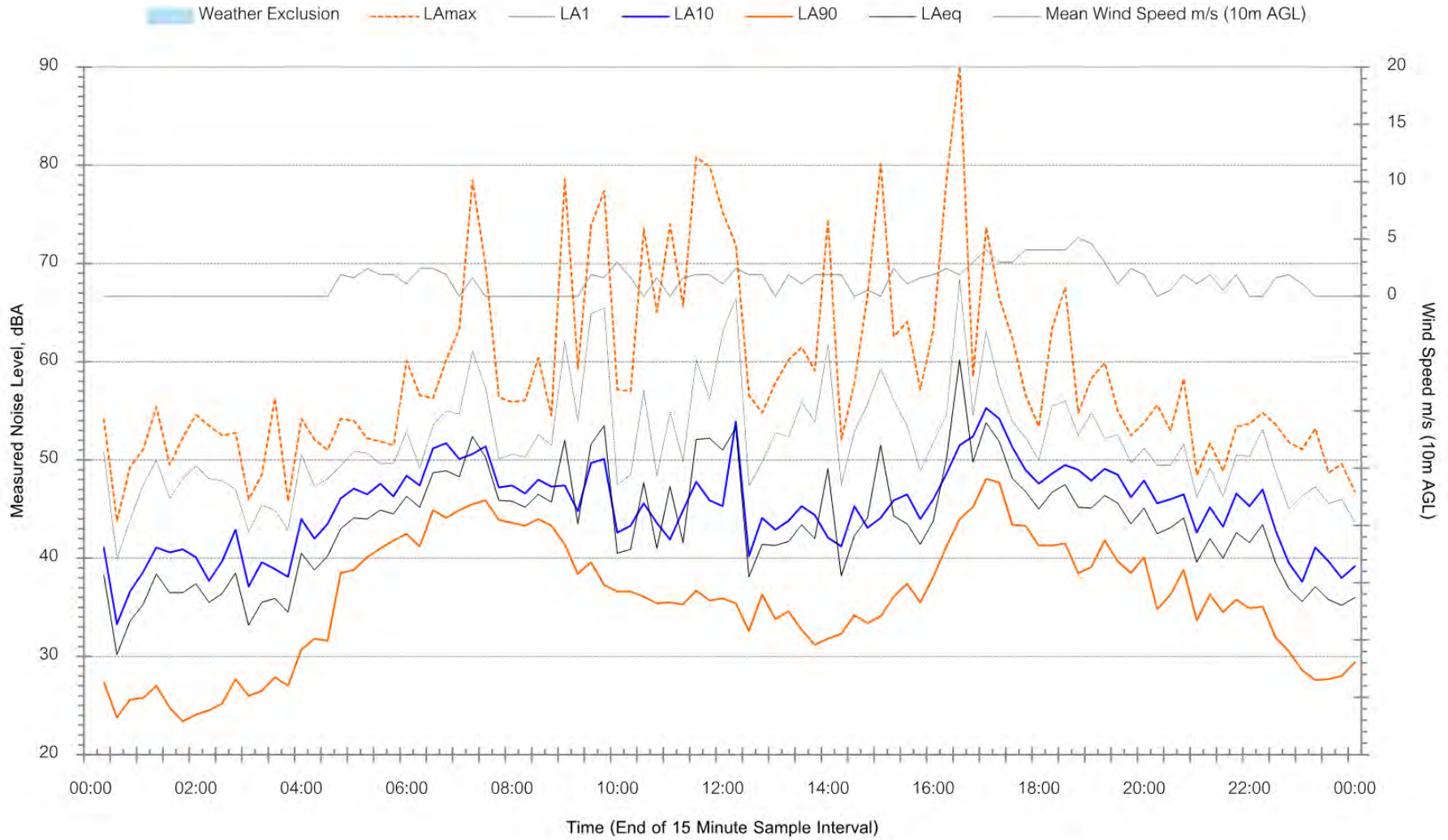


Background Noise Levels Gowrie CCC, Mudgee NSW - Thursday 27 June 2024



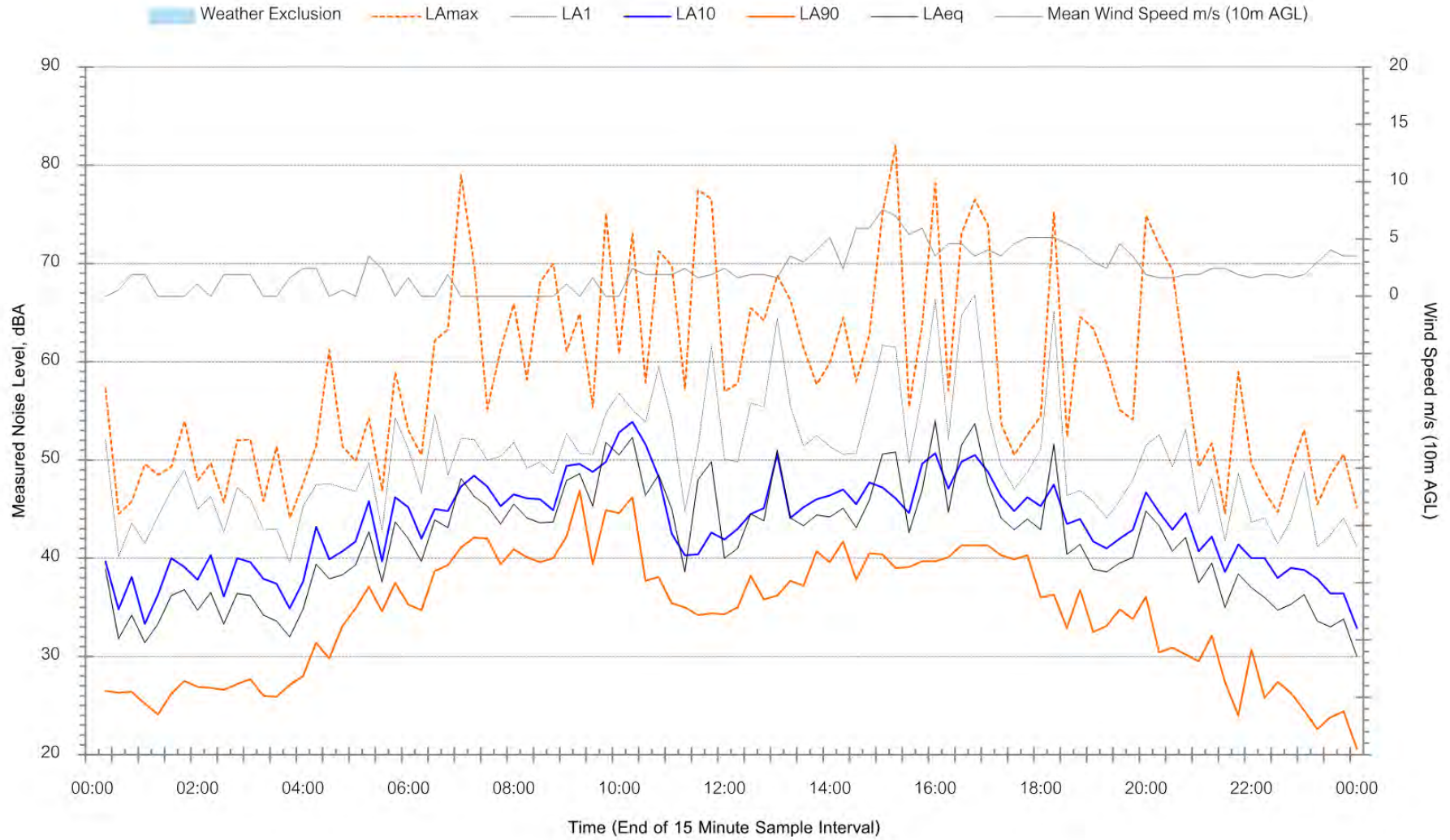


Background Noise Levels Gowrie CCC, Mudgee NSW - Friday 28 June 2024



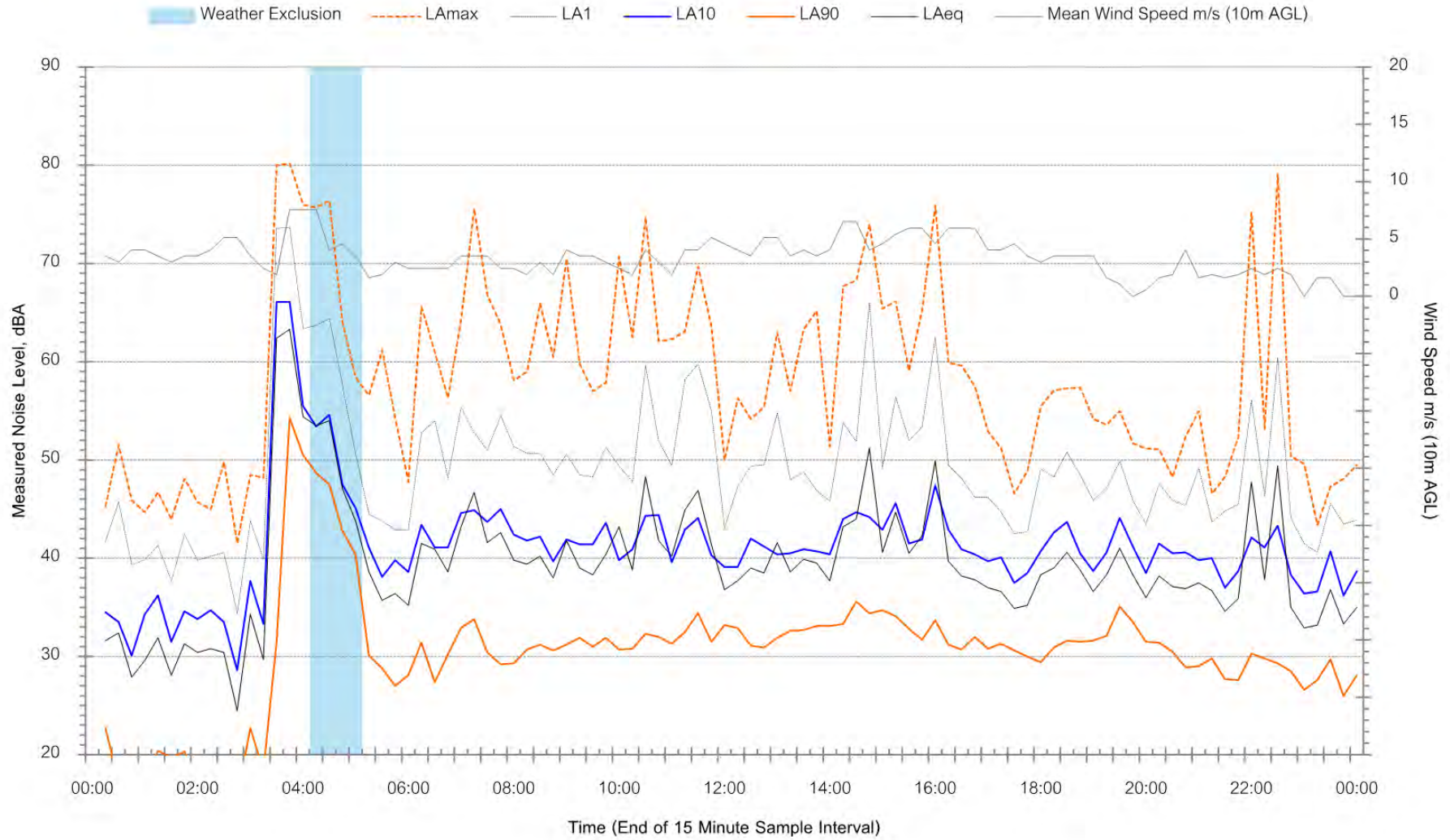


Background Noise Levels Gowrie CCC, Mudgee NSW - Saturday 29 June 2024



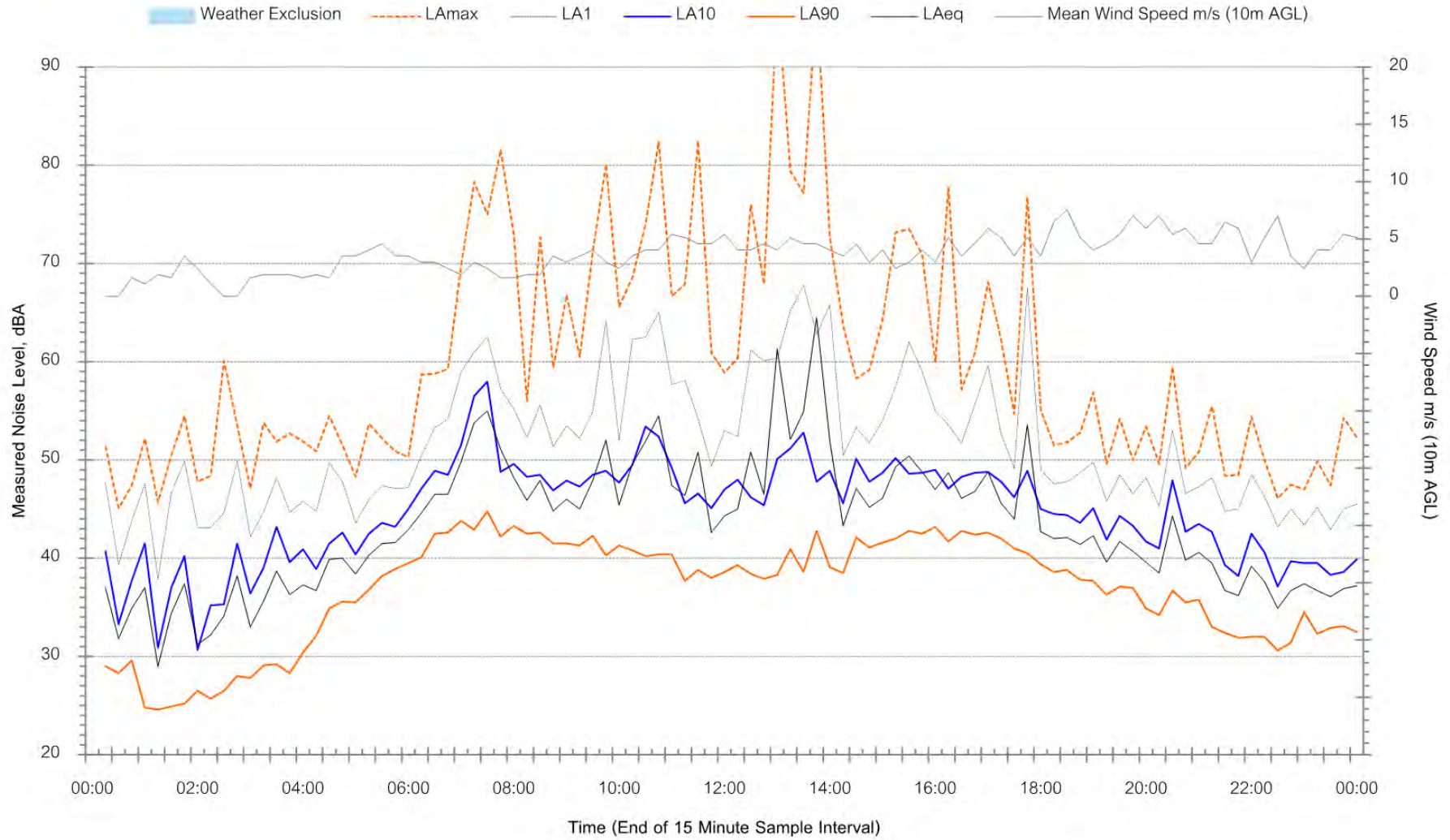


Background Noise Levels Gowrie CCC, Mudgee NSW - Sunday 30 June 2024



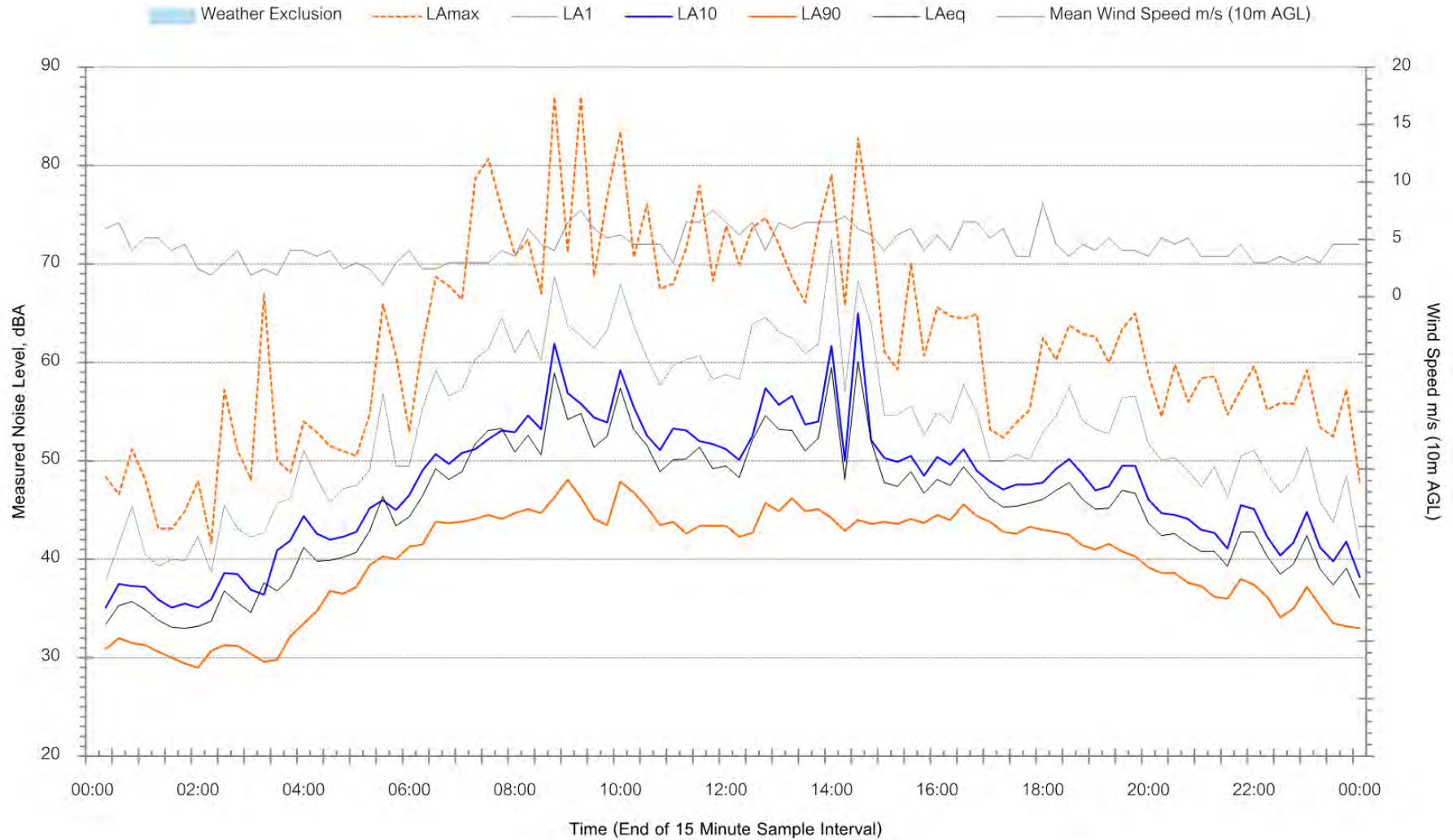


Background Noise Levels Gowrie CCC, Mudgee NSW - Monday 1 July 2024



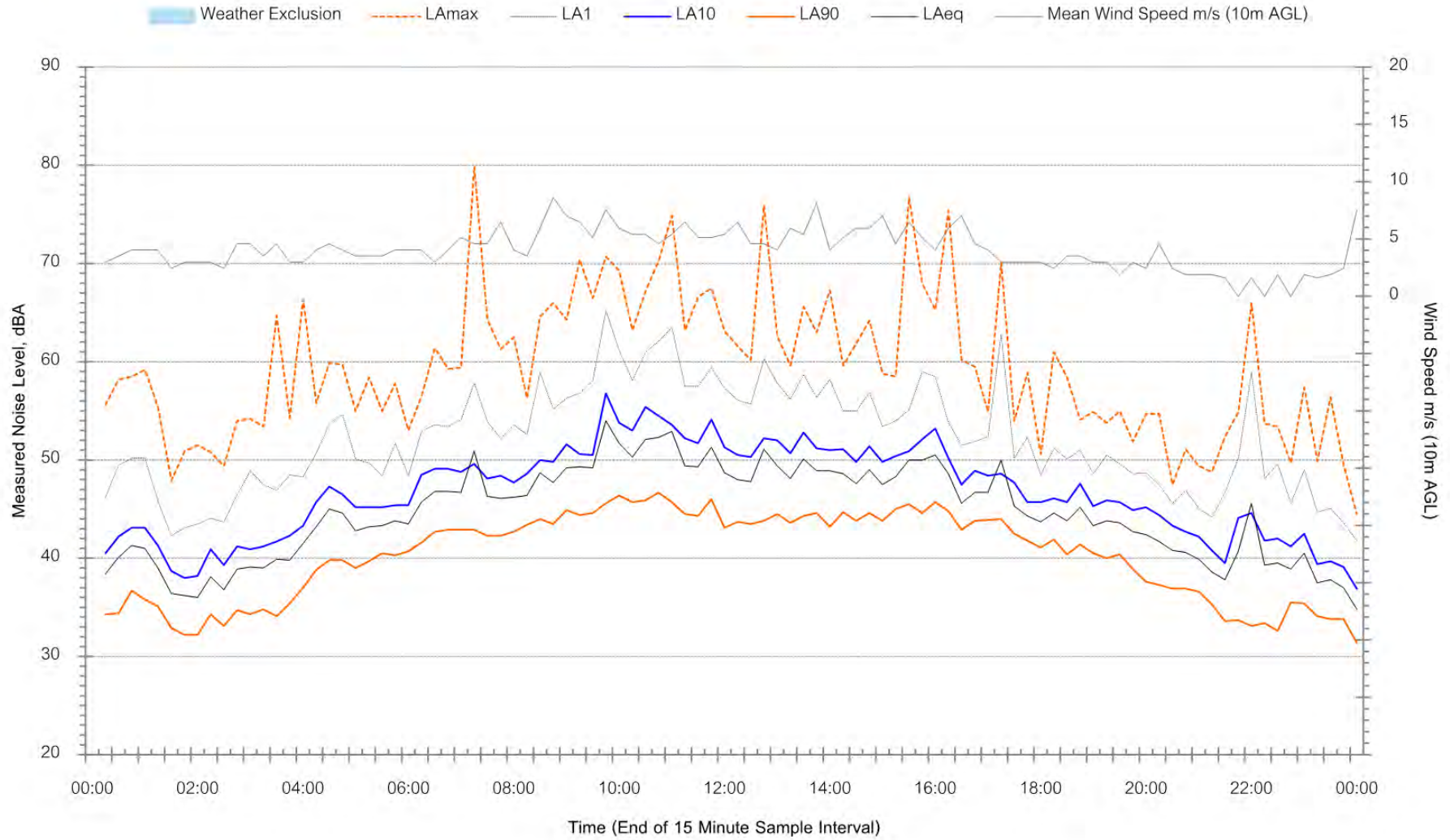


Background Noise Levels Gowrie CCC, Mudgee NSW - Tuesday 2 July 2024



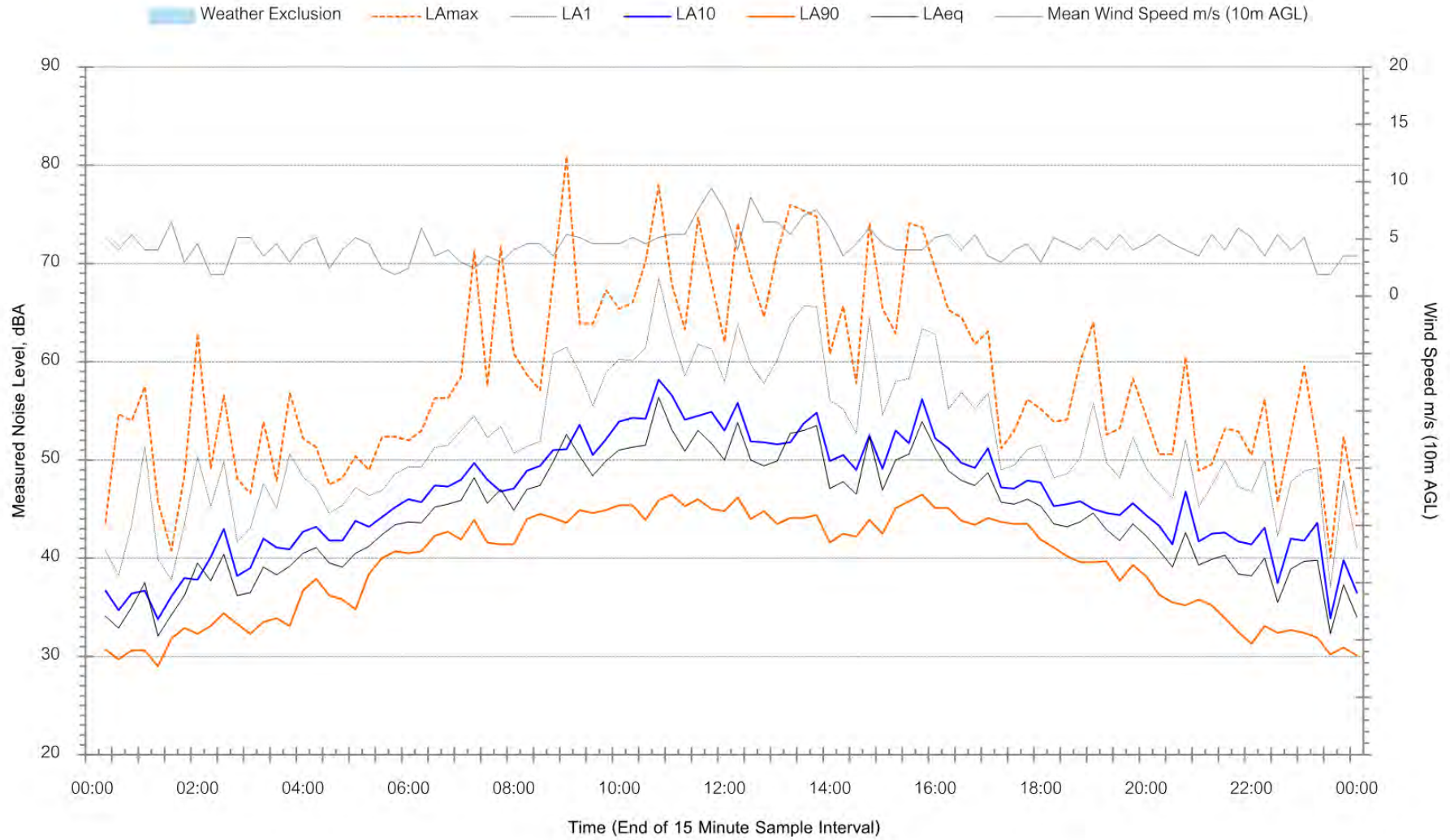


Background Noise Levels Gowrie CCC, Mudgee NSW - Wednesday 3 July 2024



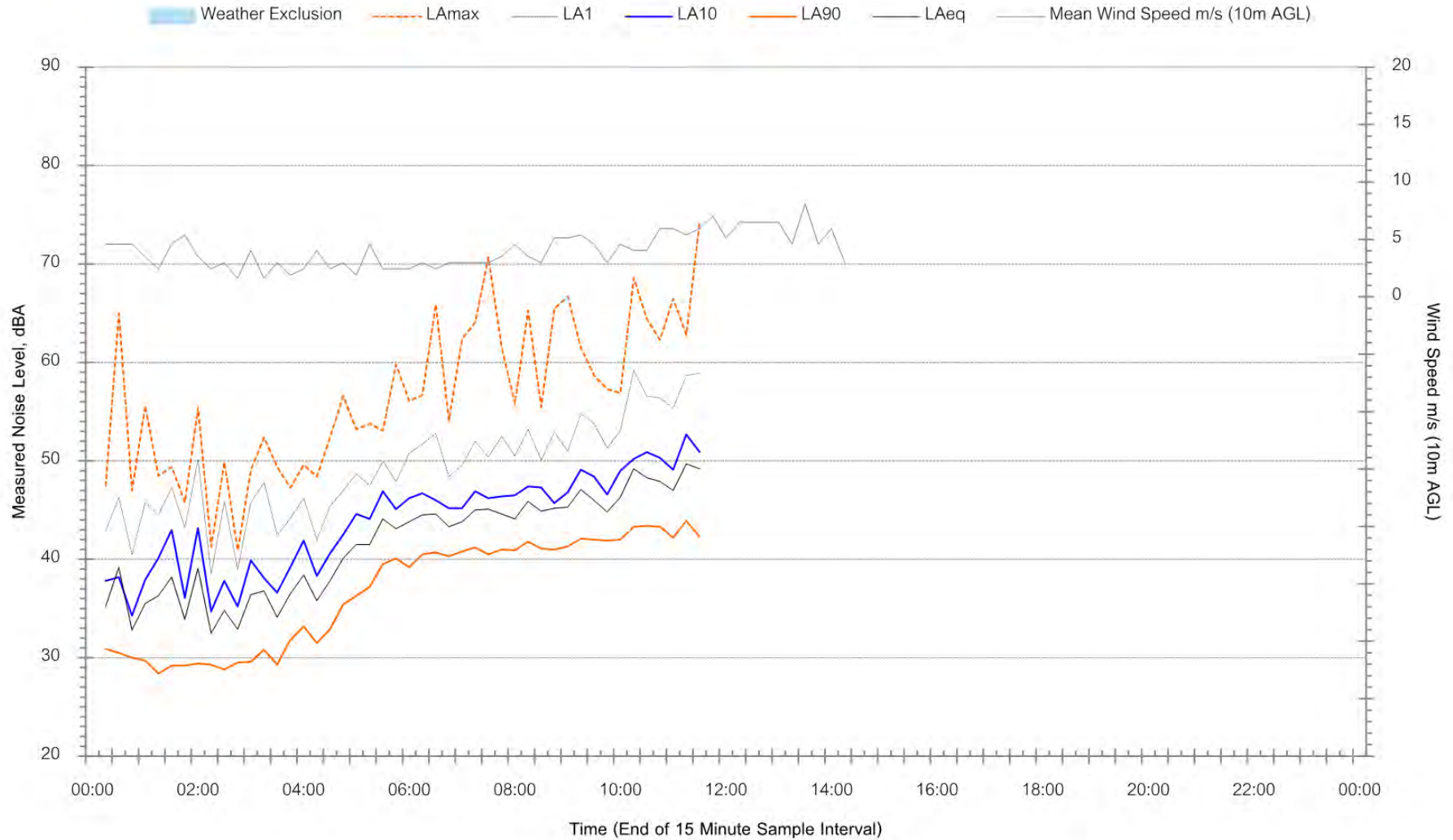


Background Noise Levels Gowrie CCC, Mudgee NSW - Thursday 4 July 2024





Background Noise Levels Gowrie CCC, Mudgee NSW - Friday 5 July 2024





Muller Acoustic Consulting Pty Ltd
PO Box 678, Kotara NSW 2289
ABN: 36 602 225 132
Ph: +61 2 4920 1833
www.mulleracoustic.com



To the General Manager
Dear Brad,
In full support of the proposed
DA 0074/2025.
Kind Regards

21/10/24



barnson.
DESIGN . PLAN . MANAGE

Planning Proposal

Project: Rezoning and Reduction in Minimum Lot Size

Client: Roger Hayes

Site Address: 34 Bruce Road, Spring Flat

28 June 2024

Our Reference : 39720-PR01_B

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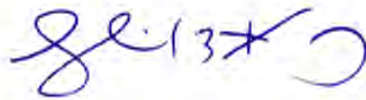


DISCLAIMER

This report has been prepared solely for **Roger Hayes** in accordance with the scope provided by the client and for the purpose(s) as outlined throughout this report.

Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

Project Name:	Planning Proposal - 34 Bruce Road, Spring Flat
Client:	Roger Hayes
Project Number:	39720
Report Reference:	39720-PR01_B
Date:	28 June 2024

Prepared by:	Reviewed by:
	
Jack Massey B. Urb & Reg. Planning Senior Town Planner	Jim Sarantzouklis MAIBS (Assoc) MEHA MAICD RPIA Director



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1. INTRODUCTION

1.1. Background

Barnson Pty Ltd has been engaged by Roger Hayes to prepare a Planning Proposal (PP) to support an amendment to the *Mid-Western Regional Local Environmental Plan 2012* (MWRLEP). The subject site is identified as Lots 42 and 49 DP 756894, known as 34 Bruce Road, Spring Flat.

This PP has been prepared in accordance with Section 3.33 of the *Environmental Planning and Assessment Act 1979* (EP&A Act), and *A Guide to Preparing Planning Proposals* prepared by the NSW Department of Planning and Environment (now known as the NSW Department of Planning, Infrastructure and Environment).

The Planning Proposal seeks to undertake a review of the site that has a current land zoning of RU4 Primary Production Small Lots under the MWRLEP. The Planning Proposal seeks to rezone the land to part R2 Lot Density Residential and part R1 General Residential and reduce the Minimum Lot Size from 20 hectares to part 2,000m² (R2) and part 600m² (R1) to facilitate the future subdivision of the site. The objective of the PP is to provide residential development opportunities on the property.

The Planning Proposal will amend both the *Mid-Western Regional Local Environmental Plan 2012* and associated Local Environmental Plan mapping. Plans associated with the Planning Proposal are provided in Appendix A of this report.

Consistent with the NSW Department of Planning, Infrastructure and Environment's guidelines, this Planning Proposal has been prepared in the following format:

- Part 1 – Objectives or intended outcomes
- Part 2 – Explanation of Provisions
- Part 3 – Justification and strategic and site-specific merit
- Part 4 – Maps
- Part 5 – Community Consultation
- Part 6 – Project Timeline

1.2. Proponent

The proponent for the proposal is Roger Hayes.

The logo for Barnson, featuring the word "barnson." in a bold, lowercase, sans-serif font. A vertical yellow line is positioned to the left of the text, and a small yellow dot is at the end of the period.

1.3. Consultant

Barnson Pty Ltd

Jack Massey

Unit 4, 108-110 Market Street

Mudgee NSW 2850

2. EXISTING ENVIRONMENT

2.1. Location and Title

The subject site of this Planning Proposal (PP) is legally described as Lots 42 and 49 DP 756894, and is known as 34 Bruce Road, Spring Flat. The site is located on the corner of Bruce Road and Spring Flat Road, which connects to the Castlereagh Highway to the north of the site.

The site is located approximately 3km south east of Mudgee, as shown in the aerial image of the site in Figure 1 below.



Figure 1: - The Site and the Planning Proposal Area
Source: ePlanning Spatial Viewer

2.2. Existing Land Use

The site is located within the Local Government Area (LGA) of Mid-Western Regional and is therefore subject to the provisions of the *Mid-Western Regional Local Environmental Plan (MWRLEP)*. The MWRLEP establishes a policy framework for land use planning decisions and guides the community in terms of how land can and cannot be used within the LGA.



The site is located in an area characterised by primary production, managed grasslands and emerging residential development. The site has historically been used for grazing purposes and is afforded with a single storey rural residential dwelling. A newly established school, manufactured home estate and small lot residential subdivisions have been established within close proximity to the site.

The site is zoned RU4 Primary Production Small Lots. There are R1 General Residential lands located to the north west of the site along with other zones within proximity. Refer to Figure 2 below.

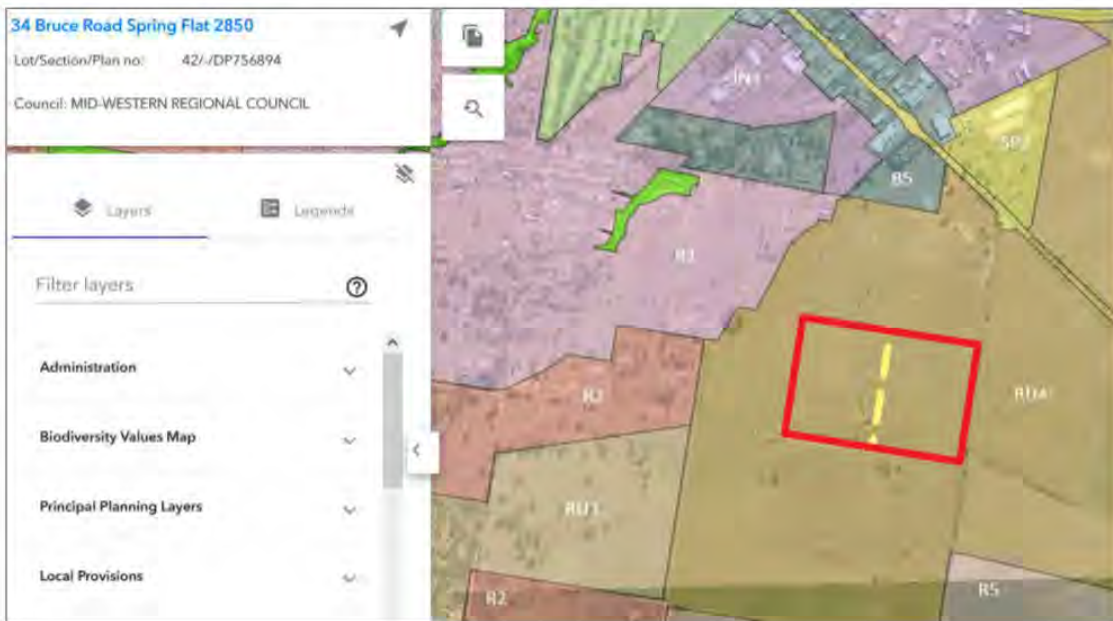


Figure 2: Existing Land Use Zones

Source: ePlanning Spatial Viewer

Tables 1 provides a summary of the lots subject to this Planning Proposal.

Table 1: Subject Land Details Summary	
Legal Description and Property Address	
Street Address:	34 Bruce Road
Suburb:	Spring Flat
Subject Land Property Description:	Lots 42 and 49 in DP 756894

Land Zoning:	RU4: Primary Production Small Lots
Names of Landowner:	Roger Hayes
Local Government Area:	Mid-Western Regional Local Government Area.

A copy of the Certificate of Title and Deposited Plan has been provided at Appendix B of this report.

2.3. Existing Minimum Lot Size

The subject site has a minimum lot size of 20 hectares pursuant to the MWRLEP lot size mapping Figure 3 is an extract of MWRLEP Sheet LZN_006H, with the site highlighted in white.

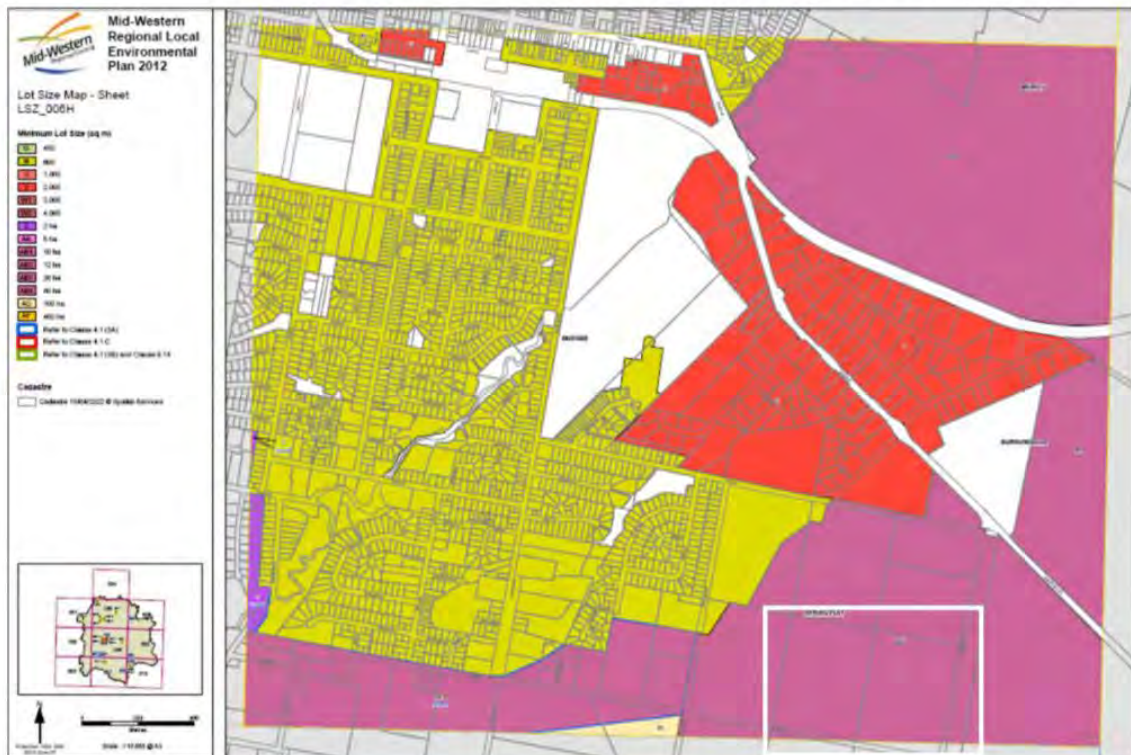


Figure 3: Existing Minimum Allotment Size – MWRLEP 2012

Source: NSW Legislation – Edited by Barnson Pty Ltd

2.4. Topography and Soils

The subject site is generally flat throughout. There are two dams situated on the site, but no identified watercourses, rivers or streams.

The site is classed as 3 Moderate Limitations in accordance with SEED Mapping and is shown in Figure 4 below.

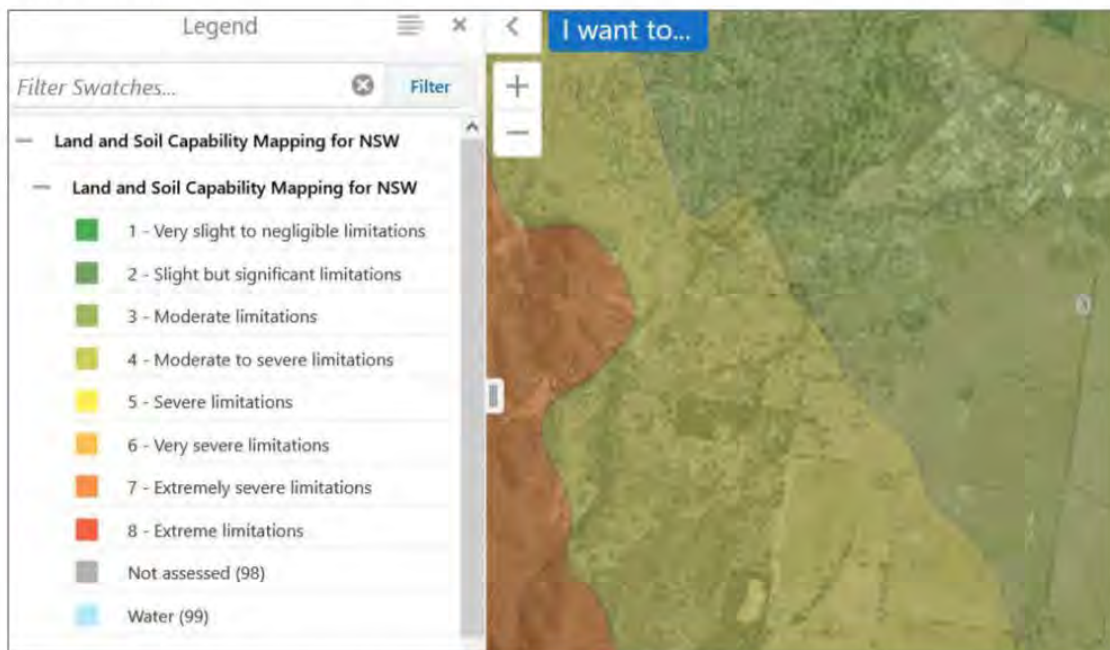


Figure 4 – SEED Land and Soil Capability Mapping

Source: Office of Environment & Heritage

2.5. Heritage

European Heritage

The site and immediate surrounding area has been identified on the existing *Mid-Western Regional Local Environmental Plan 2012* Heritage Map (sheet HER_005) in Figure 5. A review of the mapping and Schedule 5 of the MWRELP does not indicate any listed items located on the site or within proximity to the site.

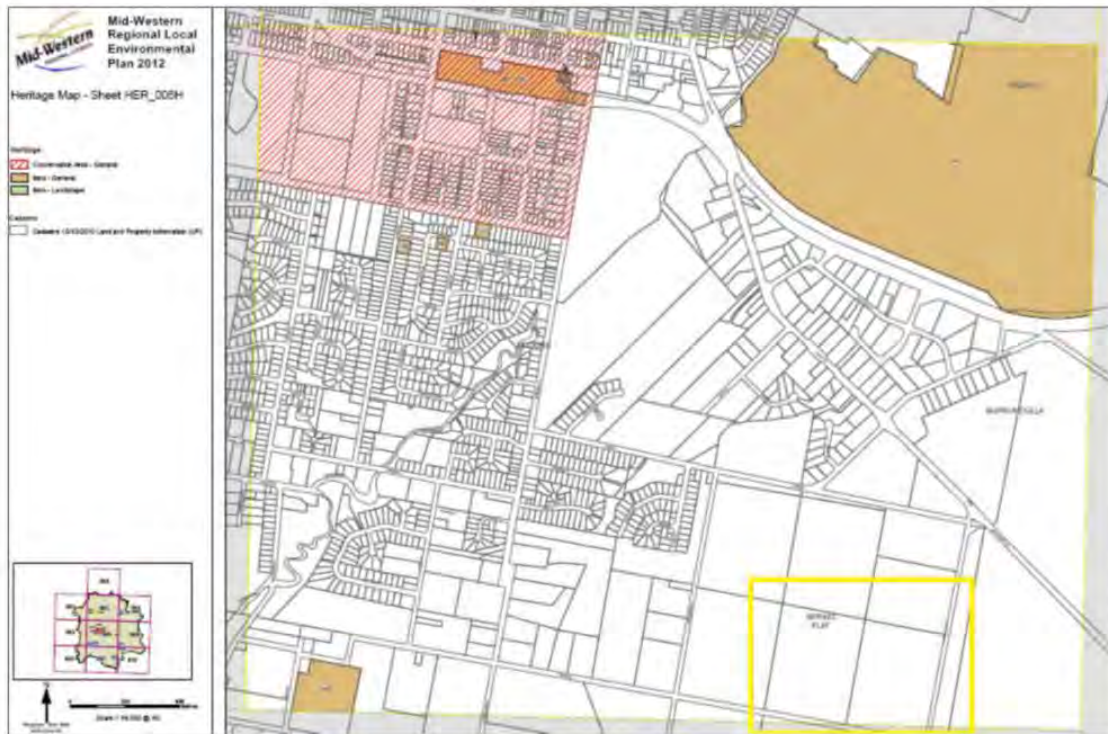


Figure 5: Heritage Map

Source: NSW Legislation - Edited Barnson Pty Ltd

Aboriginal Cultural Heritage

An Aboriginal Heritage Information Management System search was conducted for the subject site and 1km immediate surrounds (search extent shown in Figure 6 below).

Figure 6 illustrates that there are six (6) identified items pursuant to the AHIMS search, which are located to the west of the site. There is a considerable distance from the subject site to these mapped items, and there are no identified items located on the subject site. Refer to AHIMS Search provided in Appendix C of this report.

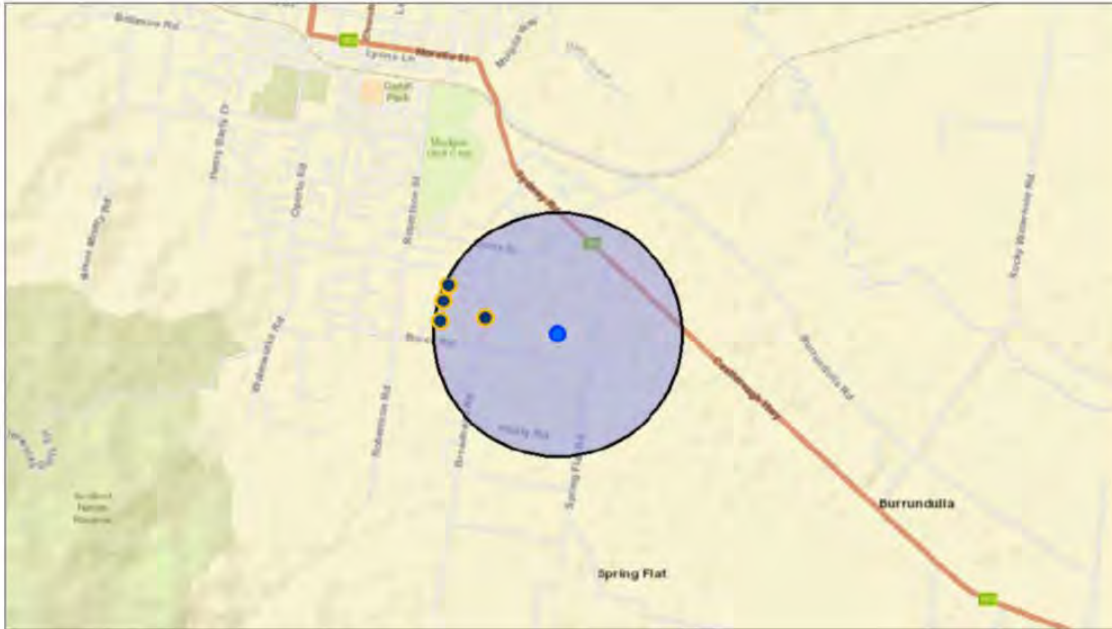


Figure 6: Aboriginal Heritage Information Management System Search Extent

Source: Heritage NSW (AHIMS)

2.6. Flora and Fauna

The site contains zero (0) Plant Community Types (PCT's) as shown in Figure 7 below. The site is heavily disturbed as a result of previous activities on the site. It is predominately grassland with some isolated trees. The grassland is frequently mowed/slashed and well managed. No threatened species have been recorded on the site, however there are some recordings within the road reserve of Bruce Road, as shown in Figure 8 below.

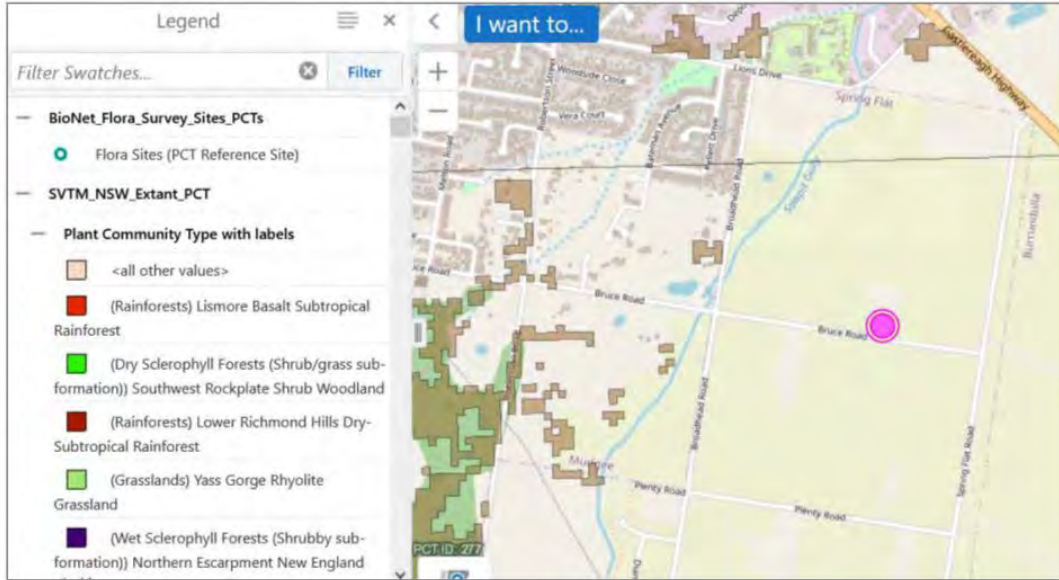


Figure 7: PCT Mapping

Source: Office of Environment & Heritage

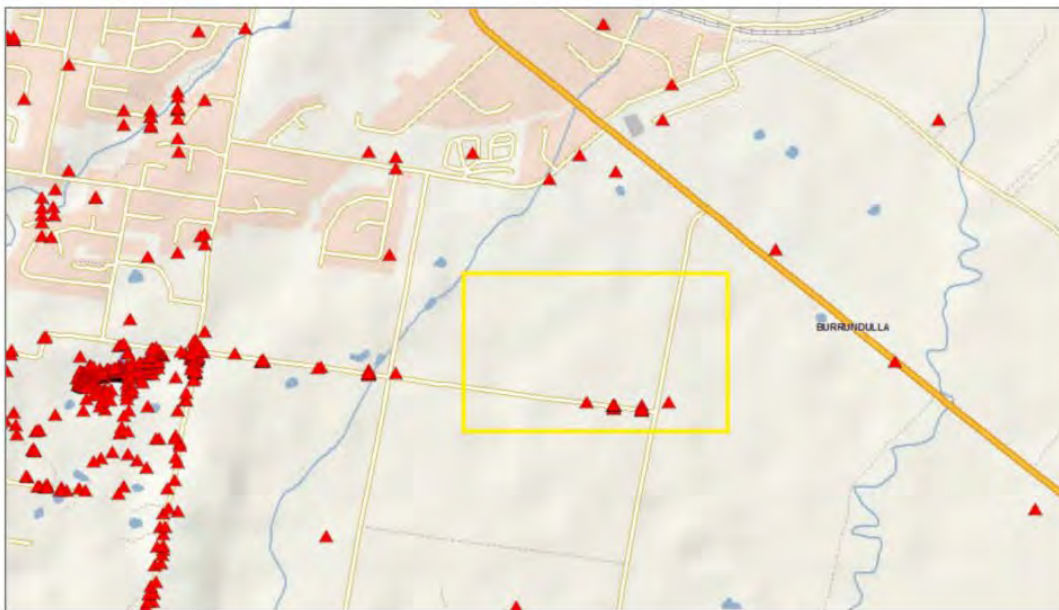


Figure 8: BioNet Atlas Search

Source: BioNet Atlas

2.7. Noise Environment

A noise assessment has not been undertaken as part of this Planning Proposal. The site is located within an area characterised by primary production and scattered and emerging residential activities. Noise levels are consistent with these land uses.

2.8. Natural Hazards

The site is not mapped as being bushfire prone or within a Flood Planning Area under the *Mid-Western Regional Local Environmental Plan 2012*, NSW Planning Portal or the RFS' Online Mapping Tool.

However the site has been mapped on the *Mudgee Flood Study 2021*. Figure 9 below, prepared by Barnson Pty Ltd, shows the extent of 1% Annual Exceedance Probability mapped flood land.

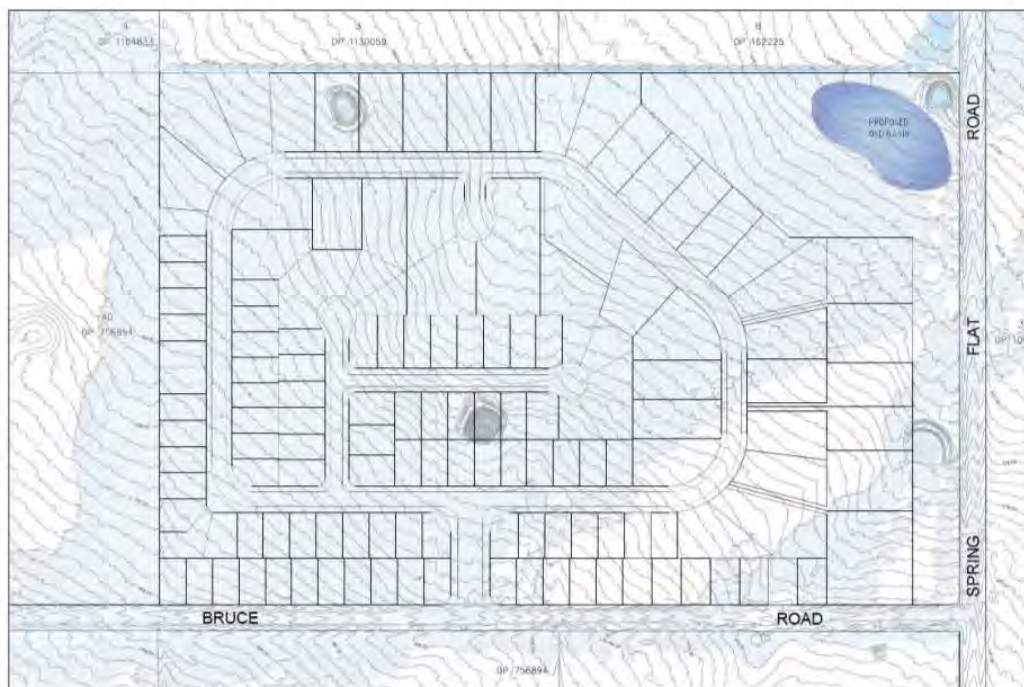


Figure 9 – Mudgee Flood Study Mapping

Source: Barnson Pty Ltd

2.9. Groundwater

The subject site is mapped as Groundwater Vulnerable under the *Mid-Western Regional Local Environmental Plan 2012* groundwater vulnerability mapping. Refer to Figure 10 below.

There are no known registered groundwater bores located on the subject site.

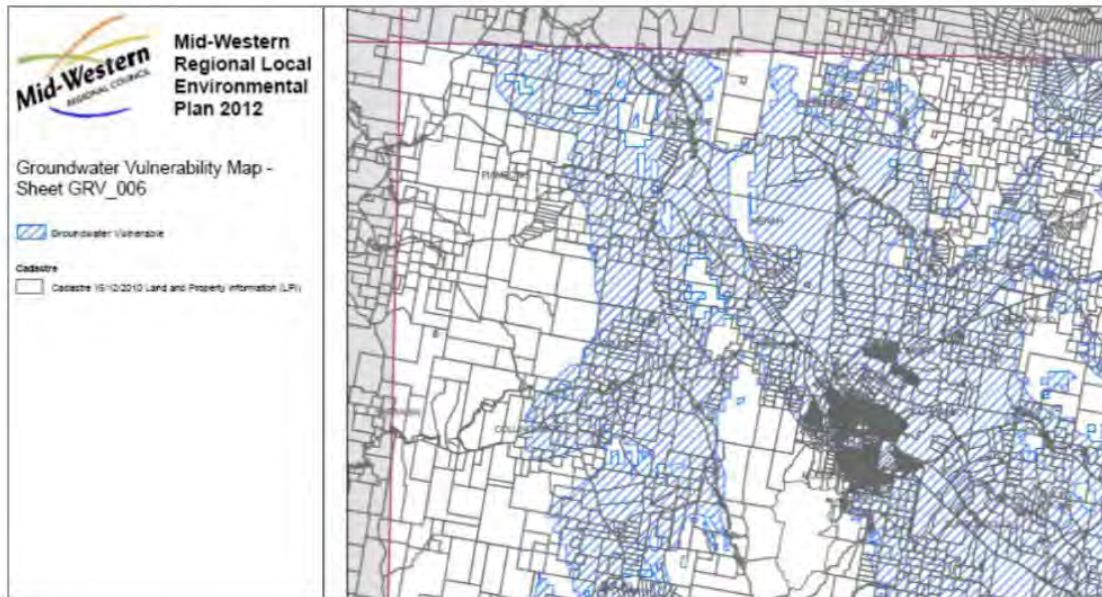


Figure 10 – Groundwater Vulnerability Mapping

Source: NSW Legislation - Edited Barnson Pty Ltd

2.10. Access and Traffic

Access is gained to the site off the northern side of Bruce Road, which is a bitumen sealed road. An internal driveway is established that provides access to the existing dwelling located on the site. A review of existing traffic conditions has been undertaken within the Traffic Impact Assessment provided in Appendix D of this report.

2.11. Contamination and Acid Sulphate Soils

The site is not known to have previously contained any of the land uses listed in Table 1 of the Contaminated Land Planning Guidelines that are likely to cause contamination. A Preliminary Site investigation has been prepared and is provided in Appendix E of this report.



2.12. Services

The subject site contains existing onsite services such as suitable road access, onsite effluent management, rainwater tanks for storage and reuse, stormwater management mechanisms, electricity and telecommunications. All existing services have been shown on the Plans in Appendix A of this report.



3. PLANNING PROPOSAL PARTICULARS

3.1. General

This Planning Proposal seeks Mid-Western Regional Council's support to rezone approximately 24.4 hectares of land from RU4 Primary Production Small Lots, as follows:

- Part R2 Low Density Residential with a minimum lot size of 2,000m²; and
- Part R1 General Residential with a minimum lot size of 600m².

The intention of rezoning the land is to permit the future subdivision of the site and its development for general residential purposes consistent with the objectives of the R2 Low Density Residential and R1 General Residential zones within the MWRLEP.

The PP is consistent with the Mid-Western Regional Comprehensive Land Use Strategy (CLUS), Urban Release Strategy and Council's Local Strategic Planning Statement, as outlined later in this report. The proposed will deliver a much needed supply of additional residential lots in a suitable and accessible location on the outskirts of Mudgee.

3.2. Lot yield

The Planning Proposal Area comprises a total area of approximately 24.4 hectares. Under the current RU4 Primary Production Small Lots zoning, the minimum lots size is 20 hectares, and a compliant subdivision would not allow for further subdivision of land. The land is predominately cleared with some scattered trees and an existing dwelling and associated outbuildings/vegetation.

Barnson have provided an indicative subdivision layout. This layout should be considered to determine the maximum yield for the site based on the proposed rezoning and any potential constraints. A copy of the concept subdivision has been provided in Appendix A of this report.

The plan demonstrates the following yield:

- R2 Low Density Residential (2,000m² MLS) - 44 Lots
- R1 General Residential (600m² MLS) - 102 Lots

The purpose of the concept subdivision plan is to show an ideal scenario for subdividing the site and providing a maximum yield for the proposed zoning and corresponding minimum lot size. The final arrangement would be subject to a detailed Development Application.

The opportunity area met specific criteria in the *Mid-Western Regional Comprehensive Land Use Strategy* and *Urban Release Strategy* and was identified as suitable land for future development. The opportunity is to specifically create a combination of small and large residential lots which consist of a minimum of 600m² and 2,000m² respectively where all utility services are available. The Planning Proposal will support and expand on an existing residential area that will facilitate the delivery of new lots.

The concept Subdivision Plan shown in Figure 11 below and Appendix A of this report.



Figure 11: Concept Subdivision Plan

Source: Barnson Pty Ltd

3.3. Demand analysis

Section 5 of the *Mid-Western Urban Release Strategy 2023* (URS) discusses land and dwelling demand in the LGA. The analysis of demand in the URS provides three separate methods of projections; being population projections, dwelling approvals, and water connections. The higher/conservative method is chosen for the purposes of the Strategy and is provided in the image below (Table 50 of the URS).



Table 50: Preferred lot/dwelling demand projection method, Mudgee and Gulgong (2021-2041)

Locality	Dwelling / lot type	Number of additional lots / dwellings		Lots required per year (2021-2041)
		To 2031	To 2041	
Mudgee	Townhouse / villa / unit*	157	299	15
	Detached house or dual occupancy on small-to-standard lot	626	1,195	60
	Detached house on standard-to-generous lot	391	747	37
	Low density residential(standard)	313	597	30
	Low density residential(large)	63	119	6
	Large lot residential	16	30	1
	Mudgee total		1,565	2,987

Source: URS 2023 (Table 50)

The URS further provides an analysis of the estimated lot yield available in Mudgee’s current Urban Release Areas (URA’s). It is important to note that the Strategy confirms that significant amounts of zoned and identified land is constrained and unsuitable for residential development and many of the URA’s have already been developed.

This analysis confirms that the general residential and low density residential supply is constrained and projected to be exhausted inside the study period (2021 -2041). The estimated demand for future residential lots (as shown in Table 50 of the URS) is 2,987 for Mudgee. The URS estimates a remaining Lot yield for current URA’s of 2,670 Lots, thereby having a shortfall of 317 Lots within the study period.

It is noted that Mudgee’s short-term supply is likely to be exhausted in the middle of the study period (around the year of 2031). As such, it is the intent of this proposal to supply additional general residential lands to reduce pressure on other constrained and unserved identified lands, which is consistent with the recommendations in the URS.

The subject site is located within URA ID M19, which has an identified Minimum Lot Size potential of 2,000m² and potential Lot yield of 66 Lots. Apart from the subject site, M19 has largely been developed (Manufactured Home Estate to the north, St Matthews Catholic College to the west) or is highly constrained by riparian lands and gulleys to the north west. As such, the subject site forms the remainder of the M19 URA and potential Lot yield/future residential development. It is important to note that the manufactured home estate north of the subject site is for a Land Lease Community Estate, only offered to over 55 years (i.e. Seniors). As such, it would not be reflective of the intentions of the URS to include the MHE as part of the Lot calculations.

As discussed in Section 3.2 of this report, the proposal has the following potential Lot yield:

- R2 Low Density Residential (2,000m² MLS) - 44 Lots
- R1 General Residential (600m² MLS) - 102 Lots

The estimated 66 Lots within URA ID M19 is to be exceeded by introducing part General Residential and part Low Density Residential Lands. It is anticipated that this split zoning/Lot size approach will assist Council meeting dwelling demands into the future, of which there is an anticipated 317 Lot shortfall and is considered consistent with the future development intensions of south east Mudgee.

4. EXISTING LEGISLATIVE FRAMEWORK

4.1. Introduction

The *Mid-Western Regional Local Environmental Plan 2012* commenced on the 10th August 2012. MWRLEP 2012 adopts the Standard Instrument LEP Template required by the NSW Government.

4.2. RU4 Primary Production Small Lots

The Planning Proposal area subject to the proposed is currently zoned RU4 Primary Production Small Lots.

A copy of the Landuse Table relating to RU4 Primary Production Small Lots from *Mid-Western Regional Local Environmental Plan 2012* has been included below:

<p>Zone RU4 Primary Production Small Lots</p> <p>1 Objectives of zone</p> <ul style="list-style-type: none"> • To enable sustainable primary industry and other compatible land uses. • To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature. • To minimise conflict between land uses within this zone and land uses within adjoining zones. • To ensure that land is available for intensive plant agriculture. • To encourage diversity and promote employment opportunities related to primary industry enterprises, particularly those that require smaller holdings or are more intensive in nature. <p>2 Permitted without consent</p> <p>Environmental protection works; Extensive agriculture; Home businesses; Home occupations; Intensive plant agriculture; Roads; Water reticulation systems</p> <p>3 Permitted with consent</p> <p>Aquaculture; Cellar door premises; Dwelling houses; Farm buildings; Home industries; Plant nurseries; Roadside stalls; Any other development not specified in item 2 or 4</p> <p>4 Prohibited</p> <p>Air transport facilities; Amusement centres; Attached dwellings; Backpackers' accommodation; Boarding houses; Boat building and repair facilities; Boat launching ramps; Boat sheds; Car parks; Cemeteries; Charter and tourism boating facilities; Centre-based child care facilities; Commercial premises; Crematoria; Exhibition homes; Exhibition villages; Freight transport facilities; Group homes; Heavy industrial storage establishments; Helipads; Highway service</p>
--

centres; Home occupations (sex services); Hostels; Hotel or motel accommodation; Industrial retail outlets; Industrial training facilities; Industries; Intensive livestock agriculture; Jetties; Livestock processing industries; Local distribution premises; Marinas; Mooring pens; Moorings; Mortuaries; Multi dwelling housing; Passenger transport facilities; Places of public worship; Public administration buildings; Recreation facilities (indoor); Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Residential flat buildings; Respite day care centres; Restricted premises; Sawmill or log processing works; Semi-detached dwellings; Seniors housing; Service stations; Sex services premises; Shop top housing; Signage; Stock and sale yards; Storage premises; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Waste disposal facilities; Wholesale supplies

The site has historically been used for grazing purposes, however due to its close proximity to residential and emerging urban development lands, is currently vacant and not used for primary production or grazing.

4.3. Existing Minimum Allotment Size

The subject site is mapped to have a Minimum Allotment Size of 20 hectares. Refer to Figure 11.

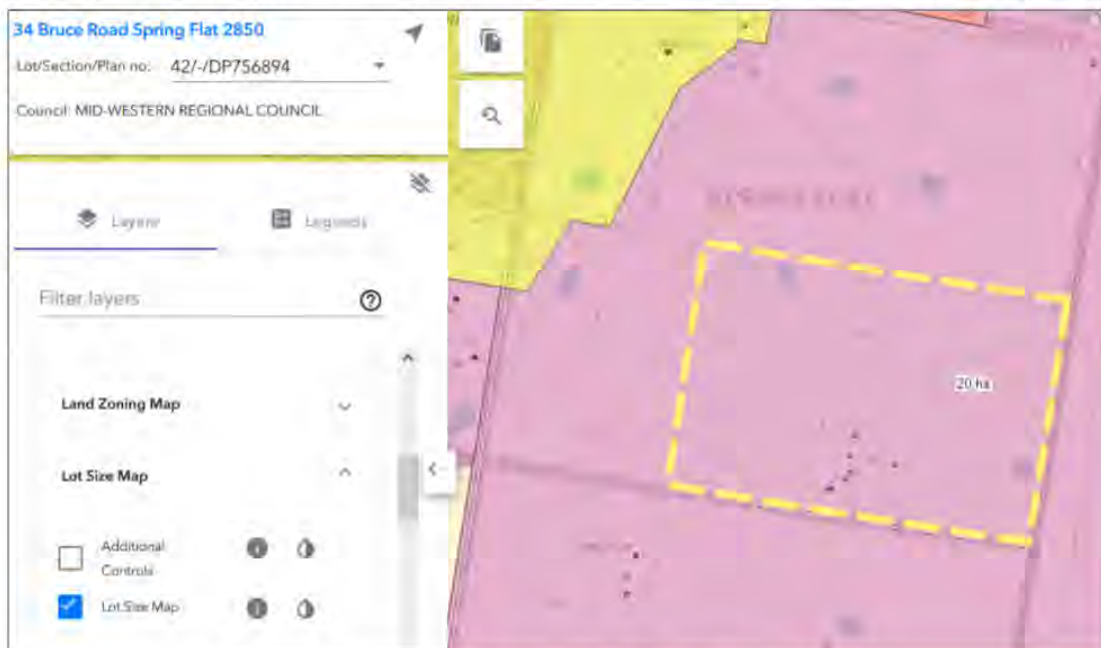


Figure 12: Minimum Lot Size Mapping

Source: ePlanning Spatial Viewer



5. PROPOSED LEGISLATIVE FRAMEWORK

5.1. Introduction

The Planning Proposal is seeking to rezone the subject site from RU4 Primary Production Small Lots to part R2 Low Density Residential and part R1 General Residential under the *Mid-Western Regional Local Environmental 2012*. The Planning Proposal also seeks to amend the minimum lot size from 20 hectares to part 2,000m² (R2) and part 600m² (R1).

5.2. R2 Low Density Residential

The Planning Proposal is seeking to rezone land to R2 Low Density Residential. The proposed land zoning has been included below:

The objectives of the R2 zone are:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The land use table for the R2 zone is as follows:

- 2 *Permitted without consent*
Home-based child care; Home businesses; Home occupations; Roads; Water reticulation systems
- 3 *Permitted with consent*
Bed and breakfast accommodation; Centre-based child care facilities; Community facilities; Dwelling houses; Environmental protection works; Exhibition homes; Exhibition villages; Flood mitigation works; Garden centres; Group homes; Health consulting rooms; Home industries; Hospitals; Hostels; Information and education facilities; Markets; Neighbourhood shops; Oyster aquaculture; Pond-based aquaculture; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Residential accommodation; Respite day care centres; Signage; Tank-based aquaculture; Water recycling facilities; Water storage facilities
- 4 *Prohibited*
Advertising structures; Attached dwellings; Dual occupancies (detached); Multi dwelling housing; Residential flat buildings; Rural workers' dwellings; Semi-detached dwellings; Any other development not specified in item 2 or 3



The Planning Proposal will require the amendment of the Land Zoning Maps under the *Mid-Western Regional Local Environmental Plan 2012*.

5.3. R1 General Residential

The Planning Proposal is seeking to rezone land to R1 General Residential. The proposed land zoning has been included below:

The objectives of the R1 zone are:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The land use table for the R1 zone is as follows:

<p>2 Permitted without consent</p> <p><i>Home-based child care; Home businesses; Home occupations; Roads; Rural workers' dwellings; Water reticulation systems</i></p> <p>3 Permitted with consent</p> <p><i>Attached dwellings; Boarding houses; Caravan parks; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Environmental protection works; Exhibition homes; Exhibition villages; Flood mitigation works; Function centres; Funeral homes; Group homes; Health services facilities; Home industries; Hostels; Information and education facilities; Markets; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Residential accommodation; Residential flat buildings; Respite day care centres; Semi-detached dwellings; Seniors housing; Sewage reticulation systems; Shop top housing; Signage; Tank-based aquaculture; Tourist and visitor accommodation; Water recycling facilities; Water storage facilities</i></p> <p>4 Prohibited</p> <p><i>Advertising structures; Farm stay accommodation; Any other development not specified in item 2 or 3</i></p>
--

The Planning Proposal will require the amendment of the Land Zoning Maps under the *Mid-Western Regional Local Environmental Plan 2012*.

The logo for Barnson, featuring the word "barnson." in a bold, lowercase, sans-serif font. A vertical yellow line is positioned to the left of the text, extending from the top of the page down to the level of the logo.

5.4. Minimum Allotment Size

No changes are proposed to Clause 4.1 of the LEP.

The Planning Proposal is seeking to reduce the Minimum Subdivision Size to part 2,000m² (R2) and part 600m² (R1) to correlate with the land zoning changes. Therefore, the Planning proposal will require the amendment to the Minimum Subdivision Lot Size Map under the LEP.



6. PLANNING PROPOSAL

6.1. Part 1 – Objectives or Intended Outcomes

The Intention of this Planning Proposal is:

To amend the *Mid-Western Regional Local Environmental Plan 2012* to enable general residential development.

The key outcomes of the site investigation carried out for this Planning Proposal are:

- Mapping and rezoning of the subject site to part R2 Low Density Residential and part R1 General Residential.
- Providing additional land to support the continuous growth of the residential area on the outskirts of Mudgee.
- Provisions for additional housing and land supply for the LGA.

The Planning Proposal includes comprehensive supporting information to:

- Describe the subject land, its locality, the current zoning and justification to provide for additional residential development on the subject land and in the Mid-Western Regional LGA.
- Request an amendment to the LEP to permit residential zoning.
- Address the 'Gateway Determination Assessment' Criteria under Part 3 of the EP&A Act 1979.
- Provide justification for the LEP amendment and demonstrate the net community benefits which follow.
- Demonstrate that the Planning Proposal is consistent with NSW Department of Planning, Industry and Environment and Council broad strategic direction for the locality.

6.2. Part 2 – Explanation of Provisions

The Principal Planning Instrument is the *Mid-Western Regional Local Environmental Plan 2012*.

Amendment applies to	Explanation of Provision
----------------------	--------------------------



The land zoning of the subject site.	Amending land governed by the <i>Mid-Western Regional Local Environmental Plan 2012</i> that is zoned RU4 Primary Production Small Lots to part R2 Low Density Residential and part R1 General Residential.
The Minimum Lot Size of the subject site.	Amending land governed by the <i>Mid-Western Regional Local Environmental Plan 2012</i> that has a Minimum Lot Size of 20ha to part 2,000m ² (R2) and part 600m ² (R1) to correlate with the land proposed to be zoned R1 General Residential.



Existing Land Zoning

All land within the Planning Proposal Area is currently zoned RU4 Primary Production Small Lots

Figure 13: Existing Land Zoning



Figure 14: Proposed Land Zoning

Proposed Land Zoning

The Planning Proposal seeks to amend the current land zoning to part R2 Low Density residential and part R1 General Residential

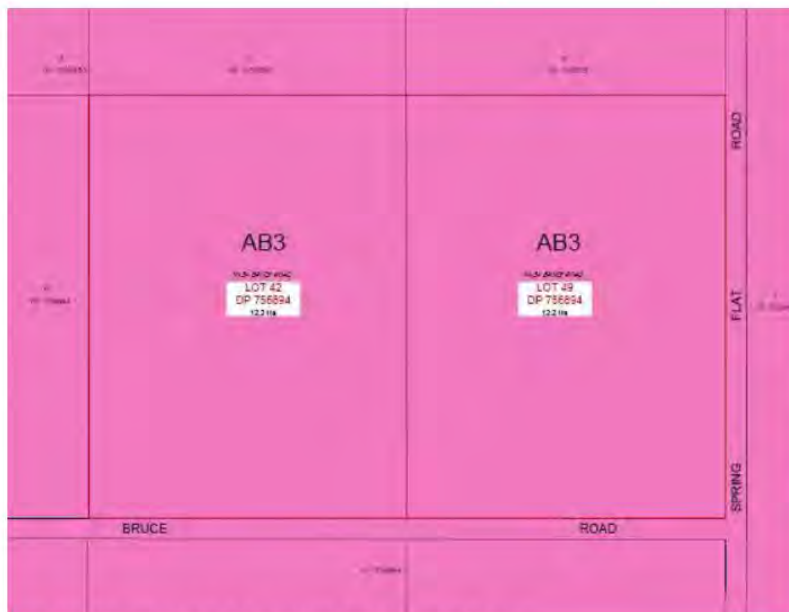
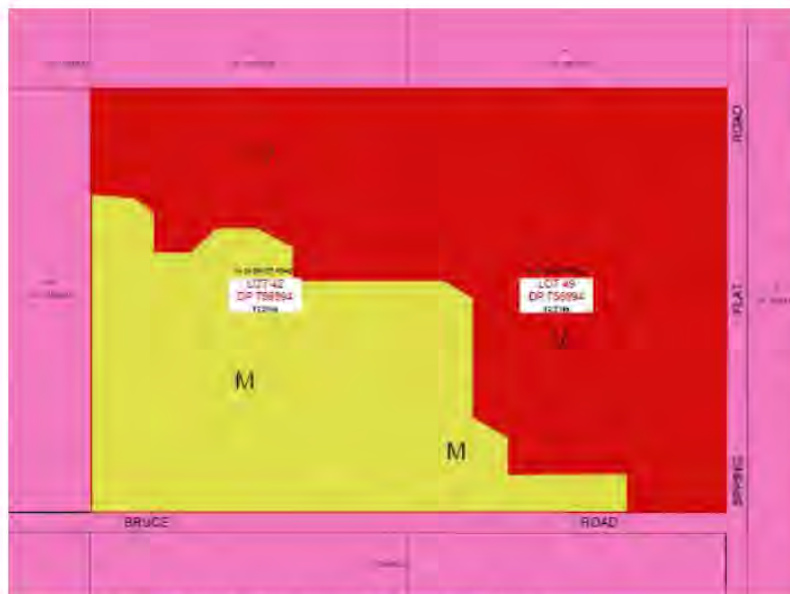


Figure 15: Existing Minimum Allotment Size

Existing Minimum Allotment Size

All land zoned RU4 and land within the Planning Proposal Area has a Minimum Lot Size of 20ha (AB3).

Proposed Minimum Allotment Size

The Planning Proposal seeks to amend the existing minimum lot size to part 2,000m² (V - R2) and part 600m² (M - R1) in order to facilitate the future subdivision of land for residential purposes.

Figure 16: Proposed Minimum Allotment Size.

If the land was to retain its existing zone provisions, the result would be:

- Retention of land zoned RU4 with little agriculture potential. The site is surrounded by existing and emerging urban developments;
- Inconsistency with Council adopted strategic document, including Growth Management Strategies; and,
- A potential shortfall in projected housing stock in the LGA.

The proposed outcome for the PP will be achieved by:

- Rezoning of land that would facilitate the use of land to be used for residential purposes and ultimately support the housing needs for the community of Mudgee and the Mid-Western Regional Local Government Area; and
- Supporting the rezoning of land that will facilitate the release of additional residential land in an appropriate location on the outskirts of Mudgee.



6.3. Part 3 – Justification

6.3.1. Section A – Need for the Planning Proposals

Is the planning proposal a result of an endorsed LSPS, strategic study or report?

Yes. The Planning Proposal will deliver additional R2 Low Density Residential and R1 General Residential lands as anticipated under the *Mid-Western Comprehensive Land Use Strategy* and *Urban Release Strategy* and shall support the planning priorities stipulated within the *Mid-Western Regional Local Strategic Planning Statement (LSPS)*.

Local Strategic Planning Statement

Council’s LSPS was prepared in accordance with Section 3.9 of the *Environmental Planning and Assessment Act 1979*. The objective of the LSPS is to provide a strategic framework for land use planning in the Mid-Western LGA. The LSPS included the following planning priorities that are relevant to the subject Planning Proposal:

Planning Priority 2 “make available diverse, sustainable, adaptable, and affordable housing options through effective land use planning”.

The proposal is consistent with Planning Priority 2 as it shall increase the amount of general residential land in the LGA. On page 20 of the LSPS it states “A diversity of housing is important to attract new residents to the Region and to ensure existing residents have a choice of housing to suit their needs as their circumstances change”. The planning proposal will assist Council in achieving Planning Priority 2 and to meet the future residential land targets for the LGA. This would also ensure that affordability in the market can be maintained.

Section 3 (page 10) of the LSPS states “Council will continue to ensure a range of residential housing options are available including varying lot sizes and rural lifestyle opportunities. Council will strive to improve the build outcomes of housing stock”. The proposal is consistent with this part in that it shall provide additional residential blocks for the LGA, where there appears to be a forthcoming shortfall.

Urban Release Strategy 2023

Council’s Urban Release Strategy 2023 (URS) is a strategic policy that provides guidance for Mid-Western Regional Council for decision making around the timing, location and type of future residential development.

The URS was prepared as a result of a recommendation contained within the *Comprehensive Land Use Strategy (CLUS)* in order to assist in residential land and infrastructure planning in the future. The URS is currently under review by Council. The current 2023 URS superseded a previous URS that was prepared in 2014.

Initially, it is important to note that the 2014 URS provided *Options to Accommodate Growth Beyond 2035*. The URS emphasises that diversity in the housing market is paramount. Therefore,



the Spring Flat Road area, being an area that is progressively becoming developed, is considered suitable for rezoning in order for Council to meet their residential housing targets.

An assessment of the site in its context to surrounding land uses is provided on the next page. In summary, site is located adjoining and within proximity to the following:

- North – Big 4 Mudgee Holiday Park (Caravan Park), established commercial/business developments and DA approved Manufactured Home Estate;
- North – Manufactured Home Estate (Seniors Living);
- East – Primary Production lands;
- South – Primary Production lands;
- West – Recently constructed St Matthews Catholic School Mudgee; and
- North West – Existing residential area.

As shown above and below, the site adjoins existing and emerging urban and residential developments, and it therefore suited for residential purposes.





The URS identified the site within URA ID M19, which has an identified Minimum Lot Size potential of 2,000m² and potential Lot yield of 66 Lots. As shown in the image on the previous page, apart from the subject site, URA M19 has largely been developed (Manufactured Home Estate to the north, St Matthews Catholic College to the west). Running along the north western boundary of the URA lies a riparian corridor, which constrains any further development. As such, the subject site forms the remainder of the M19 URA and potential Lot yield/future residential development. It is important to note that the manufactured home estate north of the subject site is for a Land Lease Community Estate, only offered to over 55 years (i.e. seniors). As such, it would not be reflective of the intentions of the URS to include the MHE as part of the URA calculations.

As discussed in Section 3.2 of this report and shown on the Plans in Appendix A, the proposal has the following potential Lot yield:

- R2 Low Density Residential (2,000m² MLS) - 44 Lots
- R1 General Residential (600m² MLS) - 102 Lots

The estimated 66 Lots within URA ID M19 is to be exceeded by introducing part General Residential and part Low Density Residential Lands.

Table 54 of the URS 2023 provides the existing Lot Supply capacity and projected future demand within Mudgee. An extract of the Table is provided below.

Table 54: Existing lot supply capacity and projected future demand to 2041, Mudgee

Lot/dwelling type	Estimated lot yield remaining	Estimated future demand for residential lots (2021-2041)	Difference	Average lots required per year (2021-2041)	Years of supply remaining
Townhouse / villa / unit*	n/a	299	n/a	15	n/a
General residential (400sqm-1,999sqm)	1,718	1,941	-223	97	18
Low density residential(2,000sqm-1.9ha)	881	717	164	36	25
Large lot residential (2ha+)	71	30	41	2	47
Total	2,670	2,987	-317	149	18

Note: Values have been rounded.

* It is assumed that demand for townhouse and multi-unit development will occur as infill in and around CBD areas

Source: URS 2023

As shown in Table 54 of the URS, there is a shortfall of 317 Lots for the Mudgee area within the study period. As the estimated Lot yield within URA M19 was 66, an additional 80 Lots shall be provided for the Mudgee region (44 R2 Lots + 102 R1 Lots – 66 = 80 Lots). This only equates to 25% of the total number of additional Lots that Mudgee required to meet the demand targets within the study period (2021 – 2041). As such, the proposal is not only consistent with the identified intentions of the URS, but also plays an important role in achieving dwelling supply targets overall.

Section 8 of the URS 2023 provides Guiding Principles for future residential land release. These are provided below along with commentary.



- *Principle 1: Encourage higher density residential development in and near Mudgee and Gulgong town centres*

Comment: The subject site is located approximately 4km from the Mudgee CBD. With a minimum lot size of 2,000m² (R2) and 600m² (R1), the proposed rezoning is consistent with this guideline.

- *Principle 2: Rely on areas already zoned and nominated for residential development in the first instance to meet future demand*

Comment: As stated within the URS, a gap analysis found that there is insufficient land zoned to meet the long term demand for standard residential lots. As such, additional land should be released in order for Council to meet the long term targets.

- *Principle 3: Efficiently use of Council Infrastructure*

Comment: Within close proximity to the site is two recently approved developments, being the St Matthews Catholic School (adjoining the site to the west) and a new manufactured home estate (adjoining the site to the north) comprising of 206 dwellings. Construction of the school is complete and the manufactured home estate commenced construction in 2022. Therefore, infrastructure is ready and available to the subject site. Preliminary Engineering Drawings have been prepared and provided in Appendix A of this report.

- *Principle 4: Encourage and enable dwelling and lot diversity*

Comment: As part of this PP, a maximum Lot yield has been established based on a minimum lot sizes of 2,000m² (R2) 600m² (R1). Given that there are R2 lands to the west and more than likely R5 Large Lot Residential lands to be released in future to the south, a diverse range of lot sizes and housing types is present in this area. A minimum lot size of 2,000m² (R2) 600m² (R1) can provide a diverse range of housing types and densities.

- *Principle 5: Facilitate an orderly and coordinated approach to residential growth*

Comment: As previously outlined, the site adjoins new development and established residential areas. Therefore the site is ready for expansion/rezoning. Demand has been addressed throughout this PP submission.

- *Principle 6: Maintain a supply buffer of residential land*

Comment: This principle recommends a supply buffer of 5 years for each category of residential land. General Residential and Low Density Residential have a yearly demand of 133 Lots and therefore, 665 R1 General Residential Lots and R2 Low Density Residential Lots should be accounted for as a buffer (outside of the study period). Currently, there is a shortfall of residential land within the study period of 317 Lots. That means that there is a total shortfall of 982 R1 and R2 Lots if the buffer is to be adhered to. This planning proposal intends to assist with addressing the shortfall and buffer required to be supplied by Council in accordance with the URS.

- *Principle 7: Protect employment and agricultural land*

Comment: The site is not considered as an employment or high agricultural land. The site is suited for future residential development.

- *Principle 8: Avoid environmentally sensitive areas and natural hazards*

Comment: The site is not subject to any extremely sensitive areas or natural hazards. The site is mapped as flood prone, however this can be mitigated through site works, as shown on the concept civil designs in Appendix A of this report.

- *Principle 9: Demonstrate strategic fit with Council's broader aims and objectives*

Comment: The proposal aligns with this principle as URS indicated that a shortfall of housing supply is projected. The proposal is generally consistent with Council's strategic plans and policies.

Comprehensive Land Use Strategy

Council's Comprehensive Land Use Strategy (CLUS) is a strategic policy for land use within the Mid-Western Regional LGA. Council adopted the CLUS in 2010 with the purpose to:

- *Provide a decision making tool based on clarity, certainty and accurate data to assist Council in the decisions making process; and*
- *Determine the optimal location for development.*

The CLUS acknowledges the need for additional residential housing blocks in the LGA by identifying more suitable areas for residential development and expansion areas. The CLUS provided mapping for opportunity areas for future development. The subject site has been mapped as an area dedicated for future 'urban purposes'.

An extract of the mapped areas is shown in Figure 17 below (the subject site has been highlighted in blue).

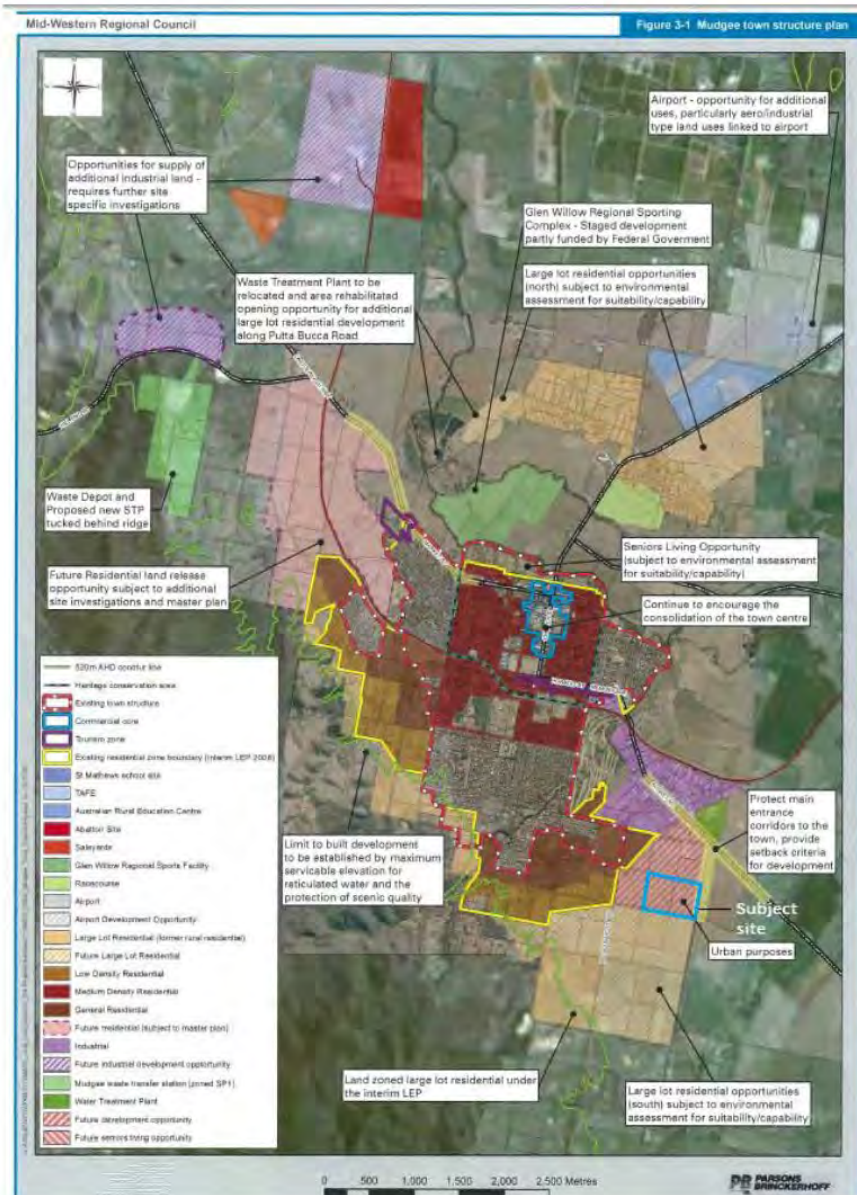


Figure 17 – CLUS Mapping

Section 3.1.5 of the CLUS provides guidance for other future urban development opportunities within the LGA. This applies to the subject site as it is mapped for 'urban purposes' under Figure 3-1 of the CLUS.

It is understood that the 'urban purposes' mapped areas provide additional opportunity areas for urban development or residential development. This section of the CLUS states:

"This strategy recognises the need to provide a physical limitation to the growth of the urban land uses into the productive agricultural area to the south east. However, this area provides a unique opportunity, in the context of Mudjee, to provide for master-planned residential urban development, which can address the visual amenity of the entrance to the town and provide a new entry point".

It is understood that the mapped urban areas are ready for future development as there is no clear guideline on timing for the future rezoning/development of this mapped land. Therefore consistency with the CLUS is achieved.

The CLUS also recommended the following for the subject site:

- Protect main entrance corridors to the town, provide setback criteria for development.

This protection area is mapped along the eastern boundary of the subject site. Accordingly, a reserve/buffer area has been designed along the eastern boundary of the site, which is consistent with the intentions of the CLUS. This area shall be landscaped in future which will create a town entrance buffer and also greenspace/parklands for future residents in the locality.

Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Proposed Option 1: Planning Proposal seeking to rezone land from RU4 Primary Production Small Lots to part R2 Low Density Residential and part R1 General Residential and amend the Minimum Lot size from 20ha to part 2,000m² (R2) and part 600m² (R1)

Option 1 is this planning proposal and is found to be the most appropriate option as the Planning Proposal is not inconsistent with the objectives of several strategic planning policies that pertain to the region.

Retaining the zoning and reducing the lot size would result in the lot sizes not being conducive with the zone objectives which is why a rezoning was determined most suitable in order to subdivide the subject site to produce a combination of R2 and R1 Lots.

6.3.2. Section B – Relationship to the strategic planning framework

Will the planning proposal give effect to the objectives and actions of the applicable regional or district plan or strategy (including any exhibited draft plans or strategies)?



The Central West and Orana Regional Plan 2041 is a 20-year blueprint for the future of the Central West and includes a number of objectives. The relevant objectives and the Planning Proposals consistency have been addressed below.

Objective 13 – Provide well located housing options to meet demand

The proposal is in a well-located area on the outskirts of Mudgee, with emerging development nearby, as shown in Section 6.3.1 of this report. As future housing on the site will be infill development, the development will utilise existing infrastructure capacity in the area. The development is located in the right location and will supply diverse housing types.

Objective 14 – Plan for diverse, affordable, resilient and inclusive housing

The proposal will rezone the subject site to part R2 Low Density Residential and part R1 General Residential. It is likely that the future development of the site will provide a variety of housing types and diversities. The proposal allows for this diversity in housing on a large parcel of land free of hazards and constraints. The housing Lots would appeal to downsizers, first home buyers and those residents looking for a low maintenance more affordable dwelling opportunity and those who would like a larger Lot to accommodate single dwellings and associated outbuildings.

Objective 15 – Manage rural residential development

The proposal is within close proximity to the township of Mudgee, and as shown in Section 6.3.1 of this report, there are emerging urban developments within close proximity to the site. The subject site is not considered prime agricultural land due to its location and proximity to these emerging developments. Furthermore, the site is not considered to contain any high environmental, cultural or heritage significance areas and natural hazards (i.e. flooding) has been mitigated and shown on the Plans in Appendix A of this report.

The proposal has considered the serviceability of the local infrastructure and preliminary designs have been prepared accordingly. This arrangement is considered a cost effective service supply for the site and nearby infrastructure and sits well within the service system due to the emerging infrastructure/developments in the area.

Objective 17 – Coordinate smart and resilient utility infrastructure

The subject site is well positioned within proximity to existing utility services and there are no known major constraints with servicing the site. All future servicing shall be constructed in accordance with Council's requirements and to ensure there are no impacts on other services in the locality.

The site is located within close proximity to Mudgee, in an area that is seeing emerging developments and existing residential areas. Public transport services and walking tracks are available from the subject site to the nearby systems.

All other services such as NBN, water, electricity and emergency services are readily available to the site.



The Planning Proposal is consistent with the actions under the relevant objectives of the Central West and Orana Regional Plan 2041.

Is the planning proposal consistent with a council LSPS that has been endorsed by the Planning Secretary or GSC, or another endorsed local strategy or strategic plan?

Mid-Western Regional Local Strategic Planning Statement (Our Place 2040)

The Mid-Western Regional Local Strategic Planning Statement (Our Place 2040) provides the basis for, and the delivery of, strategic planning in the local area and is a link to the NSW Government's Central West and Orana Regional Plan 2036.

In particular, the Planning Proposal is consistent with *Planning Priority 1 – Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning*

Planning Priority 2 highlights the need to identify suitable sites for residential opportunities should the region experience high levels of demand.

The strategy identified the subject site for urban opportunities and the migration from Sydney CBD and other city areas during the COVID-19 pandemic combined with the increase in flexible working arrangements has resulted in a higher demand for housing in Mudgee.

Therefore, the Planning Proposal for land zoning and map amendments is consistent with the LSPS as:

- It aligns with the strategic directions of the LSPS.
- Meets a specific need identified by the LSPS.

The proposed amendments will support the orderly and economic development of the land to meet the identified need in the LSPS.

Is the planning proposal consistent with any other applicable State and regional studies or strategies?

The Planning Proposal is found to be consistent with the following policies:

- Mid-Western Regional Local Strategic Planning Statement.
- Mid-Western Regional Comprehensive Land Use Strategy
- Mid-Western Urban Release Strategy 2023

Is the planning proposal consistent with applicable SEPPs



Table 2 below considers the consistency with applicable SEPPs.

Table 2: State Environmental Planning Policies – Schedule of Consideration		
SEPP	Applicable	Comment
SEPP (Exempt and Complying Development Codes) 2008	Yes	Consistent with SEPP
SEPP (Planning Systems) 2021	Yes	Consistent with SEPP
SEPP (Biodiversity and Conservation) 2021	Yes	<p>Consistent with SEPP</p> <p>The site is not considered to comprise potential koala habitat as defined by <i>State Environmental Planning Policy (Koala Habitat Protection) 2020</i>. The planning proposal does not include any clearing of vegetation and the future subdivision of the site shall be subject to a Development Application/assessment.</p> <p>The site is not identified in Schedule 5 of the <i>Mid-Western Regional Local Environmental Plan 2012</i> (LEP).</p> <p>An Aboriginal Heritage Information Management System (AHIMS) search was undertaken for the site and immediate surrounds. The AHIMS search revealed that there are no Aboriginal sites recorded within 200m of the subject site. Refer to AHIMS search in Appendix C of this report.</p>
SEPP (Resilience and Hazards) 2021	Yes	<p>Consistent with SEPP</p> <p>There are no known previous contaminating land uses on the subject site and a Preliminary Site Investigation has been undertaken (refer to Appendix E of this report). The PSI concludes that there is no presence of contamination and that the site is suitable for residential land use.</p> <p>The rezoning would not result in potentially hazardous or offensive land use or activities.</p> <p>The site is not located in a coastal area.</p>
SEPP (Transport and Infrastructure) 2021	Yes	<p>Consistent with SEPP</p> <p>The SEPP demonstrates that subdivisions producing 200 or more resultant lots need to be referred to TfNSW for traffic generating consideration. It is recommended that the Planning Proposal be referred to TfNSW for preliminary comments. A Traffic Impact</p>



Table 2: State Environmental Planning Policies – Schedule of Consideration		
		<p>Assessment has been prepared and is provided in Appendix D of this report.</p> <p>There are no rail corridors located within proximity to the subject site.</p>
SEPP (Industry and Employment) 2021	Yes	Consistent with SEPP
SEPP (Resources and Energy) 2021	Yes	Consistent with SEPP
SEPP (Primary Production) 2021	Yes	<p>Consistent with SEPP</p> <p>The SEPP includes an aim to reduce land use conflict and sterilization of rural land by balancing primary production, residential development and the protection of native vegetation, biodiversity, and water resources.</p> <p>The proposed rezoning from RU4 Primary Production Small Lots to part R2 Low Density Residential and part R1 General residential in this proposal is to utilise land that does not significantly contribute to agricultural production in the area and helps to meet the unmet demand for residential housing stock in the Mudgee area. It is considered to contribute to the balance of primary production and residential development in the Mudgee area.</p>
SEPP (Precincts Regional) 2021	Yes	Consistent with SEPP

Is the planning proposal consistent with the applicable Ministerial Directions (Section 9.1)

Table 3 below considers the Ministerial Directions.

Table 3: Section 9.1 Directions		
Direction	Applicable	Comment
1. Focus Area 1: Planning Systems		



Table 3: Section 9.1 Directions		
1.1 Implementation of Regional Plans	Yes	The Planning Proposal is found to be consistent with the overall intent of the Central West and Orana Regional Plan 2041 and the direction and actions within. The PP will result in permitting the future developing of the land unconstrained which is currently being underutilised.
1.2 Development of Aboriginal Land Council Land	No	The site has not been identified within the Land Application Map of the State Environmental Planning Policy (Planning Systems) 2021.
1.3 Approval and Referral Requirements	Yes	Noted
1.4 Site Specific Provisions	Yes	Noted
1.4A Exclusion of Development Standards from Variation	No	The proposal does not proposed to introduce or alter an existing exclusion to Clause 4.6 of the LEP.
2. Focus Area 1: Planning System – Place based		
1.5 Parramatta Road Corridor Urban Transformation Strategy	No	N/A
1.6 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan	No	N/A
1.7 Implementation	No	N/A



Table 3: Section 9.1 Directions

of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan		
1.8 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	No	N/A
1.9 Implementation of Glenfield to Macarthur Urban Renewal Corridor	No	N/A
1.10 Implementation of the Western Sydney Aerotropolis Plan	No	N/A
1.11 Implementation of Bayside West Precincts 2036 Plan	No	N/A
1.12 Implementation of Planning Principles for the	No	N/A



Table 3: Section 9.1 Directions

Cooks Cove Precinct		
1.13 Implementation of St Leonards and Crows Nest 2036 Plan	No	N/A
1.14 Implementation of Greater Macarthur 2040	No	N/A
1.15 Implementation of the Pymont Peninsula Place Strategy	No	N/A
1.16 North West Rail Link Corridor Strategy	No	N/A
1.17 Implementation of the Bays West Place Strategy	No	N/A
1.18 Implementation of the Macquarie Park innovation Precinct	No	N/A
1.19 Implementation of the Westmead Place Strategy	No	N/A

Table 3: Section 9.1 Directions		
1.20 Implementation of the Camellia- Rosehill Place Strategy	No	N/A
1.21 Implementation of South West Growth Area Structure Plan	No	N/A
1.22 Implementation of the Cherrybrook Station Place Strategy	No	N/A
3. Focus Area 2: Design and Place		
N/A	N/A	This focus area was blank when the Directions were made.
4. Focus Area 3: Biodiversity and Conservation		
3.1 Conservation Zones	No	N/A
3.2 Heritage Conservation	No	An Aboriginal Heritage Information Management System search was conducted for the subject site and immediate surround (refer to <i>Appendix C</i> of this report). There are no known items or sites of significance or Aboriginal cultural heritage significance that have been identified as being recorded on the subject site. The site is not listed in Schedule 5 of the LEP or on the State Heritage Register.
3.3 Sydney Drinking Water Catchments	No	N/A
3.4 Application of C3 and C3 Zones and	No	N/A



Table 3: Section 9.1 Directions

Environmental Overlays in Far North Coast LEPs		
3.5 Recreation Vehicle Area	No	N/A
3.6 Strategic Conservation Planning	No	N/A
3.7 Public Bushland	No	N/A
3.8 Willandra Lakes Region	No	N/A
3.9 Sydney Harbour Foreshores and Waterways Area	No	N/A
3.10 Water catchment Protection	No	N/A

5. Focus Area 4: Resilience and Hazards

4.1 Flooding	No	<p>The subject site is not mapped as being flood prone land under the Mid-Western Regional Local Environmental Plan 2012 or NSW Planning Portal. The subject site is, however, identified within the Mudgee Flood Study 2021.</p> <p>The site generally falls to the north-east. As part of the future subdivision of the site, it would be proposed to direct all stormwater from the eastern (school) side of the site to an open swale on the eastern side of the subject site. From there, it would be directed into existing swales constructed part of the adjacent development to the north. It is also proposed that a new kerb and gutter with stormwater infrastructure be constructed for the full frontage of the development on the northern side of Bruce Road. Any stormwater run-off from the southern (Bruce Road) side would be directed to new kerb and gutter and associated</p>
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Table 3: Section 9.1 Directions

stormwater pits and pipes as part of the Bruce Road upgrade.

Any stormwater run-off from within the subdivision will be directed to a proposed detention basin located north east of the site within the reserve area, as shown in the image below and on the plans in Appendix A of this report. This measure, along with the flood diversion channel has been proposed to ensure that overland flows are diverted around the site so the future Lots are not burdened by 1% AEP flood events.



In summary, the proposed site detention and floodwater diversion measures shall ensure that the shallow and low velocity overland flows currently experienced on the site in the events up to 1% Annual Exceedance Probability (AEP) would be diverted around the subject site. This shall ensure that future residential Lots would not be inundated during large storm events.

DRAINS and MUSIC modelling shall be developed in accordance with Council’s requirements at the subdivision stage to allow for sizing of the diversion banks and onsite detention. Preliminary calculations indicate that the proposed basin will have sufficient room to be constructed in its location, and as such will ensure that site flows are reduced to lower than pre-development flows for storms up to and including the 1% AEP event.



Table 3: Section 9.1 Directions

4.2 Coastal Management	No	N/A
4.3 Planning for Bushfire Protection	No	The site is not mapped as being bushfire under the Mid-Western Regional Local Environmental Plan 2012, NSW Planning Portal or the RFS' Online Mapping Tool.
4.4 Remediation of contaminated land	No	The subject site has not had any known contaminating land uses. The site has previously been used for cropping and grazing and is considered to be consistent with this direction. A Preliminary Site Investigation has been undertaken (refer to Appendix E of this report). The PSI concludes that there is minimal presence of contamination and that the site is suitable for residential land use.
4.5 Acid Sulfate Soils	No	The subject site is not mapped as containing Acid Sulfate Soils under the NSW Planning Portal.
4.6 Mine Subsidence and unstable land	No	The subject site is not mapped as containing a Mine Subsidence District under the NSW Planning Portal.

6. Focus Area 5 – Transport and Infrastructure

5.1 Integrating land use and transport	Yes	This direction applies as the Planning Proposal creates additional R2 low Density Residential and R1 General Residential zoned land. Increasing residential lands within an area served by an existing public road network will support the local school bus service and may potentially result in additional transport services in the area. A Traffic Impact Assessment has been prepared and is provided in Appendix D of this report.
5.2 Reserving land for public purposes	Yes	The Planning Proposal is consistent with this direction.
5.3 Development near regulated airports and defence airfields	No	N/A
5.4 Shooting ranges	No	N/A

Table 3: Section 9.1 Directions		
6. Focus Area 6: Housing		
6.1 Residential Zones	Yes	The Planning Proposal seeks to modify the existing LEP by altering the Land Zoning from RU4 Primary Production Small Lots to part R2 Low Density Residential and part R1 General Residential and having a Minimum Allotment Size of 2,000m ² and 600m ² respectively, which will facilitate the further development and subdivision of the land. This will potentially allow the Planning Proposal area to be subdivided into 2,000m ² and 600m ² lots which will add to the existing housing footprint in the area.
6.2 Caravan Parks and Manufactured Home Estates	No	The PP would not impact on any zonings or reservations of land for public purposes.
7. Focus Area 7: Industry and Employment		
7.1 Employment Zones	No	N/A
7.2 Reduction in non-hosted short term rental accommodation period	No	N/A
7.3 Commercial and Retail Development along the Pacific Highway, North Coast	No	N/A – not within applicable LGAs.
8. Focus Area 8 Resources and Energy		
8.1 Mining, Petroleum Production and Extractive Industries	No	N/A – not within applicable precinct.
9. Focus Area 9: Primary Production		



Table 3: Section 9.1 Directions

9.1 Rural Zones	Yes	<p>The planning proposal seeks to rezone land from RU4 Primary Production Small Lots to part R2 Low Density Residential and part R1 General Residential. The proposal is consistent with the recommendations of the CLUS and URS.</p> <p>The subject site is identified as Class 3 land, as shown in Figure 4 of this report. However the site is not considered to be prime agricultural land as the site adjoins existing and emerging urban development. Small scale agricultural activities is not considered the best use of the site, especially considering the proximity to the St Matthews School and manufactured home estate (currently under construction).</p> <p>The CLUS and URS identified that site as an opportunity area for development. In particular, both documents hint on the need for the site to be used for residential purposes.</p> <p>The proposed R2 and R1 zoning is a more appropriate and logical land use zone than the existing RU4 Primary Production Small Lots zone. The planning proposal is considered to be consistent with the intent of this direction. Any observed inconsistencies with this direction are considered to be of minor significance.</p>
9.2 Rural Lands	Yes	<p>As in the comments for Direction 9.1 (Rural Zones), this Planning Proposal is inconsistent with the direction as it applies to existing land zoned rural.</p> <p>Any observed inconsistencies with this direction are considered to be of minor significance.</p>
9.3 Oyster Aquaculture	No	N/A
9.4 Farmland of State Regional Significance on the NSW Far North Coast	No	N/A

6.3.3. Section C – Environmental, Social and Economic Impact



is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected because of the proposal?

No. As outlined throughout this report, the site is quite disturbed as a result of previous land uses, being primary production. There are no identified Plant Community Types mapped on the site, and there are no known threatened species located on the or within proximity. Given this and the nature of the PP, it is unlikely that critical habitat, threatened species, population or ecological communities or their habitats would be adversely affected as a result of the PP. Further assessment of biodiversity and clearing of vegetation would be required at DA stage for any future subdivision or development.

Are there any other likely environmental effects of the planning proposal and how are they proposed to be managed?

The following is a summary of other likely environmental effects as result of the Planning Proposal or any other constraints within the Planning Area.

Constraints	Comments
Servicing	<p>Preliminary Civil Designs have been prepared and are provided in Appendix A of this report. In summary, the following is provided:</p> <p><u>Water Reticulation</u></p> <p>An existing water main is located to the west of the site at the corner of Bruce Road and Broadhead Road. It would be proposed to extend the water main from this connection along Bruce Road and into the proposed future subdivision site. The water would then be reticulated throughout the new roads throughout the subdivision.</p> <p>Refer to Sheet C30 of Appendix A of this report.</p> <p><u>Sewer Reticulation</u></p> <p>The site has a gradual fall from southwest to northeast. As such, gravity fed sewer should be directed to the northeast. There is an existing sewer main located north of the subject site along Spring Flat Road, which appears to service the Manufactured Home Estate that is currently under construction. It would be proposed to direct all sewer generated from the proposed subdivision along Spring Flat Road and to this sewer main, which feeds into Council’s system. The sewer layouts have been shown on the preliminary civil designs.</p> <p>Refer to Sheet C30 of Appendix A of this report.</p> <p><u>Stormwater Management</u></p> <p>All stormwater generated on the site (overland flow and future roof water) shall be directed into the kerb and guttering for the new roads. The kerb and gutter will then feed into the proposed On Site Detention basin positioned northeast of the subdivision within the reserve. The OSD would be suitably sized and</p>



preliminary calculations have determined that there is enough room at that location for an adequately sized OSD basin.

Refer to Sheet C20 of Appendix A of this report.

Flood Management

As previously identified, the subject site is mapped within the 1% Annual Exceedance Probability (AEP) in accordance with the *Mudgee Flood Study 2021*. Upon review of the study, it has been found that the overland flows generated during the 1% event are very shallow and have a low velocity. As such the following flood mitigation measures have been proposed:

- Flood diversion channel along the western boundary of the site. This shall be directed into the existing swale that was established as part of the Manufactured Home Estate on Lot 3 DP 1130059;
- New kerb and guttering along the northern side of Bruce Road. The kerb and guttering shall support the existing swale drainage that has recently been constructed (refer to image below).

This shall be directed along Bruce Road and into the reserve and/or along Spring Flat Road, which is already afforded with an existing swale drain within the road reserve that directs water to the north.

With the above measures in place, the site would not be affected by the 1% AEP event. Refer to Sheet C21 of Appendix A of this report.



Above: Swale drainage at the front of 34 Bruce Road which runs along the length of both sides of Bruce Road and onto Springs Flat Road.

Telecommunications

Telecommunications are within close proximity to the subject site. Given current and future technology, it is suggested that most households do not utilise a physical telephone line but do use it for internet purposes. NBN infrastructure have significant reach in this area for the Wireless Broadband Network, and as such, connecting to physical infrastructure may not be required. Either way, this shall be investigated at the subdivision stage. There



are no known constraints with connecting the site and future subdivision to telecommunications infrastructure.

Electricity

There are existing overhead electrical lines running along the southern side of Bruce Road. Extending these lines into the proposed future subdivision is considered achievable work network upgrades as required. There are no known constraints with connecting the site and future subdivision electricity infrastructure.

Drainage and Flooding

The site generally falls to the north-east. As part of the future subdivision of the site, it would be proposed to direct all stormwater from the eastern (school) side of the site to an open swale on the eastern side of the subject site. From there, it would be directed into existing swales constructed part of the adjacent development to the north. It is also proposed that a new kerb and gutter with stormwater infrastructure be constructed for the full frontage of the development on the northern side of Bruce Road. Any stormwater run-off from the southern (Bruce Road) side would be directed to new kerb and gutter and associated stormwater pits and pipes as part of the Bruce Road upgrade.

Any stormwater run-off from within the subdivision will be directed to a proposed detention basin located north east of the site within the reserve area, as shown in the image below and on the plans in Appendix A of this report. This measure, along with the flood diversion channel has been proposed to ensure that overland flows are diverted around the site so the future Lots are not burdened by 1% AEP flood events.



In summary, the proposed site detention and floodwater diversion measures shall ensure that the shallow and low velocity overland flows currently experienced on the site in the events up to 1% Annual Exceedance Probability



	<p>(AEP) would be diverted around the subject site. This shall ensure that future residential Lots would not be inundated during large storm events. DRAINS and MUSIC modelling shall be developed in accordance with Council's requirements at the subdivision stage to allow for sizing of the diversion banks and onsite detention. Preliminary calculations indicate that the proposed basin will have sufficient room to be constructed in its location, and as such will ensure that site flows are reduced to lower than pre-development flows for storms up to and including the 1% AEP event.</p>
<p>Groundwater Vulnerability</p>	<p>Groundwater vulnerability is principally about maintaining the hydrological function of key groundwater systems whilst protecting vulnerable groundwater resources from depletion or contamination. The URS 2023 states the following with regard to groundwater vulnerability:</p> <p><i>In terms of impact on residential development potential, for the purposes of this URS update, groundwater vulnerability is considered a negligible constraint.</i></p> <p>The URS defines a "negligible constraint" as <i>factors that may be of some impact to certain land uses, or that may impact yield or feasibility on a site-specific basis and cannot be effectively assessed as a macro level.</i></p> <p>As such, it is not considered that there would be any detrimental impacts on groundwater as a result of the rezoning and future subdivision of the site. Further, the future subdivision would not propose any groundwater contamination activities, groundwater extraction or any development that would have adverse impacts on groundwater dependent ecosystems. Groundwater vulnerability shall be adequately addressed as part of a future subdivision application.</p>
<p>Traffic</p>	<p>Given the potential Lot yield of the proposal, traffic impacts are likely to be triggered due to the additional residential housing and traffic associated with the land use. A Traffic Impact Assessment (TIA) has been prepared and is provided in Appendix D of this report. The TIA provided the following conclusions:</p> <ul style="list-style-type: none"> • The existing road network currently operates at an appropriate level of service and will continue to do so following the integration of traffic generated by the proposed development. • The intersections servicing the proposed development can accommodate traffic generated by the proposed development within their existing configurations. • Bruce Road is to be upgraded with kerb and gutter on the northern side for the full Bruce Road frontage.
<p>Contamination</p>	<p>The subject site has historically been used for primary production purposes predominately grazing. A Preliminary Site investigation (PSI) has been</p>



	<p>prepared and is provided in Appendix E of this report. The PSI provided the following conclusions:</p> <p>The results of the desktop study indicate the Site has been used for agricultural (livestock grazing) purposes with title histories and aerial imagery suggesting activity from the late 1800s. There have been only one residential dwelling constructed and expanded over the years as the activities on the remainder of the Subject Site remained unchanged. Former and current land use and activities identified have a potential to contribute to the localised contamination of the Subject Site.</p> <p>Based on the information reviewed as part of the desktop study, AEC's were identified at Site related to:</p> <ul style="list-style-type: none"> • Livestock farming and parasite management. • Possible use, storage and maintenance of motorised vehicles and equipment and periodic heavy machinery use. • On-site wastewater management. <p>The possible COPC includes: Heavy metals, pesticides, pathogens, TRH, BTEX, VOC, oil and grease.</p> <p>An evaluation of the source-pathway-receptor relationships for the Subject Site concluded that there are no potentially complete exposure pathways. The identified receptors are unlikely to be exposed to significant quantities of contaminants and there is a low likelihood that large scale significant contamination is present at the Subject Site.</p> <p>Based on the findings of the Phase 1 Preliminary Site Investigation, it can be stated with a reasonable level of confidence that the Subject Site is suitable for the intended subdivision and future residential development.</p> <p>The PSI recommended that a Construction Environmental Management Plan (CEMP) be prepared prior to works commencing on the site.</p>
<p>Aboriginal Heritage</p>	<p>There are no known items or sites of significance or Aboriginal cultural heritage significance that have been identified as being recorded on or within the vicinity of the site. Refer to AHIMS Search provided in Appendix C of this report.</p>
<p>Agricultural Land Capability</p>	<p>The property has historically been used for grazing and cropping purposes, and recently has been mown/slashed and managed by the property owner.</p> <p>The site is surrounded by existing and emerging urban developments as outlined throughout this report. Therefore, agricultural use of the land is not considered suitable for site given the proximity to other urban land uses. Furthermore the site is not considered prime agricultural land, therefore the impact is negligible.</p>



Other | There are no other constraints such as natural hazards, or significant adverse impacts the planning proposal is likely to have as a result of the rezoning of the subject site.

Has the planning proposal adequately addressed any social and economic effects?

Social and economic effects arising from the Planning Proposal will be positive in terms of the provision for additional residential opportunities for new housing in the locality for the following reasons:

- The potential yield is not high enough to be detrimental in a social sense or create excessive demands on existing services.
- The new Lots will be similar in land use and character to surrounding properties.
- Increased choice for housing in the locality would also benefit the residential building industry and employment within the industry.
- There is adequate social infrastructure in the area to cater for the proposed increase in residential lots that will ultimately be created as a result of the Planning Proposal.
- There is established demand (identified in the regional plan and other relevant strategies and reports) for additional residential Lots in the Mid-Western region.

6.3.4. Section D – State and Commonwealth Interests

Is there adequate public infrastructure for the planning proposal?

The Planning Proposal is not expected to result in a noticeable increase in demand for public infrastructure. Existing service infrastructure would be augmented to support future development and onsite management services shall be utilised.

No limitations to existing services are known to exist.

What are the views of state and federal public authorities and government agencies consulted in order to inform the Gateway determination?

Should the proposal be supported, the Department of Planning, Industry and Environments Gateway Determination will specify consultation requirements.



6.4. Part 4 – Mapping

The plans provided in Appendix A clearly outline the PP and associated likely development requirements. The plans include:

- 39720-C00 – Covering Sheet and Drawing Schedule
- 39720-C01 – Existing Site Plan
- 39720-C02 – Existing and Proposed Zoning Plan
- 39720-C03 – Existing and Proposed Minimum Lot Size Plan
- 39720-C10 – Proposed Site Plan
- 39720-C20 – Proposed Stormwater Management Plan
- 39720-C21 – Extent of 1% AEP Inundation
- 39720-C30 – Proposed Water and Sewer Reticulation Plan

6.5. Part 5 – Community Consultation

The EP&A Act provides statutory requirements for community consultation and public exhibition of Planning Proposal’s. Consultation shall occur in accordance with the Gateway Determination made by the Minister, in accordance with clause 3.34 and Schedule 1 of the EP&A Act.

It is anticipated that the Planning Proposal would be required to be exhibited for a period of 28 days.

6.6. Part 6 -Project Timeline

The following indicative project timeline is provided;

Table 7 Indicative Project Timing	
Stage	Timing
Consideration by Council	TBA
Council Decisions	TBA
Gateway Determination	25 Working Days
Post-Gateway	50 Working Days
Public Exhibition and Assessment	95 Working Days



Table 7 Indicative Project Timing	
Stage	Timing
Consideration of submission	TBA
Finalisation	55 Working Days

7. CONCLUSION

This Planning Proposal applies to the site known as Lots 42 and 49 DP 756894.

It has been prepared in accordance with the NSW Department of Planning, Industry and Environment's *Local environmental Plan Making Guidelines* and is consistent with the Central West and Orana Regional Plan 2041, relevant State Environmental Planning Policies, section 9.1 Ministerial Directions and Council's strategies.

Any inconsistencies have been appropriately justified by the inclusion of ameliorative measures or by acknowledging the need for further consultation with the relevant Minister to which the inconsistency applies.

The Planning Proposal Area is currently zoned RU4 Primary Production Small Lots pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. One of the main objectives of this Planning Proposal is to amend Mid-Western Regional Local Environmental Plan 2012 and change the Land Zoning to part R2 Low Density Residential and part R1 General Residential and reduce the minimum lot size from 20ha to 2,000m² (R2) and 600m² (R1) accordingly. It is requested that Council:

- (a) Support this preliminary Planning Proposal based on the information provided in this report; and
- (b) Resolve to refer this Planning Proposal to NSW Planning, Industry and Environment (DPIE) for a Gateway Determination to endorse its public exhibition.

Pending endorsement by NSW DPIE, the Planning Proposal will be exhibited in accordance with the criteria outlined in the Gateway Determination. The outcome of the exhibition and referrals to various government departments will be subsequently reported to Council for determination.

8. REFERENCES

- NSW Government. (2024, June 1). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>
- NSW Government Spatial Services. (2024, June 18). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>
- NSW Rural Fire Service. (2019). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.

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APPENDIX A
Plan Package

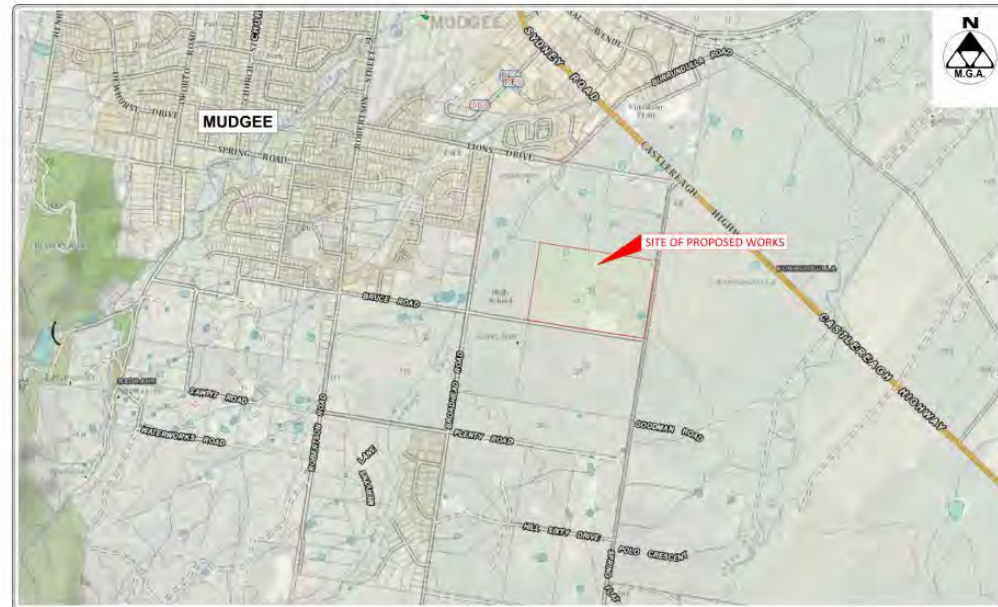


PROPOSED PLANNING PROPOSAL

Lot 42 and 49 in DP 756894
 34 Bruce Road, Spring Flat NSW 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
39720-C00	COVER SHEET AND DRAWING SCHEDULE
39720-C01	EXISTING SITE PLAN
39720-C02	EXISTING & PROPOSED ZONING PLAN
39720-C03	EXISTING & PROPOSED MINIMUM LOT SIZE PLAN
39720-C10	PROPOSED SITE PLAN
39720-C20	PROPOSED STORMWATER MANAGEMENT PLAN
39720-C21	EXTENT OF 1% AEP INUNDATION
39720-C30	PROPOSED WATER AND SEWER RETICULATION PLAN



LOCALITY PLAN
 NOT TO REDUCTION RATIO

PRELIMINARY DRAWING
 Not to be used for construction purposes



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 email generalenquiry@barnson.com.au
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Rev: 0 Date: 28-05-2024 Description: DRAFT PP SUBMISSION

Project: PROPOSED PLANNING PROPOSAL

Site Address: 34 BRUCE ROAD
 SPRING FLAT NSW 2850
 Roger Hayes

Drawing Title: COVER SHEET AND DRAWING SCHEDULE

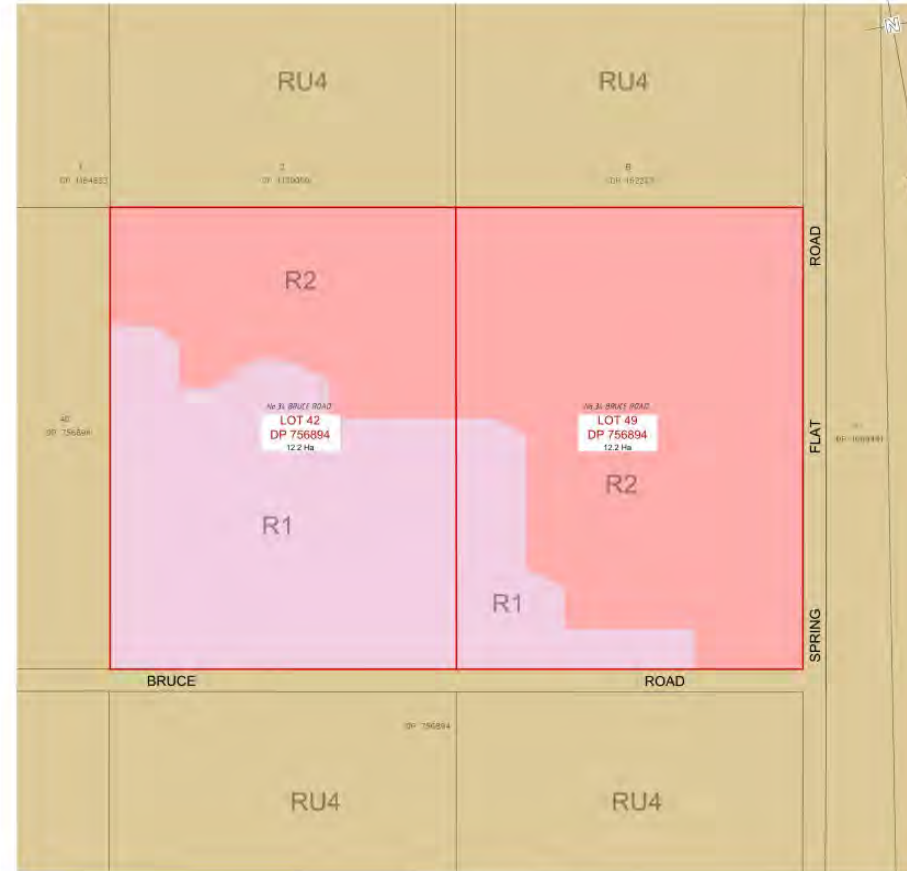
Drawn: AR
 Checked: AR

Client Reference: A1

Project No: 39720
 Drawing No: C00

39720
 C00





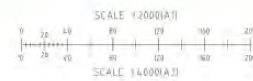
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- DIMENSIONS AND AREAS SHOWN ARE SUBJECT TO CHANGE UPON THE COMPLETION OF A FULL CADASTRAL BOUNDARY SURVEY.

EXISTING ZONING MAP
 REDUCTION RATIO 1:2000 @ A1
 1:4000 @ A3

KEY

R1	GENERAL RESIDENTIAL
R2	LOW DENSITY RESIDENTIAL
RU1	PRIMARY PRODUCTION
RU4	PRIMARY PRODUCTION SMALL LOTS



PROPOSED ZONING MAP
 REDUCTION RATIO 1:2000 @ A1
 1:4000 @ A3

PRELIMINARY DRAWING
 Not to be used for construction purposes



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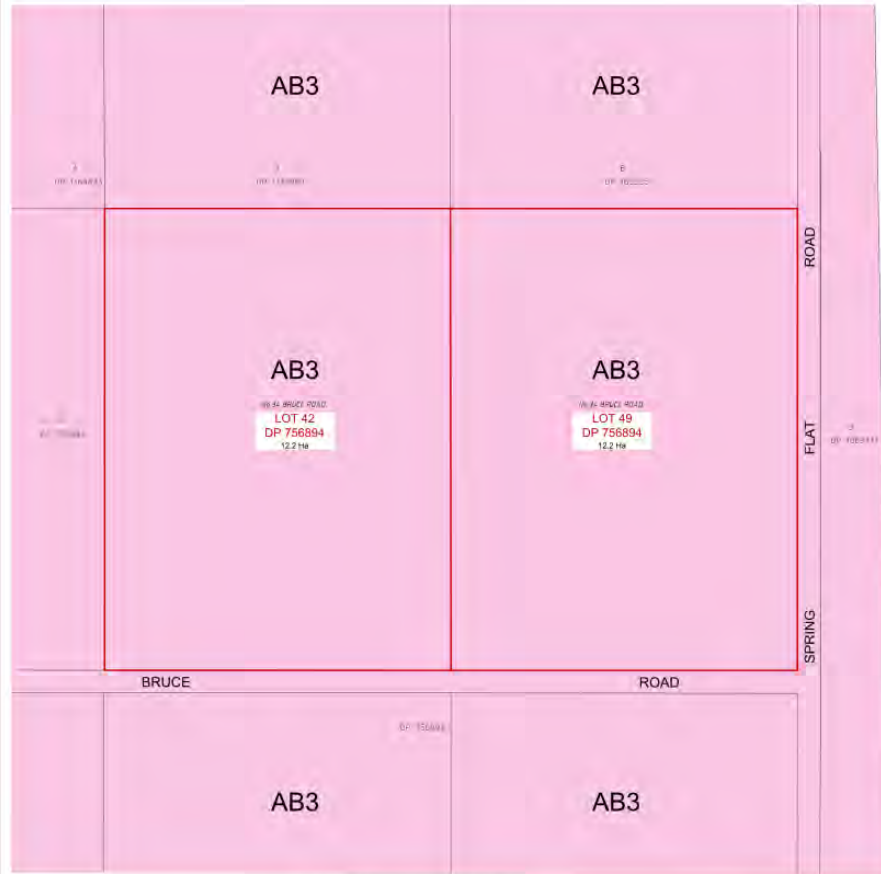
Rev: 0
 Date: 28-05-2024
 Description: DRAFT PP SUBMISSION

PROPOSED PLANNING PROPOSAL

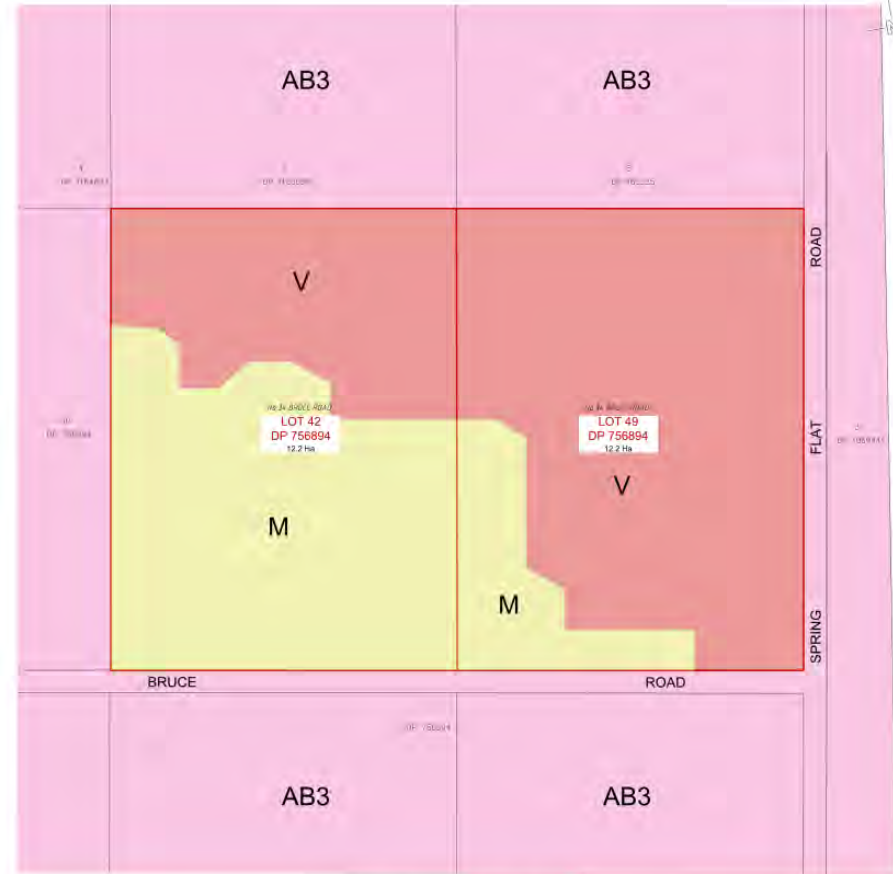
Site Address:
 34 BRUCE ROAD
 SPRING FLAT NSW 2850
 Owner:
 ROGER HAYES

EXISTING & PROPOSED ZONING PLAN

Zone:
 AR
 A1
 39720
 C02



EXISTING MINIMUM LOT SIZE MAP
REDUCTION RATIO 1:2000 @ A1
1:4000 @ A3



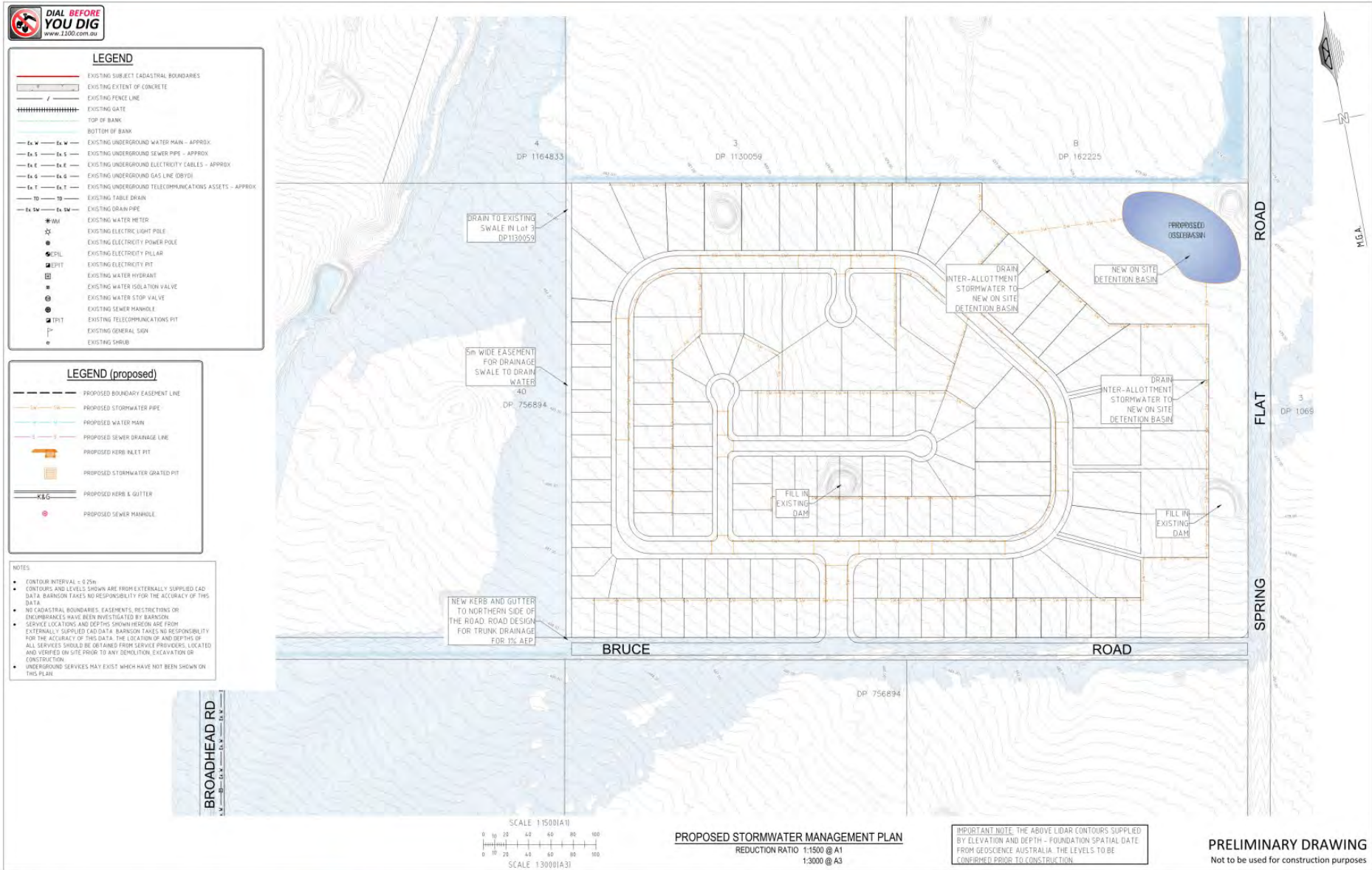
PROPOSED MINIMUM LOT SIZE MAP
REDUCTION RATIO 1:2000 @ A1
1:4000 @ A3

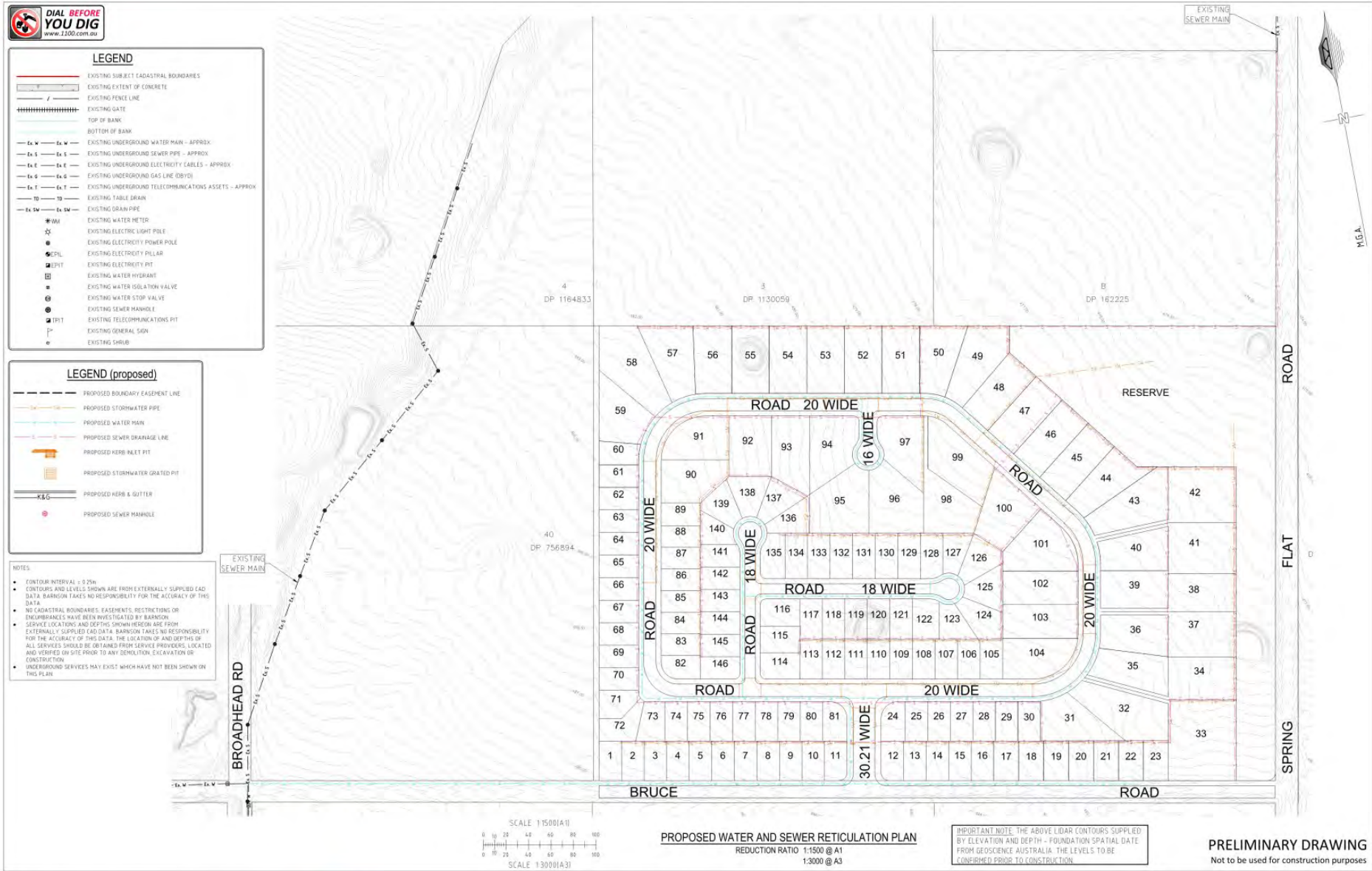
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 - DIMENSIONS AND AREAS SHOWN ARE SUBJECT TO CHANGE UPON THE COMPLETION OF A FULL CADASTRAL BOUNDARY SURVEY.

PRELIMINARY DRAWING
Not to be used for construction purposes









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APPENDIX B

Titles and Deposited Plan



**LAND
REGISTRY
SERVICES**

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 42/756894

SEARCH DATE	TIME	EDITION NO	DATE
7/10/2022	4:03 PM	3	9/9/2018

LAND

LOT 42 IN DEPOSITED PLAN 756894
AT BURRUNDULLA FLAT
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF MUDGEES COUNTY OF WELLINGTON
(FORMERLY KNOWN AS PORTION 42)
TITLE DIAGRAM CROWN PLAN 37.1527

FIRST SCHEDULE

ROGER DAVID HAYES
VALERIE LORRAINE HAYES
AS JOINT TENANTS
SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.
- 3 BK 3850 NO 287 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL
*** END OF SEARCH ***
Barnson Pty Ltd (Mudgee)

PRINTED ON 7/10/2022

* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title.
Warning: the information appearing under notations has not been formally recorded in the Register.

DYE & DURHAM TERRAIN PTY LTD - hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.

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**LAND
REGISTRY
SERVICES**

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 49/756894

SEARCH DATE	TIME	EDITION NO	DATE
11/10/2022	9:41 AM	2	9/9/2018

LAND

LOT 49 IN DEPOSITED PLAN 756894
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF MUDGEES COUNTY OF WELLINGTON
(FORMERLY KNOWN AS PORTION 49)
TITLE DIAGRAM CROWN PLAN 37.1527

FIRST SCHEDULE

ROGER DAVID HAYES
VALERIE LORRAINE HAYES
AS JOINT TENANTS
SECOND SCHEDULE (2 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 Z818365 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL
*** END OF SEARCH ***
Barnson Pty Ltd (Mudgee)

PRINTED ON 11/10/2022

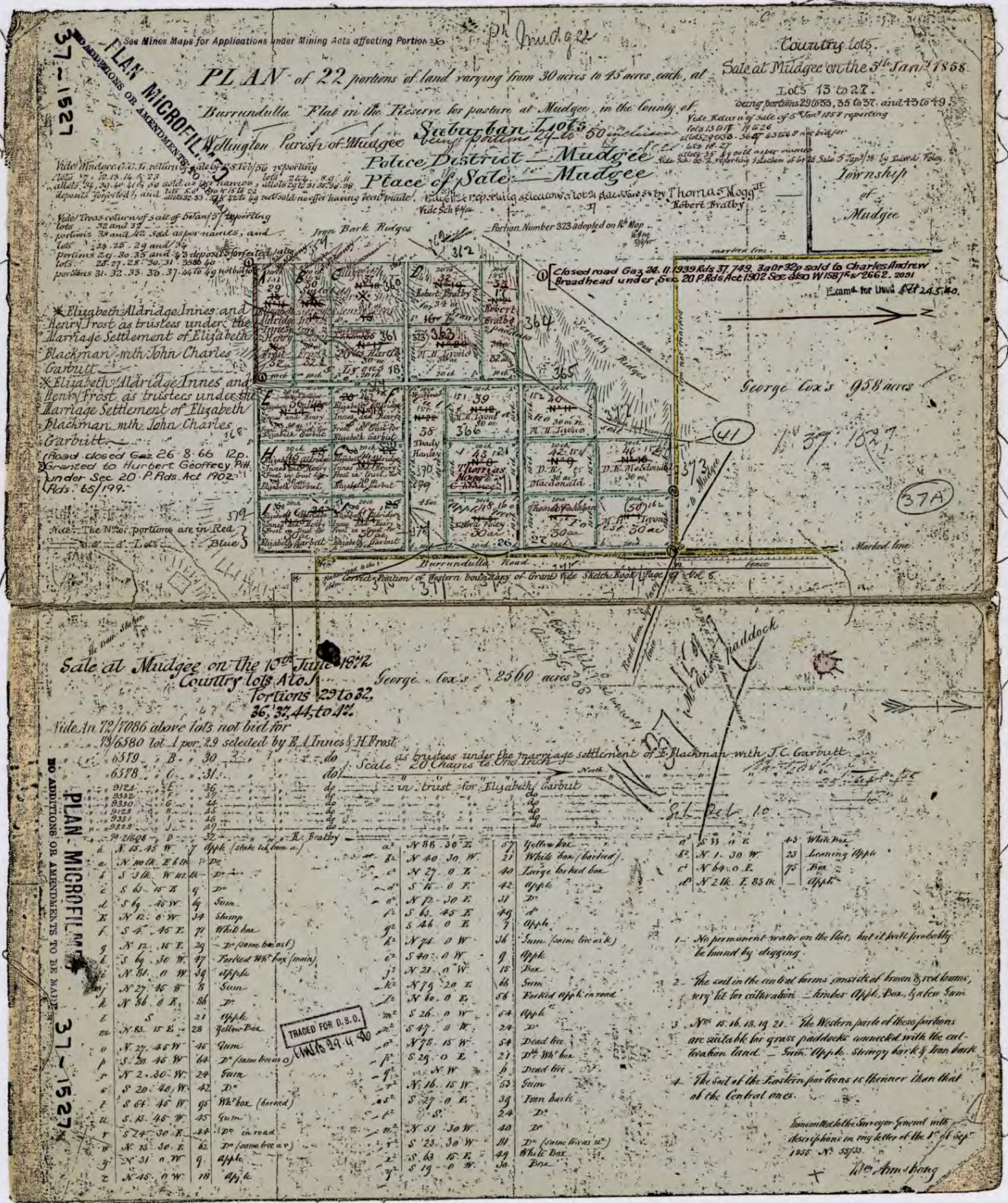
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APPENDIX C

**Aboriginal Heritage Information
Management System (AHIMS)
Report**



AHIMS Web Services (AWS)
Search Result

Your Ref/PO Number : Hayes

Client Service ID : 739453

Barnson

Date: 09 December 2022

Suite 6 11 White Street
Tamworth New South Wales 2340

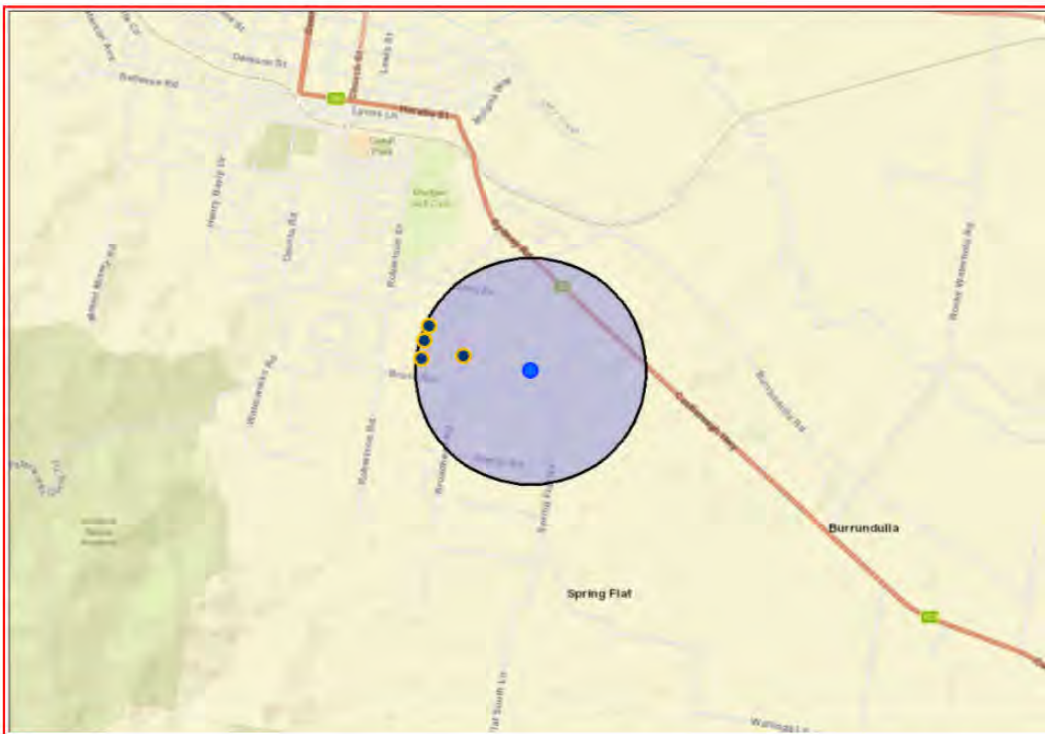
Attention: Jack Massey

Email: jmassey@barnson.com.au

Dear Sir or Madam:

AHIMS Web Service search for the following area at Address : 34 BRUCE ROAD SPRING FLAT 2850 with a Buffer of 1000 meters, conducted by Jack Massey on 09 December 2022.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

6	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

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APPENDIX D

Traffic Impact Assessment



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DESIGN . PLAN . MANAGE

Traffic Impact Assessment

Client: Roger Hayes

Site Address: 34 & 38 Spring Flat Road, Mudgee, NSW
2850

24 June 2024

Our Reference : 39720-TIA_0

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1300 BARNSON (1300 227 676)

generalenquiry@barnson.com.au

abn. 41 088 342 625

to.

Roger Hayes
34 & 38 Spring Flat Road
Mudgee NSW 2850

date.

24.06.2024

reference.

39720-TIA_0

Dear **Roger Hayes**,

34 & 38 Spring Flat Road, Mudgee, NSW 2850

Traffic Impact Assessment

With reference to the above, please find the following Traffic Impact Assessment report regarding the proposed residential subdivision.

If you have any further enquiries regarding this matter, please contact the undersigned.

Yours faithfully

BARNSON PTY LTD

Luke Morris
B.E. MIEAust CPEng (NPER)
Director





DISCLAIMER

This report has been prepared solely for **Roger Hayes** in accordance with the scope provided by the client and for the purpose(s) as outlined throughout this report.

Barnson Pty Ltd accepts no liability or responsibility for or in respect of any use or reliance upon this report and its supporting material by anyone other than the client.

Project Name:	Traffic Impact Assessment for 34 & 38 Spring Flat Road, Mudgee, NSW 2850
Client:	Roger Hayes
Project Number:	39720
Report Reference:	39720-TIA_0
Date:	24 June 2024

Prepared by:	Reviewed by:
	
Luke Morris B.E. MIEAust CPEng (NPER) Director	Eden Knespal B.Eng (Hons) Civil Engineer



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EXECUTIVE SUMMARY

Barnson Pty Ltd has been engaged by Roger Hayes to prepare a Traffic Impact Assessment report in support of a Planning Proposal for the rezoning and residential subdivision of Lots 42 and 49 DP 756894, known as 34 Bruce Road, Spring Flat.

The subject site is currently zoned RU4 Primary Production Small Lots and has a minimum lot size of 20ha. The Planning Proposal seeks to rezone the land to a mix of R2 Low Density Residential and R1 General Residential, with minimum lot sizes of 2,000m² and 600m² respectively.

Following rezoning, it is proposed to subdivide the site into one hundred and forty-six (146) residential lots and establishing a new access road and associated infrastructure.

The following conclusions have been drawn as a result of this assessment:

- The existing road network currently operates at an appropriate level of service and will continue to do so following the integration of traffic generated by the proposed development.
- The intersections servicing the proposed development can accommodate traffic generated by the proposed development within their existing configurations.
- Bruce Road to be upgraded with kerb and gutter on northern side for full Bruce Road frontage.

1. INTRODUCTION

1.1. Project Outline

The Planning Proposal (PP) seeks to re-zone the subject site from RU4 Primary Production Small Lots to a mix of R2 Low Density Residential and R1 General Residential lots, and subsequently subdivide into 146 residential lots including construction of a new access road and associated infrastructure.

1.2. Purpose and Scope

This Traffic Impact Assessment (TIA) has been commissioned by the applicant as part of the PP and provides an assessment of the traffic implications of the proposed development on surrounding traffic, transport and local road infrastructure.

This TIA has been prepared in accordance with the relevant Australian Standards, the RTA Guide to Traffic Generating Developments (2002) and Mid-Western Regional Council's policies and plans.

2. EXISTING CONDITIONS

2.1. Location and Site

The site is located in an area characterised by primary production, managed grasslands and emerging residential development. The site has historically been used for grazing purposes and is afforded with a single storey rural residential dwelling. A newly completed school and small lot residential subdivision have been recently established adjacent to the site.

The subject site is zoned RU4 Primary Production Small Lots, however there are R1 General Residential lands located to the north-west of the site along with other zones in its vicinity, as per **Figure 1** below.



Source: Nearthmap, 2024

Figure 1 – Site aerial photograph

2.2. Existing Traffic Hierarchy

The subject site has direct access to Bruce Road and Spring Flat Road. The road hierarchy is shown in **Figure 2** below.



Source: SIX Maps e-Topo, NSW Spatial Information Exchange, 2024

Figure 2 – Existing Road hierarchy

Bruce Road is a collector road. It connects the subject site with South Mudgee toward the west. The road at the subject lot has a 6m wide sealed pavement and 20m road reserve. The speed environment is 80km/hr.

Spring Flat Road is a collector road. It connects Queens Pinch Road, Mullamuddy to the south with the Castlereagh Highway to the north. The road at the subject lot has a 6m wide sealed pavement and 20m road reserve. The speed environment is 100km/hr, slowing to 80km/hr upon approach to the Castlereagh Highway.

The Castlereagh Highway is a state road under the jurisdiction of Transport for New South Wales (TfNSW). It extends from Mangaroo (Lithgow) to the east through to Heleb on the NSW/QLD border. The Castlereagh Highway has a speed limit of 80km/hr at the intersection with Spring Flat Road. The intersection is a Channelised Right (CHR) / Auxiliary Left (AUL) arrangement type with a designated right turn lane for vehicles turning right onto Spring Flat Road. This is shown in **Figure 8**. The road pavement is 15m wide at the subject intersection with a 26m wide road reserve.



Figure 3 – Bruce Road, western view



Figure 4 – Bruce Road, eastern view towards Spring Flat Road Intersection



Figure 5 – Spring Flat Road, north view



Figure 6 – Bruce Road, western view towards school



Figure 7 – Broadhead Road, northern view towards Bruce Road Intersection



Source: SIX Maps e-Topo, NSW Spatial Information Exchange, 2024

Figure 8 – Castlereagh Highway and Spring Flat Road Intersection

2.3. Traffic Volumes

Traffic counts for the road hierarchy has been gathered from supporting information from neighbouring developments and is summarised below.

A manufactured housing estate is currently under construction to the north of the site at Lot B DP162225 and Lot 41 DP756894. The approved development is for 206 serviced self-care dwellings and fronts Spring Flat Road. A traffic impact assessment was prepared by 'Stanbury Traffic Planning', and summarised the projected weekday commuter peak hour volumes at the intersection of Spring Flat Road and the Castlereagh Highway. This is shown below in **Figure 9** below.

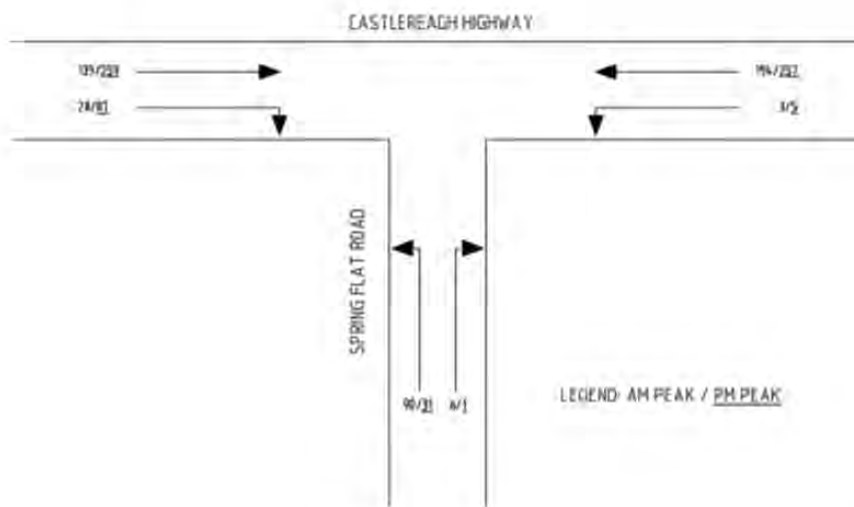


Figure 9 – Castlereagh Highway / Spring Flat Road existing Traffic projections*

*Note: Figure 9 represents intersection traffic AFTER manufactured housing estate completed.

Similarly, a new high school has recently been constructed to the west of the subject site on the corner of Bruce and Broadhead Road. A traffic impact assessment was prepared by 'TTPP Transport Planning', and summarised the projected weekday commuter peak hour volumes along Bruce Road, Spring Flat Road (excluding the manufactured housing estate) and Broadhead Road.

This is shown below in **Figure 10** below.

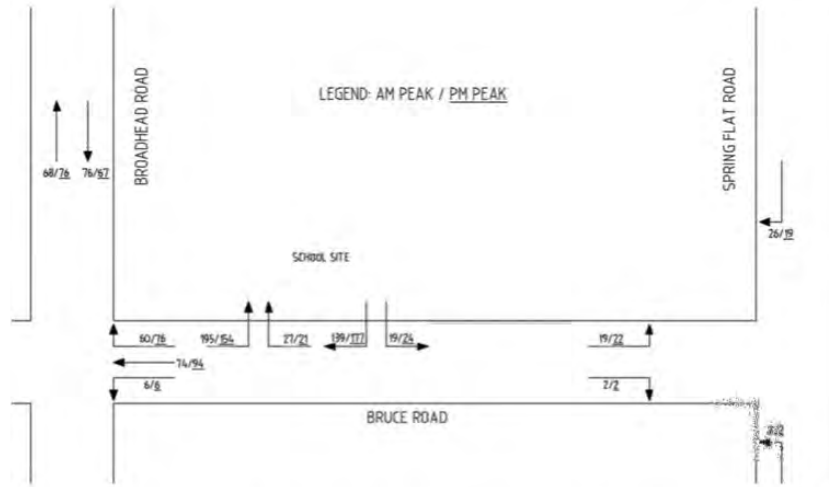


Figure 10 – Existing Bruce Road Traffic including school

2.4. Public Transport

There is no public transport route along Bruce Road however Bruce, Broadhead and Spring Flat Roads are all designated school bus route as shown in **Figure 11** below.

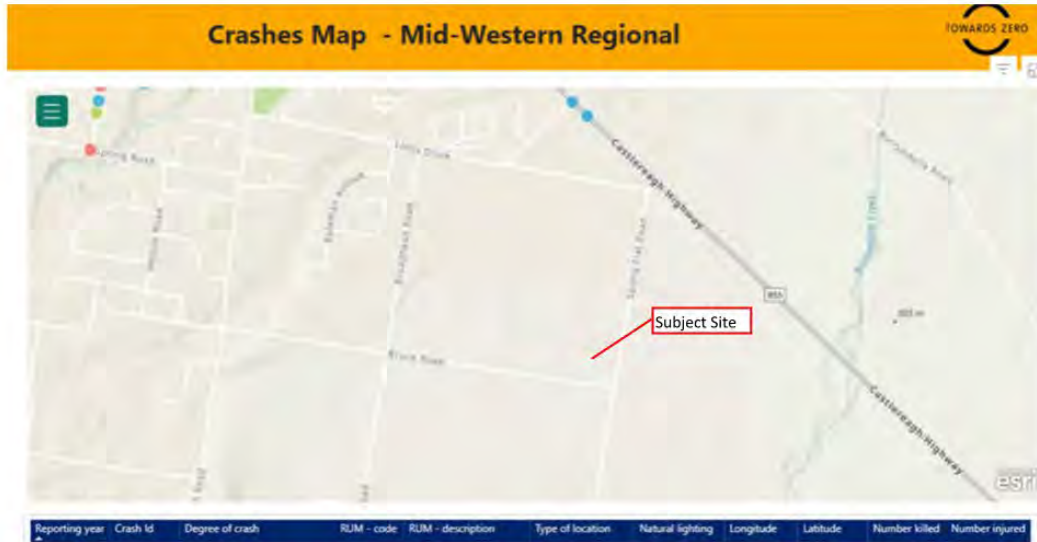


Source: Mudgee Interlink, Ogdens Coaches, 2021

Figure 11 – Mudgee bus routes

2.5. Traffic Safety

Traffic accident history of the area has been obtained from the TfNSW Centre for Road Safety. In the five years between 2018 and 2023, there were no crashes recorded in the vicinity of the subject site.



Source: Crash and Casualty Statistics, Centre for Road Safety, Transport for NSW, 2024

Figure 12 – Map of traffic accident history



3. PROPOSED DEVELOPMENT

The proposed development seeks to re-zone the subject site from RU4 Primary Production Small Lots to a mix of R2 Low Density Residential and R1 General Residential lots, and subsequently subdivide into 146 residential lots including construction of a new access road and associated infrastructure. The proposed road will connect to Bruce Road.

3.1. Traffic Generation

Traffic generation rates for the proposed 146 residential lots have been obtained from the Roads and Traffic Authority Guide to Traffic Generating Developments (2002).

Table 1 - Traffic generation from proposed subdivision

Daily vehicle trips per dwelling ¹ (vpd)	9.0
Peak hour vehicle trips per dwelling ¹ (vph)	0.85
Number of new dwellings	146
Total daily vehicle trips (vpd)	1314
Total peak hour vehicle trips (vph)	124

1. Guide to Traffic Generating Developments, Roads & Traffic Authority, 2002

For the purposes of analysis, it is assumed there will be a 50-50 split of left and right hand turns into and out of the subdivision onto Bruce Road, or 62vph in each direction.

3.2. Mid-Block Level of Service

The peak hourly flows for a mid-block road at various Levels of Service (LoS) are set out in **Table 2** below.

Table 2 - Urban Road peak hour flows per direction

Level of Service	One Lane (vph per direction)
A	200
B	380
C	600



D	900
---	-----

Source: Guide to Traffic Generating Developments, Roads & Traffic Authority, 2002

The current peak time traffic volume on Bruce Road at the proposed intersection location is around 73vph (combined in both directions). Further to the east, the current peak time traffic volume on Bruce Road at the school entrance is around 220vph (combined in both directions). With the addition of traffic generated by the proposed development, and assuming the worst case scenario that 100% of generated traffic travels west toward the school, this will result in 344vph combined in both directions.

Bruce Road currently operates comfortably at a LoS A (400vph in both directions) and will continue to do so following development. No upgrade works are required in order to facilitate traffic generated by the proposed development.

However, Bruce Road requires drainage improvements along the site frontage, and new kerb and gutter will need to be installed. The new kerb line shall merge into the existing, as shown in **Figure 6**.

3.3. Intersection Traffic Volumes

3.3.1. Bruce Road and Broadhead Road

The existing intersection is shown in **Figure 4**. It features a stop sign with a hold line on Bruce Road. The peak am traffic volume at the intersection for vehicles traveling west is 140vph and the majority of this traffic is generated by the school. Previous analysis undertaken prior to development of the school has confirmed that the current intersection treatment is suitable. Most of those traffic movements would be between 8.00am-9.00am prior to school drop off.

The peak am traffic volume generated for the proposed subdivision is 62vph in each direction. The majority of those traffic movements would be between 7.30am-8.30am. The revised peak traffic generation for the school and residential development is shown below in **Figure 13**.

For the purposes of analysis, we have assumed that there will be a 50-50 split of left and right hand turns into and out of the subdivision onto Bruce Road, or 62vph in each direction. We have also assumed that all of the 62vph movements are exits out of the sub-division in the morning and into the sub-division in the evening. The peak pm movements from the subdivision would not occur at the same time as that of the school.

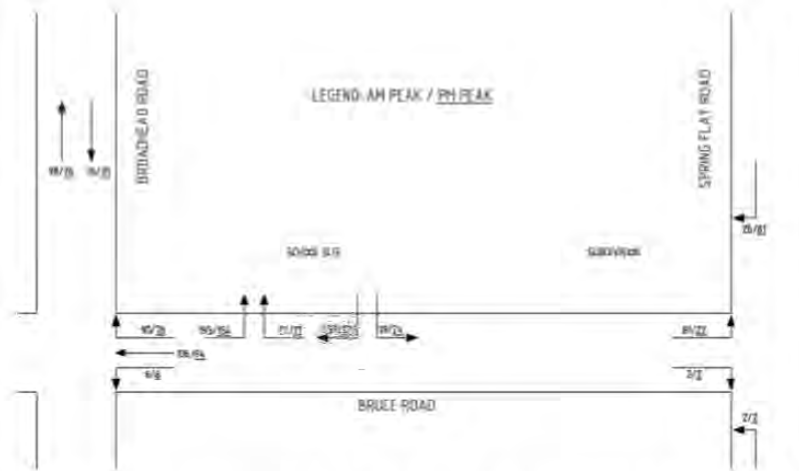


Figure 13 – Proposed Bruce Road Traffic including school and sub-division

3.3.2. Bruce Road and Spring Flat Road

The existing intersection is shown in Figure 7. The revised peak traffic generation for the school and residential development is shown above in Figure 13.

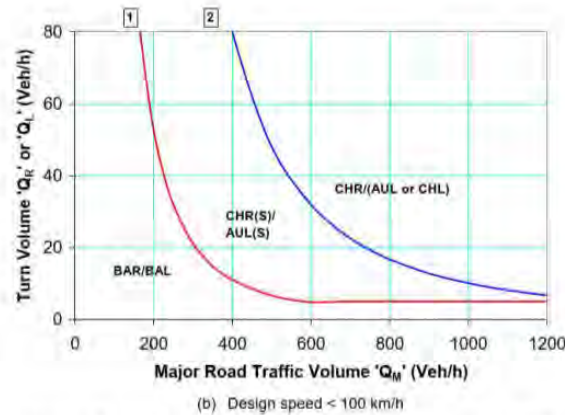
Turn warrants have been determined from the peak traffic flows summarised below.

Table 3 - Proposed peak hour (pm) turning volumes, Bruce and Spring Flat Road Intersection

Intersection	Existing traffic northbound ²	Existing traffic southbound ²	Proposed left turning traffic ³	Traffic volume parameter Q _{ML} ⁴	Proposed right turning traffic ³	Traffic volume parameter Q _{MR} ⁴
Spring Flat Road	31	92	2	2	81	125

1. All figures given in vehicles per hour (vph)
2. The case shown assumes existing traffic is split evenly in both directions, however the same recommendation applies to different traffic splits
3. Conservative assumption that 50% of traffic generated by the development turns in the either direction
4. Traffic volume parameters Q_{ML} and Q_{MR} have been calculated as prescribed by the Guide to Road Design Part 4: Intersections and Crossings, Austroads, 2017, Figure A 11

From these volumes and the warrants illustrated in Figure 14 below, the appropriate turn treatment for the intersection is a Basic Right (BAR) / Basic Left (BAL) arrangement, which is satisfied by the existing intersection configuration.



Source: Figure A 10, Guide to Road Design Part 4, Austroads, 2017

Figure 14 – Warrants for turn treatments at un-signalised intersections

3.3.3. Spring Flat Road and the Castlereagh Highway

The existing intersection is shown in **Figure 8**. The revised peak traffic generation for the school and residential development is shown above in **Figure 13**.

Turn warrants have been determined from the peak traffic flows summarised below.

Table 4 - Proposed peak hour (pm) turning volumes, Spring Flat Road & the Castlereagh Highway Intersection

Intersection	Existing traffic eastbound ²	Existing traffic westbound ²	Proposed left turning traffic ³	Traffic volume parameter Q_{ML} ⁴	Proposed right turning traffic ³	Traffic volume parameter Q_{MR} ⁴
Castlereagh Highway	259	257	5	5	142	665

5. All figures given in vehicles per hour (vph)

6. The case shown assumes existing traffic is split evenly in both directions, however the same recommendation applies to different traffic splits

7. Conservative assumption that 50% of traffic generated by the development turns in the either direction

8. Traffic volume parameters Q_{ML} and Q_{MR} have been calculated as prescribed by the Guide to Road Design Part 4: Intersections and Crossings, Austroads, 2017, Figure A 11

From these volumes and the warrants illustrated in **Figure 14**, the appropriate turn treatment for the intersection is an Channelised Right (CHR) / Auxiliary Left (AUL) arrangement, which is satisfied by the existing intersection configuration.



3.4. Cumulative Impacts

At the time of preparing this report, there were no other known traffic generating developments in the vicinity of the subject site that would influence the traffic counts.

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4. CONCLUSION

Barnson Pty Ltd has been engaged by Roger Hayes to prepare a Traffic Impact Assessment report in support of a Planning Proposal for the rezoning and residential subdivision of Lots 42 and 49 DP 756894, known as 34 Bruce Road, Spring Flat.

The subject site is currently zoned RU4 Primary Production Small Lots and has a minimum lot size of 20ha. The Planning Proposal seeks to rezone the land to a mix of R2 Low Density Residential and R1 General Residential, with minimum lot sizes of 2,000m² and 600m² respectively.

Following rezoning, it is proposed to subdivide the site into one hundred and forty-six (146) residential lots and establishing a new access road and associated infrastructure.

The following conclusions have been drawn as a result of this assessment:

- The existing road network currently operates at an appropriate level of service and will continue to do so following the integration of traffic generated by the proposed development.
- The intersections servicing the proposed development can accommodate traffic generated by the proposed development within their existing configurations.
- Bruce Road to be upgraded with kerb and gutter on northern side for full Bruce Road frontage.

Should you require any further information or clarification regarding this matter, please do not hesitate to contact the undersigned.

Yours faithfully

BARNSON PTY LTD



Luke Morris
B.E. MIEAust CPEng (NPER)
Director

barnson.

APPENDIX E

Preliminary Site Investigation



barnson.
DESIGN . PLAN . MANAGE

Site Contamination Investigation

Client: Roger Hayes

Site Address: 34 & 38 Spring Flat Road, Spring Flat, NSW 2850

27 June 2024

Our Reference : 41872-ER01_A

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DISCLAIMER

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Project Name:	Preliminary Site Investigation at Spring Flat Road, Spring Flat
Client:	Roger Hayes
Project Number:	39720
Report Reference:	39270 ER01_A
Date:	27/06/2024

Prepared by:	Reviewed by:
	
Seb Minehan B. Human Geog UOW, U/G Urb. Reg. Plan U/G Town Planner	Nardus Potgieter MSc(Chem) BSc(Hons)(Env.Tech.) Senior Environmental Scientist



Executive Summary

Barnson Pty Ltd was engaged by Roger Hayes to undertake a preliminary contaminated site investigation (PSI) of the property at 34 Spring Flat Road & 38 Spring Flat Road, Spring Flat, NSW 2850 (the Subject Site).

The investigation had as its objectives to identify contamination issues that may affect the suitability of a rezoning application and assess the need for possible further investigations, remediation or management of any contamination issues identified.

The investigation was based on a desktop review of information available for the Subject Site, as well as the findings of an inspection and walkover of the Site intended for the proposed development.

A review of the available historical information, including contaminated sites databases and aerial photographs, indicated a low potential for significant environmental contamination to be present across the surface of the Site.

The following potential sources and areas of contamination were identified:

- Historical Agricultural activities;
- Use, or storage of motorised vehicle and equipment;
- Domestic on-site wastewater management.

A site inspection was undertaken to determine the presence and significance of potential contamination associated with the identified sources.

Based on the findings of the desktop review and site inspection it can be stated with a reasonable level of confidence that the area of the Subject Site investigated is unlikely to be contaminated. This finding is supported with observations made during a site walkover as well as interview with the current landowner. The Subject Site is therefore considered suitable for the proposed subdivision and future residential land use.

Although no evidence of large scale contamination were discovered on site, development of a Construction Environmental Management Plan (CEMP) for the construction phase of the project is recommended.



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1. INTRODUCTION

1.1. Background and Objectives

Barnson Pty Ltd was engaged by Roger Hayes to undertake a preliminary contaminated site investigation (PSI) in support of the proposed development of the property located at 34 Bruce Road and 32 Spring Flat Road, Spring Flat, NSW 2850 (hereafter referred to as the Subject Site).

The client is proposing to submit a Planning Proposal to Mid-Western Regional Council to rezone the site for residential purposes. In accordance with the State Environmental Planning Policy Resilience and Hazards (2021), a consent authority must determine if land has a potential for being contaminated and, if so, whether it is suitable for the intended purpose or require further assessment or remediation, before (future) development consent may be given.

This report therefore presents a general preliminary assessment of the conditions at the Subject Site in relation to planning requirements and considers the contaminants potentially relevant to the current and historical use of the property.

1.2. Objectives

The objectives of the Investigation are:

- Identify contamination that may affect the site's suitability for development, and
- Assess the need for possible further investigations, remediation or management of any contamination identified.

1.3. Scope of Work

To meet the stated objectives, Barnson completed the following scope of work:

- Site identification including a review of site history, site condition, surrounding environment, geology and, where information was available, hydrogeology.
- Desktop review of site history and assessment of potential sources of contamination.
- Development of a Conceptual Site Model (CSM) with information gathered from the data review and site inspection.
- Site inspection to assess site conditions.
- Provide conclusions as to the suitability of the site for the intended future land use.
- Preparation of a report.



1.4. Purpose of this report

The purpose of this report is to document, with cognisance of the Guidelines for Consultants Reporting on Contaminated sites (NSW EPA, 2020), works undertaken, in accordance with the scope of works as described in Section 1.3, results of the desktop review and site inspection, and recommendations for further actions required to determine fitness of the site for the intended use.

1.5. Assumptions and Limitations

The following assumptions have been made in preparing this report:

- The most sensitive future use of the site will be for residential purposes. This assumption forms the basis for the conceptual site model (Section 4).
- All information pertaining to the contamination status of the site has been obtained through public record searches, a preliminary site inspection and analysis of confirmatory samples collected at the site. All documents and information in relation to the site, which were obtained from public records, are accepted to be correct and has not been independently verified or checked.

It should be recognised that even the most comprehensive site assessments may fail to detect all contamination on a site. This is because contaminants may be present in areas that were not previously surveyed or sampled or may migrate to areas that showed no signs of contamination when sampled. Investigative works undertaken at the Subject Site by Barnson identified actual conditions only at those locations in which sampling and analysis were performed. Opinions regarding the conditions of the site have been expressed based on historical information and analytical data obtained and interpreted from previous assessments of the site. Barnson does not take responsibility for any consequences as a result of variations in site conditions.



2. SITE DESCRIPTION

2.1. Site Identification

Table 2.1 presents a summary of the available information pertaining to the identification of the Subject Site.

Table 2.1: Summary of Site Identification Information

Information	Details
Site address	34 Bruce Road & 32 Spring Flat Road, Springs Flat. NSW 2850
Lot/Section and Deposited Plan	Lot 42 DP 756894 Lot 49 DP 756894 Lot B DP 162225
Current Land Zoning	RU4 – Primary Production Small Lots
Subject Site Area (Approx.)	31.75 hectares
County	Wellington
Parish	Mudgee
Local Government Area	Mid-Western Regional Council

Figure 2.1 shows the Subject Site located in the south-eastern area of Mudgee.



Figure 2.1: Location of the Subject Site and Investigation Area.

2.2. Site Description

The Subject Site is identified as Lot 42 and Lot 49 DP 756894 (34 Bruce Road, Spring Flat) and Lot B DP 162225 (32 Spring Flat Road, Spring Flat). The Subject Site is approximately 31.75 hectares. The site is located on the south-eastern edge of town and is approximately 3.5km south-east of the Mudgee CBD. The site is bounded by Spring Flat Road to the east, and Bruce Road to the south, education establishment to the west, and small rural holdings/civil works to the north. The site has an existing dwelling, associated structures, and paddocks to the north.

2.3. Site Layout and Observations

Barnson undertook a walkover and inspection of the Subject Site on 19/06/2024. The following description of the site is based on information and photos obtained during this inspection.

Figure 2.2 presents a plan of the Subject Site that is supplemented with photographs (Figure 2.3 to Figure 2.19) showing the different elements of the Site. Figure 2.2 includes markers indicating the vantage point and direction of the photographs.

The following observations were made during the site walkover:

- The existing dwelling and sheds are in good condition and there are no waste, stockpiles of excavated material or excavated areas visible around the structures.

- There is a table drain along Bruce Road (see Figure 2.3) to capture and channel stormwater from the road along to Spring Flat Road. No stormwater run-on from the road onto the Subject Site.
- The property utilises groundwater from a bore located approximately 10m from the existing dwelling.

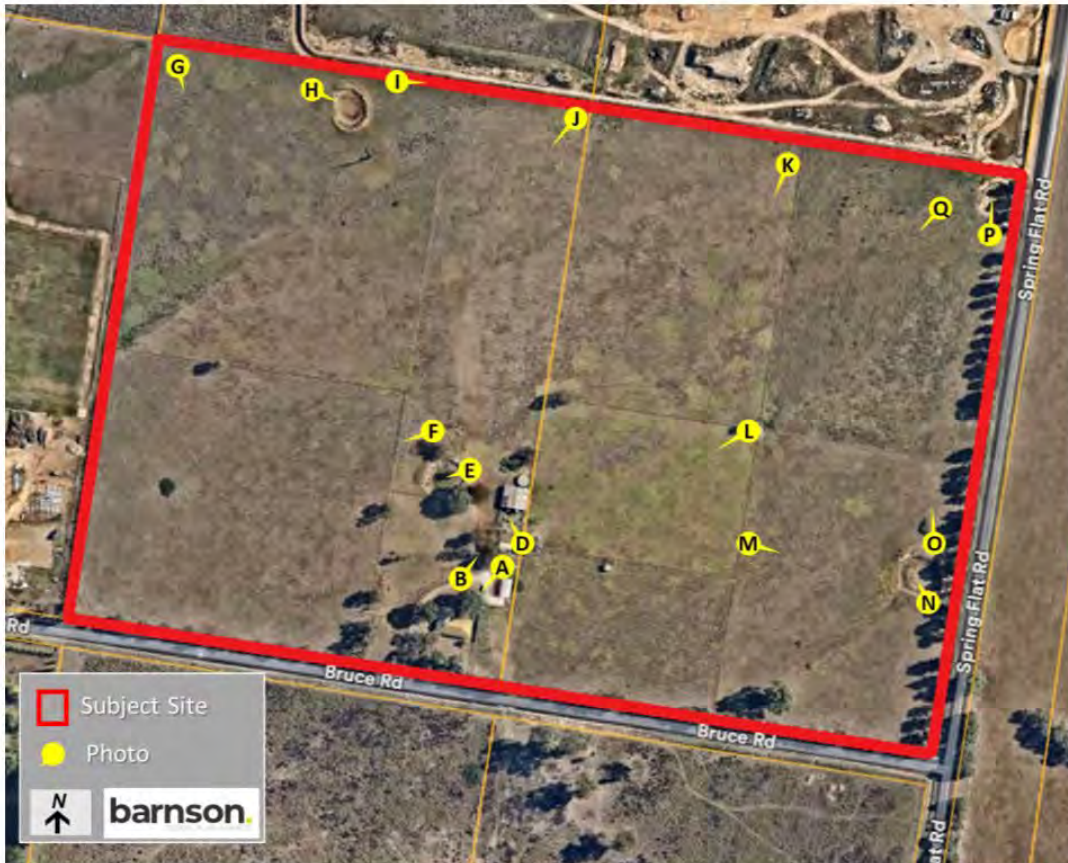


Figure 2.2: Subject Site layout.

- All sheds and carports are constructed on a concrete slab. There were no stained soils or any evidence of hydrocarbon spills or leaks observed in soils at entrance to sheds or in areas surrounding the structures.
- No stained soil or waste observed anywhere on the property. No stained soil in vicinity of dams. All excavated materials on dam retaining structures appear to be from the Subject Site.
- No demolition waste observed anywhere on site.
- Vegetation in paddocks appear in good condition. No bare ground or stained soil observed in paddocks.



Figure 2.3: Photo A – Photo of the existing dwelling, from Bruce Road north



Figure 2.4: Photo B – Photo of the existing dwelling from rear, looking southwest.



Figure 2.5: Photo C – Livestock management area near dwelling.



Figure 2.6 Photo D – Sheds to north of dwelling.



Figure 2.7 Photo E – Dam closest to structures, looking west.



Figure 2.8: Photo F – View across southwestern paddock, looking west.



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Figure 2.10: Photo H – Dam in north western paddock.



Figure 2.11: Photo I - Surface water diversion channel along outside of northern boundary fence.



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Figure 2.16: Photo N-Showing dam in southeastern paddock.



Figure 2.17: Photo O-View across north eastern paddock looking north.



Figure 2.18: Photo P-Dam in northeastern corner of the Subject Site.



Figure 2.19: Photo Q-View across northeastern paddock looking southwest.



2.4. Proposed Development

The proposed development is to support a future Planning Proposal to rezone the land for residential purposes. A plan of the proposed subdivision is attached as Appendix A.

2.5. Site History

2.5.1. Sources of Information

- Site inspection 19/06/2024 by Nardus Potgieter of Barson Pty Ltd.
- Mid-Western Regional Council
- NSW EPA records of public notices under the CLM Act 1997
- Online Soil and Geological Maps
- Historical aerial photographs (1964 -2015) including NSW Government historical imagery, Google Earth, and Nearthmaps.

2.5.2. Title Search

A title search conducted on 27/05/2024 by Seb Minehan deduced the Registered Proprietor is Roger David Hayes and Valerie Lorraine Hayes as joint tenants. A copy of the title search result is attached as Appendix B.

2.5.3. Anecdotal Information

In an interview, Mr Roger Hayes noted that he purchased the property in 1979 and has been farming livestock at the property ever since. Mr Hayes noted that the property contained the residential dwelling when he purchased it and that the property used to be larger and included Lot B (DP162225) to the northeast and Lot 40 (DP756894) to the west. These portions have since been sold and both have been developed by the new owners.

Mr Hayes indicated that the Subject Site has only been used for grazing purposes and that no orcharding or viticulture has ever been practiced. He further indicated that there is no livestock dip-trench or dip structure located at the Subject Site. No soil has been excavated from the property for off-site use and no fill material has been brought onto the property for any reason. Two of the four water retaining dams at the property was excavated by the previous owner. Mr Hayes as excavated two more and has been maintaining all the dams for livestock water supply purposes. There is a single bore on the property that is used for domestic water supply, and for livestock.

Mr Hayes has further not used any part of the Subject Site for waste disposal, other than burying two dead horses, more than a decade ago. Mr Hayes runs cattle on the property to control vegetation. He has not sprayed any of the paddocks for weeds or pests since taking ownership of the property.

2.5.4. Heritage

The site is not listed on the following government heritage databases:

- Commonwealth Heritage List
- National Heritage List
- State Heritage Register
- Local Environmental Plan (Mid-Western Regional LEP 2012)

2.5.5. Review of Aerial Photographs

A review of historical aerial photographs ranging from 1965 -2024 was undertaken. The historical aerial photographs are presented in Appendix B. A summary of the Site features is provided as follows:

1965 – The site has an existing dwelling located on the southern boundary, and the remainder of the site is agricultural land. The surrounding land is purely agriculturally based.

1980 – Between 1965 and 1980, no major changes to the site or surrounding land uses. some additional earthen dams evident onsite.

1994 – Between 1980 and 1994, no major changes to the site or surrounding land uses.

2017 – Between 1994 and 2017, no major changes to the site or surrounding land uses. Spring Flat road to the east has been tarred.

2024 – By 2024, the site is in it's current state, with minimal changes, with the majority of the site still being used for agricultural purposes. The land to the north is currently being developed for a manufactured home estate, and St. Matthews College has been erected to the west.

The aerial photos support the anecdotal information provided by the current land owner.

2.5.6. Historical neighbouring land uses

North – Agricultural land (now a manufactured home estate)

South – Agricultural Land (now agricultural land)

East – Agricultural Land (now agricultural land)

West – Agricultural Land (now St. Matthews College)

2.5.7. Record of Site Contamination

Datasets maintained by the Office of Environment and Heritage (OEH) including notices under CLM Act, POEO Environment Protection License Register, and environmental incidents were reviewed.

- List of NSW contaminated sites notified to EPA – The sites appearing on the OEH "List of NSW contaminated sites notified to the EPA" indicate that the notifiers consider that the sites are contaminated and warrant reporting to EPA. However, the contamination may or may not be significant enough to warrant regulation by the EPA. The EPA needs to review information



before it can make a determination as to whether the site warrants regulation. A search of the listing returned no record for the subject site.

- Contaminated Land Record of Notices – A site will be on the Contaminated Land Record of Notices only if the EPA has issued a regulatory notice in relation to the site under the *Contaminated Land Management Act 1997*. A search of the register in May 2024 returned no record for the subject site.

There is further no record of the Subject Site in any of the following databases:

- Former Gasworks Database
- EPA PFAS Investigation Program
- Defence PFAS Investigation & Management Program
- Air Services Australia National PFAS Management Program
- Defence 3 Year Regional Contamination Investigation Program.
- Safework NSW Storage of Hazardous Chemicals

2.5.8. Spills, losses, or discharges

None expected. No record of spills or losses at the Subject Site were available. No records for discharges to land, water, or air were available.

2.5.9. Relevant complaint history

None expected.

2.5.10. Previous Site Investigations

No information relating to any previous assessment of contamination at the Subject Site was available for review.

2.5.11. Integrity Assessment

The site history was obtained from a site inspection and history review. The information is consistent with the current site condition and to the best of the assessor's knowledge is accurate.



3. SITE SETTING

3.1. Geology

A review of the 1:100000 Geology Map of Mudgee (refer to Figure 3.1) shows that geologically, the Subject Site is underlain by Palaeozoic aged carbonaceous siltstone, quartz-lithic sandstone, conglomerate and coal lenses, rare verves. It is also underlain by Cainozoic aged alluvial silt, clay and sand, variable humic content, sporadic pebble-to- cobble-sized unconsolidated conglomeratic lenses.



Figure 3.1: Enngonia 1:100,000 geology map showing the location of the Subject Site

Source: Google Earth, accessed 07/08/2023

An examination of the Geological Survey of NSW maps of Naturally Occurring Asbestos (accessed on 28th May 2024), shows that the geological units underlying the Subject Site area has zero asbestos potential.

3.2. Soils

The Subject Site is located within the Craigmores Soil Landscape. 20 m above the modern floodplain. Relief to 40 m; slopes <2 %. Non calcic Brown Soils (Dr2.12; Dr2.13; Dr2.42; Dr3.42) and Red Earths (Gn2.15; Gn2.16) on very old Quaternary alluvium. Yellow Podzolic-Solodic Soils intergrades (Dy3.42) on lower lying areas. Some Alluvial Soils (Uc1) and leached loams (Um4.21) on lower terraces adjacent to major streams. Limitations include Moderate to high fertility; level land; weakly

structured surface soils; moderate to high available waterholding capacity; moderate to high erosion hazard under cultivation.

The Atlas of Australian Acid Sulfate Soil has the subject site in an area of 'extremely low' probability of occurrence (a 1-5% chance of occurrence). Surface soils in the area can be saline in places.

3.3. Topography and Drainage

Figure 3.2 presents topographical information overlain on the map of the Subject Site. The presented data shows that the Subject Site is relatively flat.



Figure 3.2: Subject Site topography.

Source: en-au.topographic-map.com, accessed 18/03/2024

The closest natural water body is the Sawpit Gully located 150m to the west of the Subject Site. Water drains predominantly into Bruce Road, and Spring Flat Road infrastructure. There is a surface water diversion trench located along the northern boundary of the Subject Site. The trench is to drain stormwater around the construction works to the north of the Site.

3.4. Groundwater Resources

A review of existing groundwater bore records (WaterNSW, 2024) indicate that no groundwater bores are located within the boundaries of the Subject Site. The existing bore being used by the

current owner for domestic and stock water supply is unregistered. Figure 3.3 show the location of this bore relative to the existing dwelling and Subject Site boundaries.



Figure 3.3: Unregistered domestic and stock water bore at the Subject Site.

There are two (2) registered groundwater bores within 500m of the Subject Site. The location of the nearby groundwater bore's is shown in Figure 3.4.

The information recorded in the database for the groundwater bore indicates the depth of the bores range from 12.2m to 28.4m. The only Water Bearing Zone (W.B.Z) registered was for GW048537 at 12.2m. The same bore had a Standing Water level (S.W.L) of 1.7m. According to the database, the bore was used for stock and domestic purposes.

Groundwater Sensitivity mapping obtained from the ePlanning Spatial Viewer, indicate that the Subject Site is not located on environmentally sensitive land.

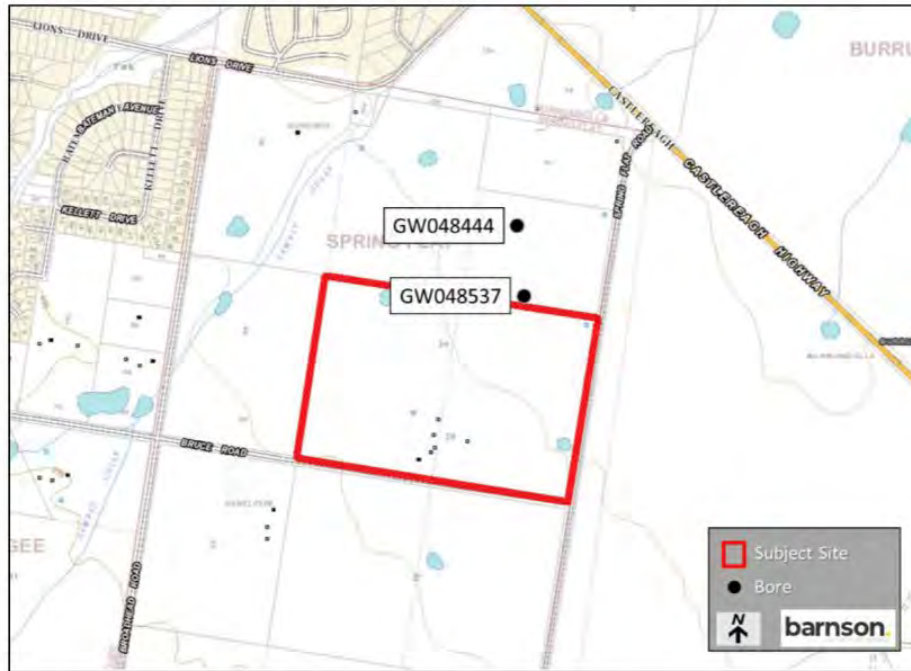


Figure 3.4: Groundwater bores near the subject site

Source: WaterNSW All Groundwater Map, accessed 17/03/2024



4. PRELIMINARY CONCEPTUAL SITE MODEL

4.1. Data Gaps

Based on the desktop review and observations made from aerial photos, a site walkover and interview with the current landowner, the following data gaps have been identified:

- Historical land use before 1965.

Although no records of land use were available, historical parish survey maps indicate no use of the site other than agriculture, with the location indicated as 'paddocks' on a map dated January 1858. No other dwelling was noted or shown on the property on historical plans.

4.2. Potential Sources of Contamination and Associated Contaminants of Concern

Table 4.1 presents a summary of the potential areas of environmental concern (AECs), potential sources of contamination and the associated contaminants of potential concern (COPCs). Given the findings of the desktop review and observations made from aerial photos, a site walkover and interview with the current landowner, only agricultural and residential land use is identified.

Table 4.1: Potential Contamination Sources and Associated Contaminants of Concern.

AEC	Potentially Contaminating Activity	COPCs	Likelihood of Contamination	Comments
Agricultural Land Uses	Treatment of livestock for parasites.	Heavy metals, persistent chlorinated pesticides.	Low.	No dedicated livestock dip known to exist on Subject Site.
Historic activities including possible motor vehicle maintenance, heavy machinery use	Parking and maintenance of farming equipment. Excavation and maintenance of dams.	Heavy metals, TRH, BTEX, PAH, phenols, VOC, oil and grease.	Low	Farm sheds where maintenance may have been undertaken have concrete slabs. No staining or evidence of hydrocarbon contamination observed in or around sheds or parked vehicles. The use of heavy machinery for dam



AEC	Potentially Contaminating Activity	COPCs	Likelihood of Contamination	Comments
				excavation or maintenance would be periodic (rare) and for a limited time. No stained soil observed at any of the dams during site walkover.
Residential land use	On-site wastewater management.	Pathogens, heavy metals, oil and grease	Low	The residence uses a septic tank and sub-surface absorption trenches. No evidence of surface seepage and no overflow or failure of the system reported by current owner.

Notes: This is a qualitative assessment of the probability of contamination being detected at the potential AEC.

Total Recoverable Hydrocarbons (TRH), Benzene, Toluene, Ethylbenzene and Xylene (BTEX), Volatile Organic Compounds (VOCs), Polycyclic Aromatic Hydrocarbons (PAH), heavy metals (arsenic, cadmium, chromium, copper, lead, mercury and zinc).

4.3. Source Contamination, Transport Mechanisms, Pathways and Receptors

Table 4.2 presents a summary of the potentially affected media, key potential receptors and transport mechanisms for the Subject Site.

Table 4.2: Potential Contamination Sources, Pathways and Receptors

Primary Sources	Secondary Sources	Transport Mechanisms	Exposure Routes	Potential Receptors
Livestock farming	Localised spills and deposition of pesticide on surface soil	<ul style="list-style-type: none"> Physical transfer of contaminated soil (e.g. windblown dust) Run off into surface water 	<ul style="list-style-type: none"> Soil and surface water/groundwater ingestion Dermal contact with soil and surface water 	<ul style="list-style-type: none"> Site occupants (current and future). Maintenance and construction workers. Neighbouring lands.

Primary Sources	Secondary Sources	Transport Mechanisms	Exposure Routes	Potential Receptors
		<ul style="list-style-type: none"> Leaching to groundwater 		<ul style="list-style-type: none"> Sensitive ecosystems – soil biota, transitory wildlife, nearby surface water and aquatic species and groundwater dependant systems.
Motorised equipment and heavy machinery use	Localised hydrocarbon spills and leaks	<ul style="list-style-type: none"> Run off into surface water Leaching to groundwater 	<ul style="list-style-type: none"> Soil and surface water/groundwater ingestion Dermal contact of soil and surface water Vapour (gas) inhalation 	<ul style="list-style-type: none"> Site occupants (current and future). Maintenance and construction workers. Sensitive ecosystems – soil biota, transitory wildlife, nearby surface water and aquatic species and groundwater dependant systems.
On-site wastewater management	Localised increased soil concentration of pathogens, heavy metals, oil and grease	<ul style="list-style-type: none"> Run off into surface water Leaching to groundwater 	<ul style="list-style-type: none"> Soil and surface water/groundwater ingestion 	<ul style="list-style-type: none"> Site occupants (current and future). Maintenance and construction workers.

4.4. Key Potential Exposure Pathways

A summary of the key potential exposure pathways for Site is presented in Table 4.3.

Table 4.3: Potential Exposure Pathways

Receptor/Media	Exposure Pathways	Comment
Current Site Resident	Incomplete	<p>Localised areas potentially including surface soil that contain COPCs unlikely to be accessed by current residents on regular basis.</p> <p>Exposure to soils containing COPCs via dermal contact, ingestion and inhalation pathways is unlikely.</p> <p>No evidence of potential sources present.</p>



Future Site Resident	Incomplete	Surface soil that potentially contain COPCs likely to be dispersed and diluted during construction. Exposure of future residents to significant concentrations of COPCs via dermal contact, ingestion and inhalation pathways is unlikely. No evidence of potential sources present.
Maintenance/Construction Workers	Incomplete	Potential for workers involved in excavation to be exposed to soils containing COPCs via dermal contact, volatilisation, ingestion and inhalation pathways during earthworks, and any ongoing maintenance works is low to negligible.
Ecological	Incomplete	No natural surface water resources on Subject Site. Stormwater runoff is contained on site in dams. The potential for transport of sediment containing COPCs from potentially contaminated areas off-site during rainfall events is negligible. Given the distance to the nearest receptor a complete pathway is unlikely to exist even during periods of heavy rain or storm events. Transitory wildlife and soil biota unlikely to be impacted by localised small areas of potential impacted in areas containing exposed soils.
Groundwater	Incomplete	The potential for groundwater to be impacted from top-down contamination is unlikely considering the depth to groundwater.



5. CONCLUSIONS AND RECOMMENDATIONS

5.1. Conclusions

The results of the desktop study indicate the Site has been used for agricultural (livestock grazing) purposes with title histories and aerial imagery suggesting activity from the late 1800s. There have been only one residential dwelling constructed and expanded over the years as the activities on the remainder of the Subject Site remained unchanged. Former and current land use and activities identified have a potential to contribute to the localised contamination of the Subject Site.

Based on the information reviewed as part of the desktop study, AEC's were identified at Site related to:

- Livestock farming and parasite management.
- Possible use, storage and maintenance of motorised vehicles and equipment and periodic heavy machinery use.
- On-site wastewater management.

The possible COPC includes: Heavy metals, pesticides, pathogens, TRH, BTEX, VOC, oil and grease.

An evaluation of the source-pathway-receptor relationships for the Subject Site concluded that there are no potentially complete exposure pathways. The identified receptors are unlikely to be exposed to significant quantities of contaminants and there is a low likelihood that large scale significant contamination is present at the Subject Site.

Based on the findings of the Phase 1 Preliminary Site Investigation, it can be stated with a reasonable level of confidence that the Subject Site is suitable for the intended subdivision and future residential development.

5.2. Recommendations

It is recommended that a Construction Environmental Management Plan (CEMP) must be prepared, prior to construction works being started. The purpose of the CEMP is for the management of excavated soils, waste and demolition waste and should include procedures for the management of sediment and erosion.

It is recommended that any material excavated at the Subject Site as part of the redevelopment, be classified in accordance with the general solid waste (NSW EPA, 2014) and excavated natural material (NSW EPA, 2014a) guidelines (ENM Order), and appropriately disposed.

6. REFERENCES

barnson.

DESIGN · PLAN · MANAGE

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NSW EPA. (2020). *Sampling Design Part 1 - Application, Contaminated Land Guidelines*. Sydney: NSW EPA.

WaterNSW. (2024). *Real Time Data*. Retrieved May 18, 2024, from Water NSW:
<https://realtimedata.waternsw.com.au/water.stm>

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APPENDIX A

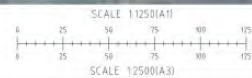
**Proposed
Subdivision Plan**



LEGEND

- EXISTING SUBJECT CADASTRAL BOUNDARIES
- EXISTING EXTENT OF CONCRETE
- EXISTING FENCE LINE
- ===== EXISTING GATE
- ===== TOP OF BANK
- ===== BOTTOM OF BANK
- Ea W - Ea W EXISTING UNDERGROUND WATER MAIN - APPROX
- Ea S - Ea S EXISTING UNDERGROUND SEWER PIPE - APPROX
- Ea E - Ea E EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
- Ea G - Ea G EXISTING UNDERGROUND GAS LINE (BVDI)
- Ea T - Ea T EXISTING UNDERGROUND TELECOMMUNICATIONS ASSETS - APPROX
- TD - TD EXISTING TABLE DRAIN
- Ea SW - Ea SW EXISTING DRAIN PIPE
- ⊙ EXM EXISTING WATER METER
- ⊙ EXLP EXISTING ELECTRIC LIGHT POLE
- ⊙ EXPP EXISTING ELECTRICITY POWER POLE
- ⊙ EXPL EXISTING ELECTRICITY PILLAR
- ⊙ EXPT EXISTING ELECTRICITY PIT
- ⊙ EXWH EXISTING WATER HYDRANT
- ⊙ EXIV EXISTING WATER ISOLATION VALVE
- ⊙ EXSV EXISTING WATER STOP VALVE
- ⊙ EXSM EXISTING SEWER MANHOLE
- ⊙ EXTP EXISTING TELECOMMUNICATIONS PIT
- ⊙ EXGS EXISTING GENERAL SIGN
- ⊙ EXSH EXISTING SHRUB

- NOTES:**
- CONTOUR INTERVAL = 0.25m
 - CONTOURS AND LEVELS SHOWN ARE FROM EXTERNALLY SUPPLIED CAD DATA. BARNSON TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
 - NO CADASTRAL BOUNDARIES, EASEMENTS, RESTRICTIONS OR ENCUMBRANCES HAVE BEEN INVESTIGATED BY BARNSON.
 - SERVICE LOCATIONS AND DEPTHS SHOWN HEREIN ARE FROM EXTERNALLY SUPPLIED CAD DATA. BARNSON TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. THE LOCATION OF AND DEPTHS OF ALL SERVICES SHOULD BE OBTAINED FROM SERVICE PROVIDERS, LOCATED AND VERIFIED ON SITE PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.
 - UNDERGROUND SERVICES MAY EXIST WHICH HAVE NOT BEEN SHOWN ON THIS PLAN.



PROPOSED SITE PLAN
 REDUCTION RATIO 1:1250 @ A1
 1:2500 @ A3

IMPORTANT NOTE: THE ABOVE LIDAR CONTOURS SUPPLIED BY ELEVATION AND DEPTH - FOUNDATION SPATIAL DATA FROM GEOSCIENCE AUSTRALIA. THE LEVELS TO BE CONFIRMED PRIOR TO CONSTRUCTION.

PRELIMINARY DRAWING
 Not to be used for construction purposes



BARNSON PTY LTD
 phone 1300 BARNSON (1300 227 676)
 email generalenquiry@barnson.com.au
 web barnson.com.au

0 28.05.2024 DRAFT PP SUBMISSION

PROPOSED PLANNING PROPOSAL

34 BRUCE ROAD
 SPRING FLAT NSW 2850
 ROGER HAYES

PROPOSED SITE PLAN

AR A1

39720
 C10

barnson.

APPENDIX B

**Historical
Information and
Aerial
Photographs**



LAND
REGISTRY
SERVICES

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 42/756894

SEARCH DATE	TIME	EDITION NO	DATE
7/10/2022	4:03 PM	3	9/9/2018

LAND

LOT 42 IN DEPOSITED PLAN 756894
AT BURRUNDULLA FLAT
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF MUDGEES COUNTY OF WELLINGTON
(FORMERLY KNOWN AS PORTION 42)
TITLE DIAGRAM CROWN PLAN 37.1527

FIRST SCHEDULE

ROGER DAVID HAYES
VALERIE LORRAINE HAYES
AS JOINT TENANTS
SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.
- 3 BK 3850 NO 287 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL
*** END OF SEARCH ***

Barnson Pty Ltd (Mudgee)

PRINTED ON 7/10/2022

* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title.
Warning: the information appearing under notations has not been formally recorded in the Register.

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Note: Information contained in this document is provided by DYE & DURHAM TERRAIN PTY LTD (ABN 35 164 894 517), <https://dvedurhamterrain.com/>, an approved NSW Information Broker

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**LAND
REGISTRY
SERVICES**

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 49/756894

	SEARCH DATE	TIME	EDITION NO	DATE
LAND	11/10/2022	9:41 AM	2	9/9/2018

LAND

LOT 49 IN DEPOSITED PLAN 756894
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF MUDGEES COUNTY OF WELLINGTON
(FORMERLY KNOWN AS PORTION 49)
TITLE DIAGRAM CROWN PLAN 37.1527

FIRST SCHEDULE

ROGER DAVID HAYES
VALERIE LORRAINE HAYES
AS JOINT TENANTS
SECOND SCHEDULE (2 NOTIFICATIONS)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2 Z818365 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED
NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

Barnson Pty Ltd (Mudgee)

PRINTED ON 11/10/2022

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1965



1980



1994



2017



2024



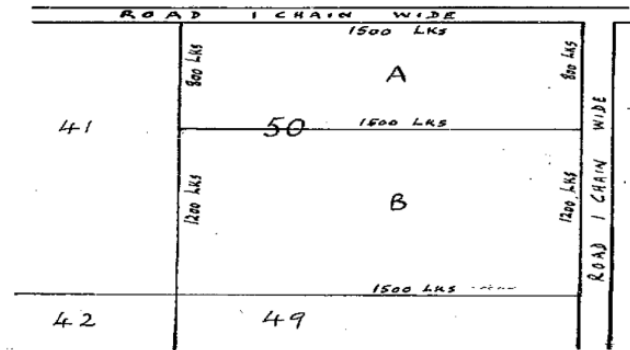
P X **FP 162225**
M.P.S. (O.S.) G7C4715

6

Plan of Subdivision of Portion 50 of the Parish of Mudgee County of Wellington being part of the land in Conveyance Registered No. 822 Book 1969

Owner : Hubert Geoffrey Pitt.
Scale : 5 chains to 1".

Misc. Plan of Subdn. (O.S.)
Regd. No. 12225



The lines of Subdivision between Lots A and B on the plan are not intended to be represented by the position on the ground of any fencing or other improvements but are fixed solely by the measurements on the plan from some previously defined boundary.

SHTRE OF CUDJEGONG.

Approved by Council and certified in accordance with the provisions of Sec. 327 of the L.O.G. Act, 1919.

H. G. Pitt

SHIRE CLERK
8th July, 1957.

No. 8/1957.

Copy of plan filed as **41963 L**

CONVERSION TABLE ADDED IN DEPARTMENT OF LANDS

LINKS	METRES
100	20.117
150	30.175
800	160.934
1200	241.402
1500	301.752

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WARNING : Electronic Document Supplied by LEI NSW for Your Internal Use Only.

I, Bruce Richard Davies, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 8th day of November, 1977

Bruce Richard Davies



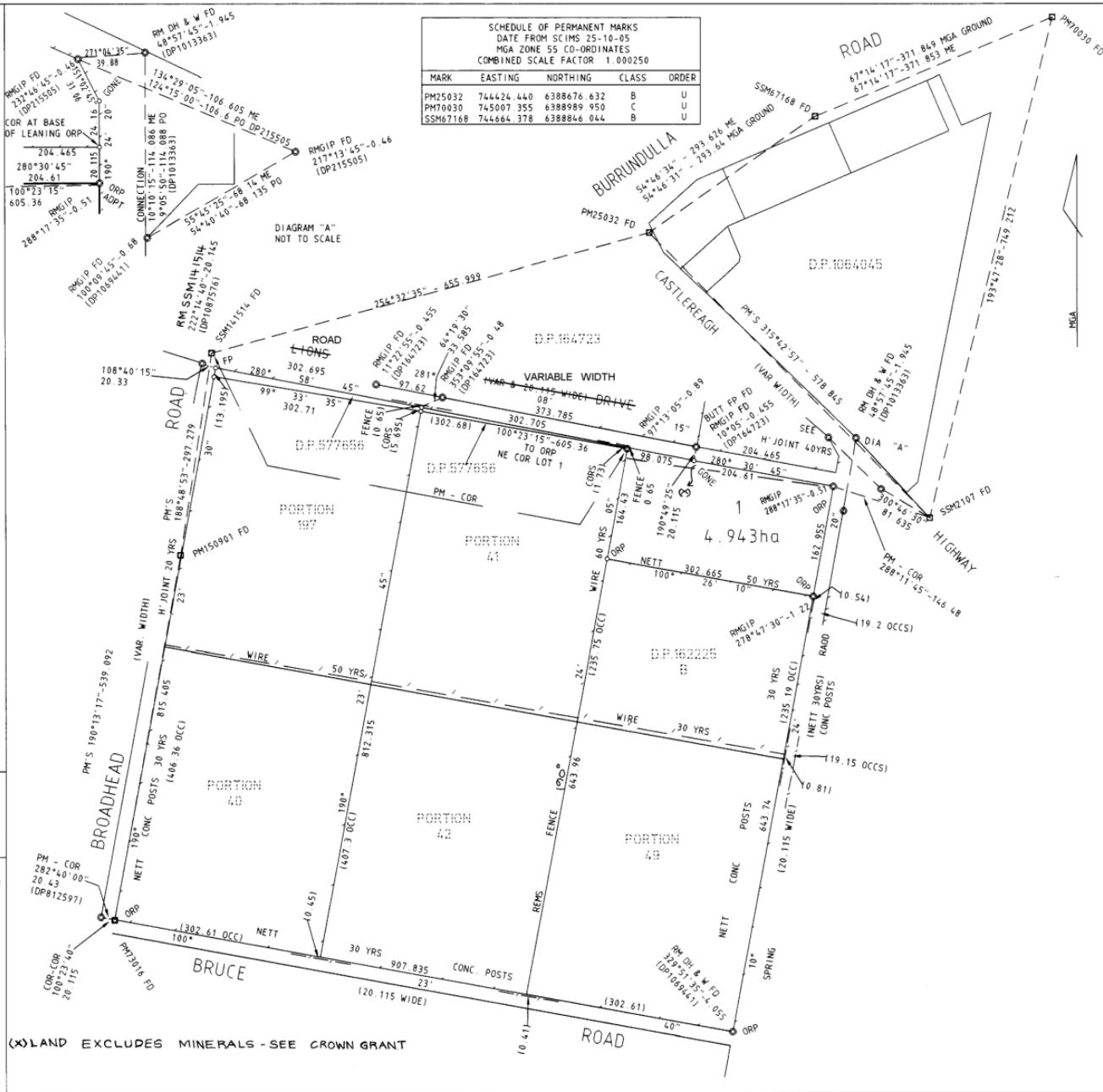
PLAN FORM 2

Plan Drawing only to appear in this space

SIGNATURE AND SEALS ONLY.

Marie James
Robert James

SCHEDULE OF PERMANENT MARKS				
DATE FROM SC1MS 25-10-05				
MGA ZONE 55 CO-ORDINATES				
COMBINED SCALE FACTOR 1.000250				
MARK	EASTING	NORTHING	CLASS	ORDER
PM25032	744424.440	6388676.632	B	U
PM70030	745007.355	6388899.950	C	U
SSM67168	744664.378	6388846.044	B	U



DP1096525 (E)

Registered **18.10.2006**

Title System: **TORRENS (LIMITED)**

Purpose: **CONSOLIDATION**

Ref. Map: **PARISH**

Last Plan: **DP162225, DP661956**

PLAN OF CONSOLIDATION OF LOT 1 DP661956 & LOT A DP162225

Lengths are in metres. Reduction Ratio 1:4000

LGA: MID WESTERN REGIONAL COUNCIL

Locality: MUDGE

Parish: MUDGE

County: WELLINGTON (92)

This is sheet 1 of my plan in sheets. (Delete if inapplicable)

Surveying Regulation, 2001

I, **ROBERT JOHN CROOKS**
 of 26 MARKET STREET, MUDGE

a surveyor registered under the Surveying Act, 2002, hereby certify that the survey represented in this plan is accurate, has been made in accordance with the Surveying Regulation 2001 and was completed on 20TH OCTOBER, 2005. The survey relates to ALL (here specify the land actually surveyed, or specify any land shown in the plan that is not the subject of the survey)

Datum: LWS, SSM67168 - PM70030
 Zone: GDA94

(Signature) _____
 Surveyor registered under the surveying Act 2002

Plans used in preparation of survey:
 DP1069441, DP1013363, DP215505,
 DP1087576, DP164723, DP162225,
 R25997-1603, W37-1527, DP812597,
 DP577656, DP661956

OFFICE USE ONLY

Req: R688263 / Doc: DP 1096525 P / Rev: 29-May-2008 / Sta: SC.OK / Prt: 06-Apr-2009 15:44 / Pgs: ALL / Seq: 1 of 1
 Ref: F185MU / Src: M

Crown Lands Office Approval

Plan Approved: _____
 Authorized Officer: _____

Land District: _____
 Paper No: _____
 Field Book: _____ pages

Subdivision Certificate

I hereby certify that the provisions of s.109(1) of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to the proposed _____

Set out herein _____
 (Insert "subdivision" or "new road")

Authorized Person/General Manager/Accredited Certifier: _____

Consent Authority: _____

Date of endorsement: _____

Accreditation no.: _____

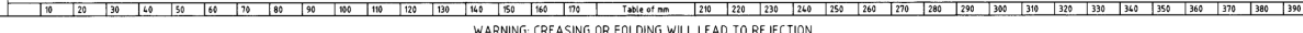
Subdivision Certificate no.: _____

File no.: _____

Note:
 When the plan is to be lodged electronically in the land Titles Office it should include a signature in an electronic or digital format approved by the Registrar-General.
 - Delete whichever is inapplicable

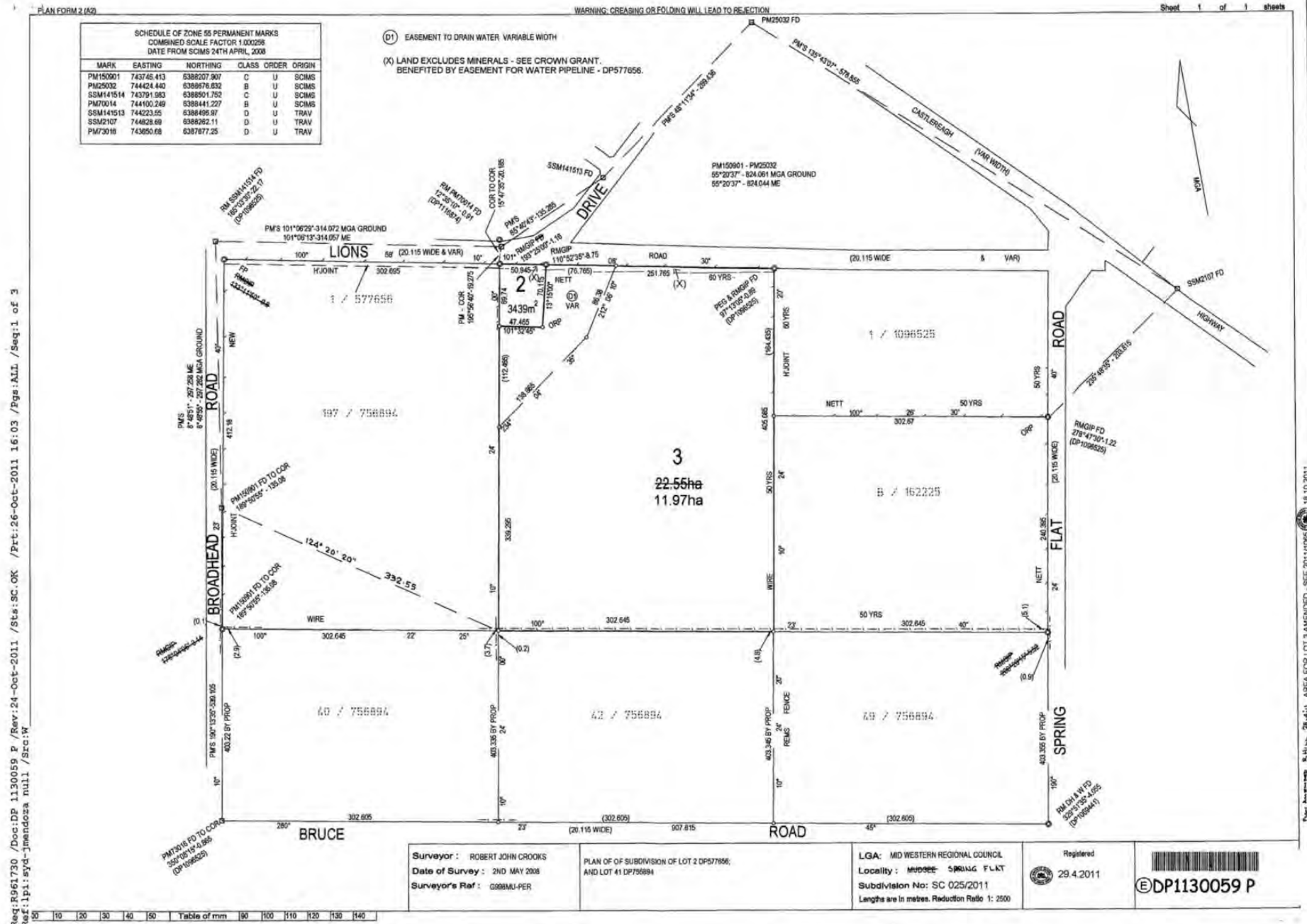
SURVEYOR'S REFERENCE SD1053

(X) LAND EXCLUDES MINERALS - SEE CROWN GRANT



WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

ROAD NAME AMENDED WIDE 2008/659 13.5.2008



SCHEDULE OF ZONE 55 PERMANENT MARKS
COMBINED SCALE FACTOR 1.000298
DATE FROM SCIMS 24TH APRIL, 2008

MARK	EASTING	NORTHING	CLASS	ORDER	ORIGIN
PM150001	743746.413	6388207.907	C	U	SCIMS
PM25032	744424.440	6389976.832	B	U	SCIMS
SSM141514	743791.983	6388501.752	C	U	SCIMS
PM70014	744100.249	6388441.227	B	U	SCIMS
SSM141513	744223.555	6388499.97	D	U	TRAV
SSM2107	744828.69	6388262.11	D	U	TRAV
PM73018	743650.68	6387677.25	D	U	TRAV

(D1) EASEMENT TO DRAIN WATER VARIABLE WIDTH
(X) LAND EXCLUDES MINERALS - SEE CROWN GRANT.
BENEFITED BY EASEMENT FOR WATER PIPELINE - DP577656.

Surveyor: ROBERT JOHN CROOKS
Date of Survey: 2ND MAY 2008
Surveyor's Ref: 0989MU-PER

PLAN OF SUBDIVISION OF LOT 2 DP577656;
AND LOT 41 DP756894

LGA: MID WESTERN REGIONAL COUNCIL
Locality: ~~MURREE~~ SPRING FLAT
Subdivision No: SC 025/2011
Lengths are in metres. Reduction Ratio 1: 2500

Registered
29.4.2011

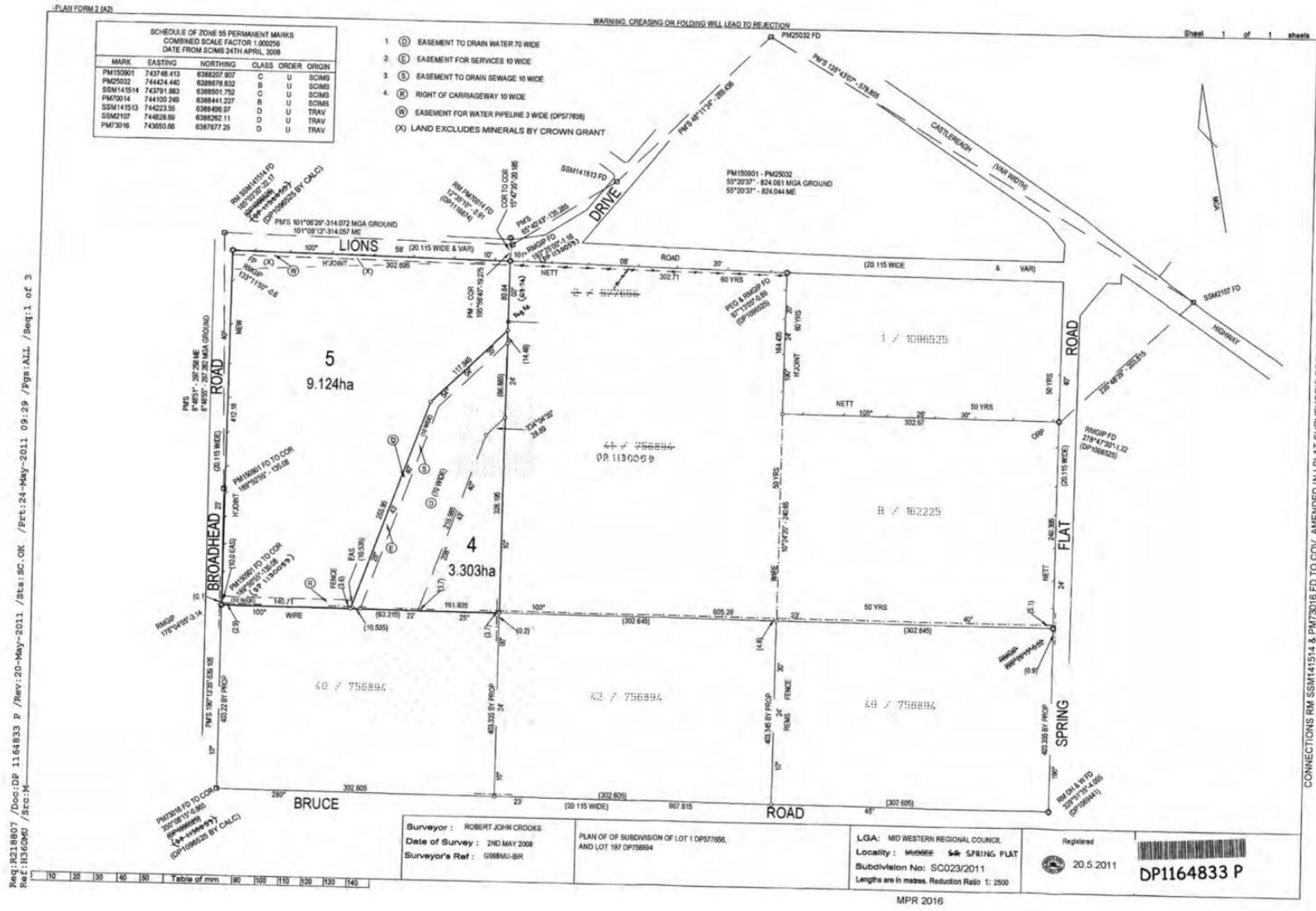


Ref: R961730 / Doc: DP 1130059 P / Rev: 24-Oct-2011 / Sts: SC.OK / Prt: 26-Oct-2011 16:03 / Pgs: ALL / Seq: 1 of 3
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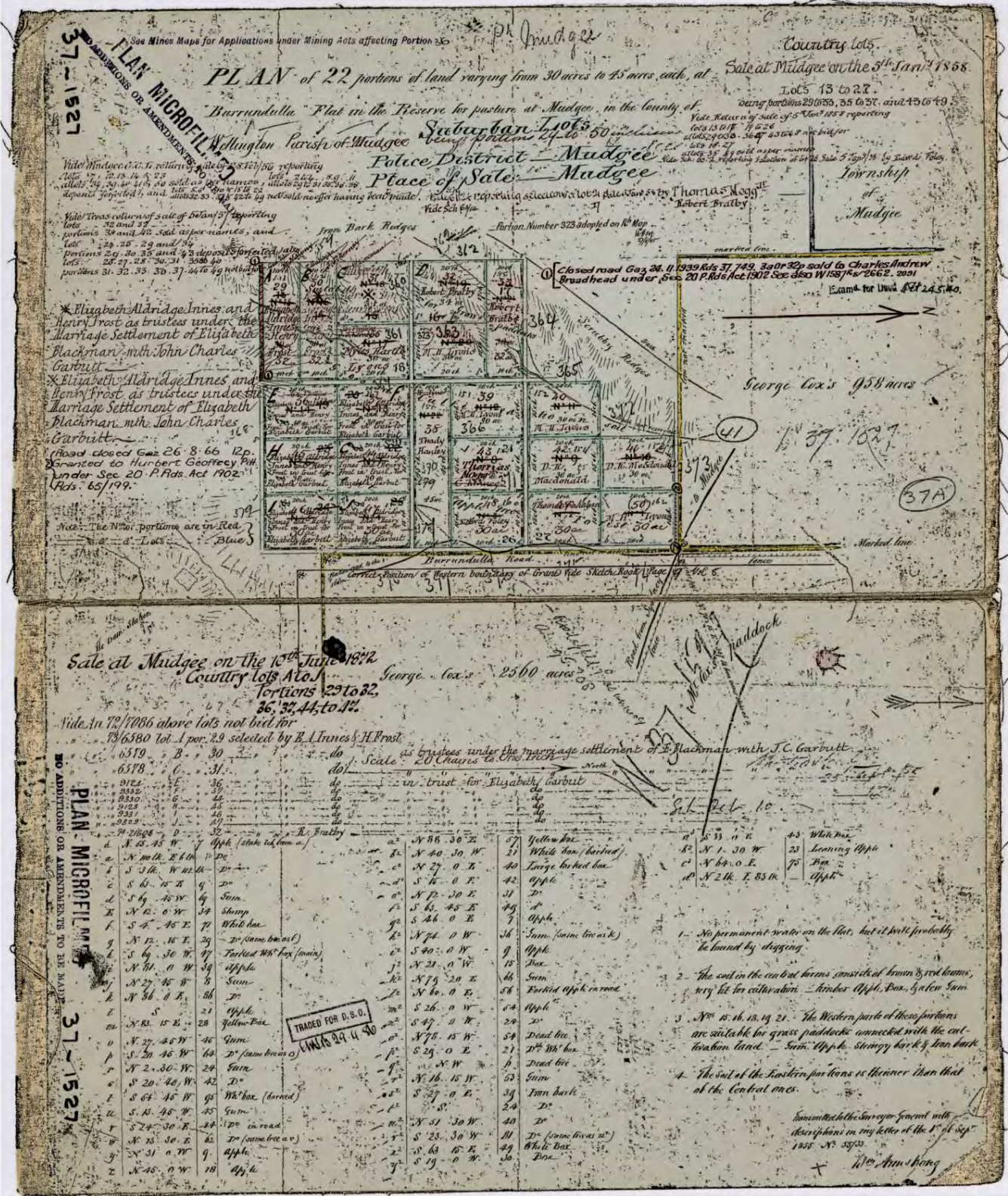
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Table of mm

90	100	110	120	130	140
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Req:R578861 /Doc:CP 00037-1527 P /Rev:24-Nov-2012 /NSW LRS /Prt:11-Oct-2022 09:43 /Seq:1 of 1
© Office of the Registrar-General /Src:GLXTerrain /Ref:Baranson Pty Ltd (Mudgee)



PLANNING PROPOSAL LAND REZONING

REZONING OF LAND AT GULGONG

94 CANADIAN LEAD ROAD (LOT 129-DP755433 & LOT 264-DP755433); 2787 HENRY LAWSON DRIVE (LOT 56-DP755433); 2794 HENRY LAWSON DRIVE, GULGONG, NSW 2852 (LOT 415-DP755433)



CLIENT: MELINDA WESTAWAY, SNIPER MINING PTY LIMITED, NATHAN MARTYN, AND STEPHANIE MARTYN

DATE: 26 SEPTEMBER 2024

PREPARED BY:



ABN 23 104 067 405
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87 Herbert Street Gulgong NSW 2852 | PO Box 232 Gulgong NSW 2852
02 4942 5441 | 02 6374 2911
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www.dewittconsulting.com.au



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1. INTRODUCTION, OBJECTIVES AND INTENDED OUTCOMES

1.1. PROJECT OVERVIEW

Address	2794 Henry Lawson Drive Gulgong NSW 2852 (Lot 415 DP755433) (northern site), 2787 Henry Lawson Drive Gulgong NSW 2852 (Lot 56 DP755433) (central site), and 94 Canadian Lead Road Gulgong NSW 2852 (Lot 129 DP755433 and Lot 264 DP755433) (southern site)
Existing Structures	2794 Henry Lawson Drive, Gulgong NSW 2852 (northern site) Lot 415 DP755433: Contains a dwelling house and farm buildings. Used for residential purposes and extensive agriculture (crops and livestock grazing). 2787 Henry Lawson Drive, Gulgong NSW 2852 (central site) Lot 56 DP755433: Contains a dwelling house and farm buildings. Used for residential purposes and extensive agriculture (crops and livestock grazing). 94 Canadian Lead Road, Gulgong NSW 2852 (southern site) <ul style="list-style-type: none"> Lot 129 DP755433: Contains a stand-alone shed. Lot 264 DP755433: vacant.
Proponent / Landowner	Melinda Louise Westaway (2794 Henry Lawson Drive, Lot 415 DP755433) Nathan James Martyn and Stephanie Maree Martyn (2787 Henry Lawson Drive, Lot 56 DP755433) Sniper Mining Pty Limited (94 Canadian Lead Road, Lot 129 DP755433 & Lot 264 DP755433)
Land Zone	RU1 Primary Production
Land Area	76 hectares

1.2. INTRODUCTION

A planning proposal is a document (including supporting information) that explains the intended effect of a proposed LEP or proposed amendments to an LEP. It describes the intended outcomes, identifies and assesses the potential impacts that the changes to the LEP may have, and provides justifications for making the LEP. The planning proposal describes how amendments to an LEP ‘give effect’ to strategic and site-specific planning outcomes. It is therefore the first step in making the statutory link with strategic plans and amending an LEP.

This planning proposal has been structured in accordance with Section 2 of the Department of Planning (DPE) Local Environmental Plan Making Guideline (LEP Making Guidelines) (DPE, 2023). The preparation of the planning proposal is for Gateway Determination in accordance with Division 3.4 of the *Environmental Planning and Assessment Act 1979 (the EP&A Act)*.

1.3. PURPOSE

This planning proposal has been prepared on behalf of Melinda Westaway, Sniper Mining Pty Limited, Nathan Martyn, and Stephanie Martyn (the proponents) to accompany an application to Mid-Western Regional Council (Council) for the rezoning of land located at 94 Canadian Lead Road (Lot 129-DP755433 & Lot 264-DP755433), 2787 Henry Lawson Drive (Lot 56-DP755433), and 2794 Henry Lawson Drive, Gulgong, NSW 2852 (Lot 415-DP755433). The rezoning relates to changing the land use from RU1 Primary Production to R5 Large Lot Residential and includes an associated change in the minimum lot size from 100 hectares to 10 hectares.

1.4. OBJECTIVE

The objective of this planning proposal is to amend the Mid-Western Regional Local Environmental Plan (LEP) 2012 to rezone land at 94 Canadian Lead Road, 2787 Henry Lawson Drive, and 2794 Henry Lawson Drive, Gulgong, NSW 2852 (the subject site). This specifically involves the rezoning of the land from RU1 Primary Production to R5 Large Lot Residential,



with a minimum lot size change from 100 hectares to 10 hectares. The objective is to increase the provision of rural lifestyle living lots in close proximity to Gulgong.

1.5. INTENDED OUTCOMES

The intended outcomes of this planning proposal are:

- **To provide additional rural residential land:** Rezoning the land to R5 Large Lot Residential will cater to the increasing demand for large lot residential purposes within and near the Gulgong urban area.
- **To optimise land use:** By changing the minimum lot size from 100 hectares to 10 hectares, the proposal aims to optimise land use and promote sustainable development in the region.
- **To support rural lifestyle living:** The rezoning will facilitate rural lifestyle living by providing unconstrained land suitable for large lot residential purposes.
- **To contribute to community infrastructure:** The proposal will ensure that the land is appropriately zoned to support large lot residential development, contributing to the enhancement of community infrastructure.
- **To stimulate economic growth:** Rezoning the land will encourage economic investment and create employment opportunities in the Mid-Western Regional Local Government Area (LGA).
- **To improve land use compatibility:** The rezoning will ensure that the land use is consistent with the surrounding areas, minimising potential land use conflicts.
- **To maintain environmental integrity:** The proposal aims to balance development needs with the preservation of the subject site's environmental features and surrounding area.

1.6. PRELIMINARY CONSULTATION

1.6.1. Pre-Lodgement Meeting with Mid-Western Regional Council:

The project commenced with a pre-lodgement meeting between Liberty Pannowitz from de Witt Consulting and Sarah Armstrong from Mid-Western Regional Council on May 20, 2024. This meeting was intended to discuss the initial proposal and outline the necessary planning processes. Following this, there was ongoing correspondence.

On June 27, 2024, further discussions took place via email between Liberty Pannowitz, Sarah Armstrong, and Sarah Goldsmith. The focus of these discussions was the Minimum Lot Size (MLS) for the proposed rezoning. The Council and the Department of Planning, Housing, and Infrastructure (DPHI) both indicated that the proposal, which suggested a reduction in MLS to 5 hectares, was inconsistent with the established and consistently applied MLS for rural lifestyle properties, which typically required larger lot sizes such as 10 or 12 hectares.

Despite this feedback, it was suggested that with adequate justification and adjustments, specifically considering the appropriateness of a 10-hectare lot size over a 12-hectare lot size regarding water supply and other factors, the proposal can be considered. Council was open to discussing potential rezoning beyond the identified extent of Area F if the site attributes supported orderly development and responded to the topography and attributes of the land.

Table 1: Matters requiring further assessment

ENVIRONMENTAL CONSIDERATION	SUPPORTING TECHNICAL DOCUMENT	REFERENCE
Heritage – Aboriginal	Planning Proposal	Section 4.3.3.1
Flora and fauna	Planning Proposal	Section 4.3
Services and utilities	Utility and Infrastructure Servicing Strategy	Appendix 2 - Utility and Infrastructure Servicing Strategy
Concept subdivision	Concept Subdivision Plan	Appendix 1 - Concept Subdivision Plan



ENVIRONMENTAL CONSIDERATION	SUPPORTING TECHNICAL DOCUMENT	REFERENCE
Site contamination	Preliminary Contamination Assessment	Appendix 7 – Preliminary Contamination Assessment
Soils and geotechnical	Planning Proposal	Section 4.3.2.3
Social	Planning Proposal	Section 4.3.3.2
Economic	Planning Proposal	Section 4.3.3.3
Bushfire hazard	Planning Proposal	Section 4.3.2.4
Transport and traffic	Planning Proposal	Section 4.4
Flood hazard	Planning Proposal	Section 4.3.2.1
Non-Aboriginal Heritage	Planning Proposal	Section 4.3.3.1
Air quality	Planning Proposal	Section 4.3.2.6
Acoustic and vibration	Planning Proposal	Section 4.3.2.5
Visual impact	Planning Proposal	Section 4.3.2.8
Waste	Planning Proposal	Section 4.4



2. SITE AND SURROUNDING AREA

2.1. SITE DESCRIPTION

The subject site consists of multiple lots described as Lots 56, 129, 264 & 415 in DP755433. The total site area is approximately 76 hectares (ha). The subject site is irregularly shaped and is located immediately east of the Gulgong township in the Mid-Western region of NSW. The combined lots have frontages to Henry Lawson Drive, Canadian Lead Road, Snelsons Lane and Ridout Lane.

Topographically, the subject site is generally flat with some small areas of elevation in the northern and central lots. The subject site comprises predominantly cleared land with scattered remnant vegetation. Notably, mature trees screen parts of the central lot from Henry Lawson Drive, and there are some scattered trees around the existing dwelling sites on the northern and central lots. Small dams are scattered across the subject site, but there are no natural watercourses.

The northern lot (2794 Henry Lawson Drive) is bound by Snelsons Lane to the north, while Henry Lawson Drive runs along the southern boundary. The central lot (2787 Henry Lawson Drive) is bounded by Henry Lawson Drive to the north and Canadian Lead Road to the west. The southern lot (94 Canadian Lead Road) is bounded by Canadian Lead Road to the north and east, and Ridout Lane to the west.

The subject site supports existing structures, including dwelling houses and farm outbuildings, which are used for low-intensity agricultural purposes or residential living. The subject site is accessed via existing public roads, with formed driveway entrances from Henry Lawson Drive, Snelsons Lane and Canadian Lead Road.

The surrounding area includes other large land holdings, which consist of large lot and lifestyle living, and smaller agricultural pursuits. The subject site is located on the fringe of the Gulgong township, being 1 km from the outlying areas and within 1.8 km of the town centre. The Wallerawang-Gwabegar Railway forms part of the subject site boundary of the central lot. Notable features in the greater region include the Munghorn Gap Nature Reserve to the east, the Talbragar River to the north, and Lake Burrendong to the southwest. The Castlereagh Highway (State highway B55) runs north-south through Gulgong and connects to the Golden Highway.

A Site Plan is provided in *Figure 1* overleaf.

2.2. LOCATION DESCRIPTION

The subject site is located within the suburb of Gulgong, in the Mid-Western region of New South Wales (NSW). The surrounding area primarily features rural-residential development, including larger rural living allotments and smaller agricultural pursuits, reflecting the region's agricultural heritage and rural lifestyle.

Situated on the fringe of the Gulgong township, the subject site is approximately 1 kilometre from the outlying residential areas and within 1.8 kilometres of the town centre. The Wallerawang-Gwabegar Railway forms part of the subject site boundary of the central lot, providing important transport connectivity.

Key features in the greater region include the Munghorn Gap Nature Reserve to the east, known for its biodiversity, the Talbragar River to the north, and Lake Burrendong to the southwest, which is a significant recreational and water storage area. The Castlereagh Highway (State Highway B55) runs north-south through Gulgong and connects to the Golden Highway, facilitating regional access.

Gulgong offers a range of services, including medical facilities, dining options, supermarkets, specialty stores, community and recreational facilities, and childcare centres. This



infrastructure supports the needs of the local population and contributes to the town's viability as a rural residential area.

The surrounding region features a mix of residential areas, agricultural lands, and natural reserves. This combination supports a diverse local economy and lifestyle, blending residential living with agricultural activities and access to natural resources.

A Location Plan is provided in *Figure 2* overleaf.

2.3. PROJECT AND SUBJECT SITE BACKGROUND

2.3.1. Land Use History

The subject site consists of multiple lots (Lots 56, 129, 264 & 415 in DP755433) located immediately east of the Gulgong township in the Mid-Western region of NSW. Historically, the land has been used for low-intensity agricultural purposes and residential living. Aerial imagery and historical data indicate these uses have been consistent since the 1960s. Over time, demographic shifts and regional development have influenced changes in land use and demand for residential space.

2.3.2. Historic Consents

2.3.2.1. DA0242/2021

DA0242/2021 pertains to an approved Secondary Dwelling (Transportable) at 2787 Henry Lawson Drive, Gulgong NSW 2852 (the central site). This development application was approved on 10 March 2021, facilitating the placement of a secondary, transportable dwelling on the site.

2.3.3. Contamination

A Preliminary Site Investigation is provided at **Appendix 7**. The investigation aims to identify potential environmental contamination, assess the current site conditions and suitability for rezoning, and provide recommendations for further actions, if necessary. The investigation found that the site poses minimal risk of contamination due to historical low-intensity agricultural use. There is no immediate need for remediation, but ongoing monitoring and proper management of agricultural chemicals are recommended.



**FIGURE 1
SITE PLAN**

LEGEND

- ROADS
- + + + RAILWAY
- SITE BOUNDARY
- CADASTRE

SITE ADDRESS:
GULGONG NSW 2852

CLIENT DETAILS:
VARIOUS LANDOWNERS

PREPARED BY:



A3 SCALE: 1:8,000
DWC REF: 14046
VERSION: 01
CRS: EPSG:28355
AUTHOR: LP
APPROVED: MB
DATA © NSW SPATIAL SERVICES
2022

VERSION HISTORY:
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**FIGURE 2
 LOCATION PLAN**

LEGEND

- SITE BOUNDARY
- WATERWAYS
- MAJOR ROADS
- RAILWAY
- LEP TERRESTRIAL BIODIVERSITY
- CONSERVATION AREA
- ITEM - GENERAL

HERITAGE

- CONSERVATION AREA
- ITEM - GENERAL

SITE ADDRESS:
 GULGONG NSW 2852

CLIENT DETAILS:
 VARIOUS LANDOWNERS

PREPARED BY:



A3 SCALE: 1:30,000
 DWC REF: 14046
 VERSION: 01
 CRS: EPSG:28355
 AUTHOR: LP
 APPROVED: MB
 DATA © NSW SPATIAL SERVICES
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3. EXPLANATION OF PROVISIONS

The intent of the LEP amendment is to amend the Mid-Western Regional Local Environmental Plan 2012 as outlined in *Table 2* below.

Table 2: Proposed map amendments

LEP	Proposed
Land Use Zone Map (Previously Sheet LZN_005E)	The current land zoning of RU1 Primary Production applies to Lots 56, 415, 129 & 264 DP755433. The proposed amendment will rezone these lots to R5 Large Lot Residential.
Lot Size Map (Previously Sheet LSZ_005E)	A minimum subdivision lot size of 100 hectares currently applies to Lots 56, 415, 129 & 264 DP755433. The proposed amendment will reduce the minimum subdivision lot size for Lot 264 DP755433 from 100 hectares to 10 hectares.

It should be noted that Council has not adopted Clause 4.4 Floor Space Ratio (FSR). The Clause 4.3 Height of Buildings (HOB) map generally applies to Gulgong. However, similar to the R5 zoned land to the north, which does not have a height of building control, no height of building control is proposed for this area.

As such, no proposed HOB or FSR development standards are proposed to be applied as part of this rezoning proposal. *Figures 3 and 4* below provide a visual overview of the proposed changes to LEP 2012, with full maps provided in Section 5.

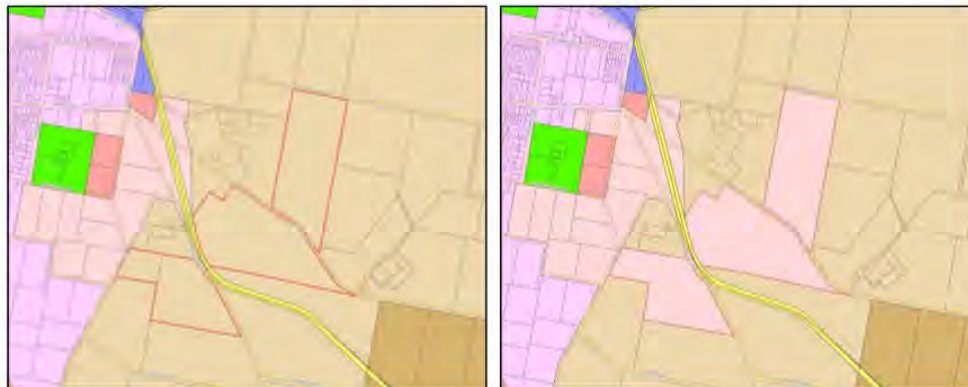


Figure 3: Existing and proposed land use zoning maps (de Witt Consulting)

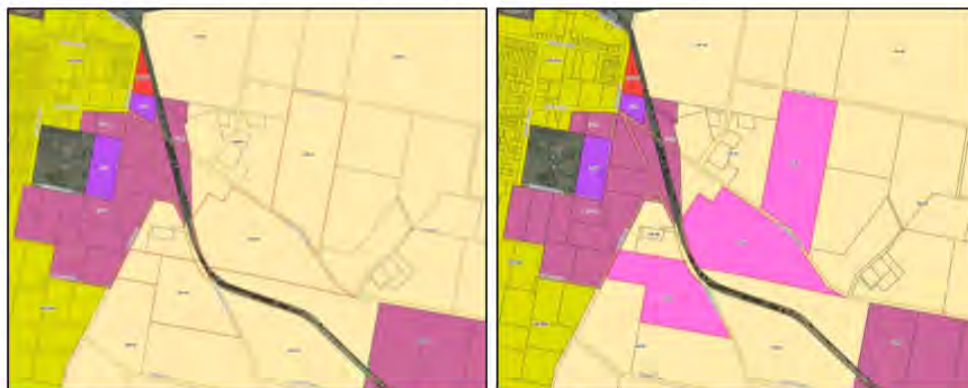


Figure 4: Existing and proposed minimum lot size maps (de Witt Consulting)



3.1. LAND USE ZONING

The planning proposal seeks to rezone the subject land from RU1 Primary Production to R5 Large Lot Residential. This proposed zoning change aligns with the objective of amending the Mid-Western Regional Local Environmental Plan 2012 to facilitate the expansion of residential development in the area. This rezoning will enable the land to be used for rural lifestyle residential purposes, addressing the growing demand for large lot residential land in Gulgong.

3.2. MINIMUM LOT SIZE

The planning proposal seeks to amend the minimum lot size of the subject site from 100 hectares to 10 hectares. The proposed minimum lot size is consistent with the adjoining lot sizes and is generally aligned with the minimum lot size that corresponds with the R5 Large Lot Residential zoning.

The Concept Subdivision Plan is provided in **Appendix 1** which demonstrates the outcome and likely maximum number of lots.



4. JUSTIFICATION OF STRATEGIC AND SITE-SPECIFIC MERIT

This section of the report provides a detailed assessment of the proposals strategic and site-specific merit. This section also integrates findings from the specialist studies, investigations and plans which support the rezoning. Strategic plans offer longer term visions for local and regional planning, and inform strategic planning as well as translating into local priorities and actions for development. On balance, the interaction of the strategic planning framework against the findings of the specialist input determines that the planning proposal should be supported and environmental, social and economic impacts are appropriate. Where mitigation measures are required, these are identified and included.

4.1. NEED FOR THE PLANNING PROPOSAL

4.1.1. Is the planning proposal a result of an endorsed LSPS, strategic study or report?

Yes. The Planning proposal aligns with several key regional and local planning documents, including the Central West and Orana Regional Plan 2041 (CWORP 2041) and the Mid-Western Regional Local Strategic Planning Statement (LSPS) 2040. These documents provide a comprehensive framework for sustainable development in the region, focusing on themes such as sustainability, community resilience, housing, and economic development. The proposal is consistent with the strategic directions and objectives outlined in these documents, ensuring that it supports broader regional and local goals. By adhering to the priorities and guidelines set forth in these plans, the proposal demonstrates a clear connection to endorsed strategic studies and reports, justifying its merit and necessity.

4.1.1.1. Central West and Orana Regional Plan 2041

The Central West and Orana Regional Plan 2041 sets the strategic framework for the region, to ensure the region's ongoing prosperity. It is a 20-year land use plan prepared under section 3.3 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and applies to the LGAs of Bathurst, Blayney, Bogan, Cabonne, Coonamble, Cowra, Dubbo, Forbes, Gilgandra, Lachlan, Lithgow, **Mid-Western**, Narromine, Oberon, Orange, Parks, Warren, Warrumbungle and Weddin.

CWORP 2041, focuses on themes such as sustainability, community resilience, housing, and economic development.

Key objectives relevant to the planning proposal include:

- **Objective 5:** Identify, protect, and connect important environmental assets.
- **Objective 8:** Secure resilient regional water resources.
- **Objective 13:** Provide well-located housing options to meet demand.
- **Objective 15:** Manage rural residential development.
- **Objective 9:** Ensure site selection and design embraces and respects the region's landscapes, character, and cultural heritage.

These objectives align with the planning proposal by promoting sustainable development and ensuring that new housing is well integrated into the existing environmental and infrastructure context.

Regarding region-wide objectives of CWORP 2041, the planning proposal displays compliance with key strategies. These include:

Strategy 13.1: to ensure an adequate and timely supply of housing, in the right locations, strategic and local planning should:

- *Respond to environmental, employment and investment considerations, and population dynamics when identifying new housing opportunities.*



- Consider house proposed release areas could interact with longer term residential precincts.
- Provide new housing capacity where it can use existing infrastructure capacity or support the timely delivery of new infrastructure.
- Identify a pipeline of housing supply that meets community needs and provides appropriate opportunities for growth.

The Mid-Western region in particular is experiencing a wave of investment in energy production and storage, with development for solar farms, wind farms, battery energy storage systems, hydrogen stations, etc, which means that the region will need to account for increased dwelling demand of all types. The proposed rezoning will provide larger lifestyle lots for those who want a larger lot closer to town, but of a more manageable size and a transition between the larger rural properties and village of Gulgong.

Strategy 15.1: when planning for new rural residential development consider:

- Proximity to existing urban settlements to maximise the efficient use of existing infrastructure and services.
- Avoiding primary production zoned agricultural land and mineral resources and consider land use conflict when in proximity to such land.
- Avoiding areas of high environmental, cultural or heritage significance, or areas affected by natural hazards.
- Provision of a sustainable water supply through reticulated water supply roof catchment and/or accessing water from a river lake or aquifer in accordance with the Water Management Act 2000.
- Impacts on the groundwater system.
- Future growth opportunities of the closest local centre, nearby urban land uses and any across LGA-boundary land use compatibility issues.
- Context in terms of supply and demand across the subregion.
- Cost effective service supply.

The proposed rezoning is located approximately 1km from the main urban settlement of Gulgong, located on the fringe of existing R5 zoned lands. This will ensure good access to existing infrastructure and services, such as roads, electricity and telecommunications. The proposed outcomes will ensure some transition between rural land uses and the urban settlement. The proposed rezoning is generally avoiding areas of high ecological or cultural or heritage significance. It is noted that the site is affected by Biodiversity Values (BV) mapping, but this takes up only small portion of the site such as boundaries where remnant vegetation tree stands exist. Importantly, the majority of the site is cleared land and not mapped as BV. It is noted that part of the subject site is mapped on the Groundwater Vulnerability map from LEP 2012, however the proposed rezoning is unlikely to present significant adverse impacts, as only large lots are proposed.

At this early stage, the rezoning has considered opportunities to locate, design and construct new development to minimise impacts on groundwater resources and encourage the re-use of water and ability for sites to manage stormwater within their own boundaries. The intent of the future 10ha subdivision scale is to ensure that the lots are of a size sufficient where they may have individual bores for a domestic water source and rely upon rainwater as the source of primary potable water. This has been investigated further as part of this Planning Proposal. The intended future land uses (rural residential lifestyle living) are not associated with land uses that would harm surface and groundwater quality or lead to its overuse, with residential land uses being less intensive and any very small scale agricultural uses also consistent with what is currently permissible on the site and not intended to be an intensive commercial use of the site. The proposed rezoning is commensurate with the existing constraints on the site and in the immediate surrounding area.



Strategy 15.2: Enable new rural residential development only where it has been identified in a local strategy prepared by the relevant council and endorsed by the department. Avoid unplanned or unsupported rezoning of rural land.

Reviewing other strategic documentation, such as the *Mid-Western Regional Comprehensive Land Use Strategy*, the proposed rezoning is located in Area F, identified as a medium-term opportunity area. As previously described, the Mid-Western area and Gulgong area are facing good levels of residential growth. As previously discussed, there is opportunity for the expansion of residential areas from the large growth and investment in renewable energy production and storage in the region.

4.1.1.2. *Mid-Western Region Community Plan Towards 2040*

The Towards 2040 Community Plan, developed with community input, mirrors the priorities of CWORP 2041, emphasising community goals and strategic growth. The consistency of the planning proposal with the CWORP demonstrates its alignment with the community's vision.

4.1.1.3. *Mid-Western Regional Local Strategic Planning Statement 2040*

The Mid-Western Regional Local Strategic Planning Statement (LSPS) 2040 sets a 20-year vision for land use within the LGA, supporting the objectives of CWORP 2041 at the local level.

Key priorities relevant to the proposal include:

- **Planning Priority 2:** Diverse, sustainable, adaptable, and affordable housing options.
- **Planning Priority 4:** Infrastructure and services to support current and future community needs.
- **Planning Priority 5:** Enhancement and protection of biodiversity and natural heritage.

4.1.1.4. *Comprehensive Land Use Strategy 2011*

The Comprehensive Land Use Strategy (CLUS) guides future land use changes in the Mid-Western Regional LGA, identifying land for long-term housing needs. The subject site falls within an identified opportunity area for rural lifestyle development, justifying the proposed rezoning from rural to residential use.

4.1.2. *Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?*

To determine whether the planning proposal is the best approach to achieving the objectives or intended outcomes, we must review potential alternative approaches. This includes seeking to vary applicable development standards via Clause 4.6 of the relevant Local Environmental Plan (LEP), waiting for Council to finalise a study and/or separate planning proposal, or achieving the outcome through an amendment to a Development Control Plan (DCP). The assessment below will demonstrate that the proposed approach is the most effective, efficient, and timely method.

Alternative Approaches

1. Varying Development Standards via Clause 4.6 of the LEP

Clause 4.6 of the Mid-Western Regional LEP 2012 allows for variations to development standards where strict compliance would be unreasonable or unnecessary. This could theoretically include variations to minimum lot sizes or other controls.

- **Feasibility:** Varying development standards via Clause 4.6 is typically used for minor adjustments rather than substantial rezoning. It is unlikely to be supported for significant changes such as reducing the minimum lot size from 100 hectares to 10 hectares across multiple lots.



- **Limitations:** Clause 4.6 variations are assessed on a case-by-case basis and must demonstrate that compliance with the existing standard is unreasonable or unnecessary. The scale of change required for this proposal would not be suited to this mechanism.
- **Efficiency:** Using Clause 4.6 for such a substantial change would involve multiple applications, resulting in a fragmented and lengthy process without providing the comprehensive planning and strategic assessment that a rezoning application would offer.

2. Waiting for Council to Finalise a Study and/or Separate Planning Proposal

Another approach would be to wait for the Council to complete relevant strategic studies or initiate its own planning proposal.

- **Current Status:** The Council recently completed the Mudgee and Gulgong Urban Release Strategy 2023 Update. This report identifies the substantial demographic growth of the broader Mid-Western region due to large investment in renewable energy, coinciding with the implementation of the Central West-Orana Renewable Energy Zone (REZ). The subject site is outside of this urban release strategy framework area. Council has indicated that other similar strategies for rural lands are not on the horizon (referring to the pre-lodgement meeting).
- **Uncertainty:** Relying on the completion and outcomes of Council-led studies introduces significant uncertainty and potential delays. The timelines for these studies are not fixed, and their recommendations may not align precisely with the objectives of the current planning proposal.
- **Opportunity Cost:** Delaying the proposal could result in missed opportunities to address the current demand for rural residential land, potentially leading to ongoing housing shortages and economic impacts for the region.
- **3. Amendment to a Development Control Plan (DCP)**

Development Control Plans provide detailed guidelines to support the LEP and can be amended to introduce new controls or standards.

- **Scope:** DCPs are supplementary documents that provide guidance on how development can occur within the framework established by the LEP. They cannot change zoning or fundamentally alter the permitted uses of land.
- **Limitations:** An amendment to the DCP could not achieve the objective of rezoning land from RU1 to R5. DCPs cannot override the land use zones and minimum lot sizes prescribed in the LEP.
- **Effectiveness:** Changes to a DCP would be ineffective in delivering the desired outcomes of this proposal, as the primary objective is to rezone the land, which requires an LEP amendment.

Assessment of Proposed Approach

The proposed planning proposal to rezone the land from RU1 Primary Production to R5 Large Lot Residential is assessed to be the most appropriate approach based on the following criteria:

1. Comprehensive and Strategic Alignment

- The planning proposal allows for a thorough strategic assessment and alignment with regional and local planning objectives, such as those outlined in the Central West and Orana Regional Plan 2041 and the Mid-Western Regional LSPS 2040.



- It enables a holistic consideration of the subject site's characteristics, infrastructure needs, environmental impacts, and socio-economic benefits.

2. Efficiency and Timeliness

- The planning proposal process is structured and provides a clear pathway for assessment and approval, including community and stakeholder consultation.
- Compared to the fragmented and uncertain nature of the alternative approaches, a planning proposal is more efficient in delivering the desired outcome within a reasonable timeframe.

3. Certainty and Robustness

- A planning proposal provides certainty and robustness to the rezoning process, ensuring that all necessary studies, consultations, and statutory requirements are addressed comprehensively.
- It offers a definitive resolution to the zoning and land use issues, providing clarity for future development and investment.

4. Best Use of Resources

- Initiating a planning proposal leverages the expertise and resources of both the proponent and the Council in a collaborative manner, facilitating a well-considered and supported rezoning application.
- It avoids the potential resource wastage associated with multiple Clause 4.6 applications or the lengthy wait for the completion of Council studies.

The assessment demonstrates that the proposed planning proposal is the best means of achieving the objectives or intended outcomes for rezoning 94 Canadian Lead Road (Lot 129/DP755433 & Lot 264/DP755433); 2787 Henry Lawson Drive (Lot 56/DP755433); 2794 Henry Lawson Drive, Gulgong, NSW 2852. It is more effective, efficient, and timely compared to the alternative approaches of varying development standards, waiting for Council studies, or amending the DCP. The planning proposal process provides a comprehensive, strategic, and robust framework to facilitate the rezoning, ensuring alignment with broader planning objectives and delivering clear benefits for the community and stakeholders.

Rezoning the subject site is the first option. The most prudent rezoning choice is R5, as it reflects adjacent land use zoning, and enables an appropriate density consistent with rural residential lifestyle of the area.

As demonstrated above, a planning proposal to rezone the subject site from RU1 Primary Production to R5 Large Lot Residential is the most appropriate option.

4.2. RELATIONSHIP TO THE STRATEGIC PLANNING FRAMEWORK

4.2.1. Will the planning proposal give effect to the objectives and actions of the applicable regional or district plan or strategy?

Yes. Consideration of the *Central West and Orana Regional Plan 2041* is provided below.

4.2.1.1. *Central West and Orana Regional Plan 2041*

The Central West and Orana Regional Plan 2041 has been considered. The planning proposal is consistent with the objectives of the CWORP 2041, which broadly identifies areas for more economic expansion and associated housing opportunities throughout the region, including the Mid-Western Regional LGA.



Objective 4: Leverage inter-regional transport connections

This objective focuses on improving transport connectivity and regional accessibility by enhancing major road, rail, and air networks. The goal is to facilitate the efficient movement of people and goods, support economic growth, and improve access to services and employment opportunities across the region.

The subject site is strategically located near major roads and the Wallerawang-Gwabegar Railway, enhancing transport connectivity and supporting regional accessibility. The rezoning proposal will leverage these existing transport connections to ensure that the future development is well-integrated into the regional transport network. This will facilitate easier access for residents to employment, education, and services, thereby supporting regional economic growth and improving overall accessibility.

Objective 5: Identify, protect and connect important environmental assets

This objective aims to preserve and enhance significant environmental and ecological features within the region. It involves identifying key environmental assets, ensuring their protection from adverse impacts, and creating ecological corridors to connect habitats and support biodiversity.

The planning proposal has identified areas of ecological value on the subject site. It includes measures to preserve existing vegetation and ecological features. The identified ecological values are unlikely to be impacted by future development due to the extensive cleared land available for development. Additionally, it is considered that potential endangered ecological communities are not present on-site. The proposal aims to avoid impacting existing woody vegetation zones and promotes sustainable land use practices that minimize environmental impact. By maintaining and enhancing these environmental assets, the rezoning aligns with the objective of protecting and connecting important ecological features.

Objective 6: Support connected and healthy communities

This objective focuses on creating well-connected, healthy communities by promoting active transport, access to green spaces, and community facilities. The goal is to enhance the quality of life, support physical and mental well-being, and foster social cohesion.

Rezoning to R5 Large Lot Residential promotes rural lifestyle living, contributing to community health and connectivity. The proposal supports the development of a community that benefits from open spaces, opportunities for outdoor activities, and a connection to the natural environment. The subject site's proximity to Gulgong township ensures that residents will have access to essential services and community facilities, fostering a healthy and well-connected community.

Objective 7: Plan for resilient places and communities

This objective aims to ensure that communities are resilient to natural hazards and climate change impacts. It involves planning for development in areas free from significant risks, such as bushfires and floods, and incorporating design principles that enhance resilience.

The rezoning does not include land that is within an area of bushfire risk or flood hazard. The proposal ensures that future development will not contribute to the heat island effect, as it is intended for rural lifestyle living with low-density development. This approach enhances community resilience by avoiding high-risk areas and promoting sustainable land use practice.

Objective 8: Secure resilient regional water resources

This objective focuses on implementing sustainable water management practices to ensure the availability and quality of water resources. It addresses the challenges of water scarcity, allocation, and quality by promoting efficient use and innovative water management solutions.



The rezoning provides opportunities to locate, design and construct new development to minimise impacts on groundwater resources and encourage the re-use of water and ability for subject sites to manage stormwater within their own boundaries. The intent of the future subdivision scale is to ensure that the lots rely upon rainwater as the source of primary potable water.

Objective 9: Ensure site selection and design embraces and respects the region's landscapes, character and cultural heritage

This objective aims to integrate natural landscapes and cultural heritage into development planning. It involves selecting sites and designing developments that respect and enhance the region's unique landscapes and cultural assets.

The subject site's location and design respect the natural landscape and cultural heritage, integrating seamlessly with the surrounding environment. The proposal ensures that the higher density of development is concentrated around rural centres, avoiding sensitive areas or highly visible locations. The subject site selection respects the region's landscapes and character, maintaining the region's cultural heritage by avoiding significant changes to natural features and ensuring development fits within the existing environment.

It is considered that the subject site is well suited for future rural lifestyle living. The subject site is within proximity to the Gulgong township and similar rural lifestyle living (particularly to the west). The subject site is not located within sensitive areas or highly visible locations such as on ridgelines or within areas that would require clearing or changes to the natural landscape to facilitate future development.

Objective 13: Provide well located housing options to meet demand

This objective addresses housing demand by providing strategically located housing options that are accessible and well-serviced. It aims to meet the needs of the growing population and ensure that housing developments are sustainable and integrated with existing infrastructure.

Rezoning addresses the demand for rural residential land by offering well-located housing options near the Gulgong township. The chosen subject site is predominantly within and includes logical extensions of the identified Opportunity Area F. The subject site is serviced by existing road infrastructure, promoting accessibility and supporting the development of housing options that meet the growing demand in the region. The proposed rezoning responds to evolving population dynamics by providing additional land for rural residential living as a response to unanticipated population increase in the region.

Objective 15: Manage rural residential development

This objective focuses on minimizing land use conflict and ensuring that rural residential development is compatible with surrounding land uses. It involves managing the scale and location of development to support sustainable rural living.

The proposal aligns with strategies to minimise land use conflict and ensure compatible development in rural residential areas. The subject site's proximity to Gulgong township maximizes the efficient use of existing infrastructure, particularly transport routes. The proposal ensures that future development is suitable for both rural residential living and agricultural pursuits, consistent with surrounding land uses. By providing large lots and maintaining sustainable water and land use practices, the rezoning supports the objective of managing rural residential development effectively.

The subject site is ideal for rural residential development because it lacks significant environmental, cultural, or heritage constraints and is not prone to natural hazards like bushfires and floods. The groundwater system may be sustainably managed through roof catchment and bore water supply, in compliance with the Water Management Act 2000. The



proposal aligns with the CLUS, being largely within and extending Priority Area F, and addressing the demand for R5 land identified in this report due to low uptake in other priority areas and changing population demographics. Additionally, the rezoning is unlikely to cause land use conflicts, as it supports both rural residential living and agricultural activities like cropping and grazing, like the surrounding areas, particularly to the east.

Objective 19: Protect agricultural production values and promote agricultural innovation, sustainability and value-add opportunities

This objective aims to support sustainable agricultural practices and innovation alongside residential development. It involves protecting agricultural land, promoting sustainable practices, and encouraging value-added agricultural opportunities.

The planning proposal allows for rural residential use alongside small-scale agriculture, supporting sustainable agricultural practices and innovation. The proposal ensures that the land can be used for hobby farming, horse riding, raising animals, and other agricultural uses, consistent with surrounding land uses. By maintaining the option for low scale agricultural activities and ensuring that future land uses do not conflict with existing agricultural practices, the rezoning aligns with the objective of protecting agricultural production values and promoting sustainability and innovation.

The proposed R5 zone and 10ha lot size have been carefully considered to align with the surrounding land uses. This rezoning is intended to support rural residential development on large, oversized lots, while allowing for suitably scaled agricultural pursuits. The surrounding area predominantly features large lot residential lifestyles, making the proposed land use for this subject site entirely consistent with existing patterns. Consequently, the rezoning will not impact agricultural productivity or create land use conflicts, ensuring harmonious integration with the current land uses.

The proposed 10ha lot size ensures that any necessary buffers can be accommodated within future subject site boundaries. Intensive plant and animal agriculture uses remain permissible in the R5 zone, ensuring that the land can be used for rural residential living and agriculture as required, subject to water availability and land capability. The rezoning of this land to R5 ensures that there will be reasonably good quality and usable land available for hobby farming, horse riding, raising animals, planting fruit trees, and other agricultural uses.

4.2.1.2. Mid-Western Regional Comprehensive Land Use Strategy

The Mid-Western Regional Comprehensive Land Use Strategy 2011 provides a framework for the Mid-Western Regional LGA to address long-term rural and urban growth needs. The CLUS emphasises the preference for rural lifestyle lots to be situated at the urban edge, close to services, and to minimise travel distances. The CLUS includes mapping to identify future development opportunities and specifies that rural lifestyle opportunities should be located within a 5km radius of urban centres like Gulgong. Council has identified 12-hectare rural lifestyle opportunities around urban centres, and within a 5km offset of Gulgong. This hard-line radius assists in minimising travel distance and protecting agricultural land. Council also identifies that the minimum lot size for subdivision for rural lifestyle (R5) will be 12 hectares where reticulated water and sewer are not available. Additionally, the CLUS suggests that new rural lifestyle lots should be clustered around existing sealed roads.

The subject site is located within, and immediately adjoining, the medium-term Opportunity Area F and identified as 'Class 3 land (otherwise unconstrained)', reproduced below in *Figure 5*. A copy of this is provided in the Comprehensive Land Use Strategy Opportunities Map at **Appendix 4**.



Much of the adjoining land is also noted as Class 3 land. The subject site is located entirely within the 5km radius, being approximately only 1 km from the urban fringe and approximately 2.5 km from the centre of Gulgong.

The subject site has direct access from existing sealed roads, specifically Henry Lawson Drive for the properties at 2794 Henry Lawson Drive (Lot 415-DP755433) and 2787 Henry Lawson Drive (Lot 56-DP755433). However, 94 Canadian Lead Road (Lot 129-DP755433) is accessed via the unsealed Canadian Lead Road, and Lot 264-DP755433 is accessed via Ridout Lane. The proposed 10-hectare lot sizes and access to legal bores will promote more sustainable use of groundwater and surface water resources. This subject site logically extends Opportunity Area F and meets the distance criteria to Gulgong.



Figure 5: Extract from the CLUS Figure 4-4 Rural lifestyle opportunities – Subject site shown in pink outline (de Witt Consulting).

The CLUS includes criteria for considering land for rural lifestyle opportunities to be zoned R5 Large Lot Residential with a minimum lot size of 12 hectares. Although this proposal seeks a 10-hectare minimum subdivision lot size, the criteria remain relevant, and responses are provided below:

1. Land Use Conflict Avoidance:

- The proposal considers surrounding land uses, ensuring that large lot rural residential living will not conflict with neighbouring mixed rural residential and agricultural activities. Buffers within the subject site boundaries can be accommodated if required.

2. Flooding:

- The area is not affected by flooding and has unconstrained flood-free access out of the property and the locality generally.



3. Road Network Connection:

- The subject site benefits from direct access to sealed roads, including Henry Lawson Drive for the properties at 2794 and 2787 Henry Lawson Drive. 94 Canadian Lead Road and Lot 264 are accessed via maintained but unsealed roads, Ridout Lane and Canadian Lead Road, providing adequate connectivity.

4. Visual Intrusion:

- There is no impact on visual amenity or sensitive corridors identified in the CLUS on the Gulgong Town Structure Plan. The proposed uses align with current permissible uses, with a preference for rural residential living near urban centres over more remote locations.

5. Future Residential Land Opportunities:

- The land is more suitable for rural residential living than future general residential land, ensuring appropriate residential density.

6. Groundwater System Impact:

- Except for the northern lot, the proposal will include unreticulated development. Potable water will be sourced from roof catchments, minimising adverse impacts on the groundwater system. Each lot is capable of applying for a water supply work approval known as a basic landholder rights (BLR) bore approval. The lots are of sufficient for accommodating an appropriate On-Site Sewage Management System (OSSM).

7. Supply and Demand Justification:

- The discussion regarding population projections and forecasted land uptake within the Urban Release Strategy and the CLUS provides a justification for supply and demand.

8. Bushfire Hazard Management:

- The subject site is not affected by bushfire hazard. Regardless, future lots are large enough to implement appropriate asset protection zones (APZ) if required.

9. Avoidance of Biophysical Strategic Agricultural Land:

- The State Environmental Planning Policy (Resources and Energy) 2021 maps do not classify the subject site as Biophysical Strategic Agricultural Land (BSAL).

10. Sustainable Water Supply Access:

- The proposed concept lots demonstrate the provision of a sustainable water supply, including roof water catchment and access to a bore in accordance with the Water Management Act 2000.

In conclusion, the proposed rezoning aligns with the Mid-Western Regional CLUS by facilitating the development of additional rural residential land to meet community needs and promote sustainable development. The strategic location, minimal constraints, and comprehensive planning approach make this subject site ideal for rezoning to R5 Large Lot Residential.



4.2.2. Is the planning proposal consistent with a Council LSPS that has been endorsed by the Planning Secretary or GCC, or another endorsed local strategy or strategic plan?

Yes. An assessment of Our Place 2040 - Mid-Western Regional Local Strategic Planning Statement 2040 is provided below.

4.2.2.1. *Our Place 2040 - Mid-Western Regional Local Strategic Planning Statement 2040*

The Mid-Western Regional Local Strategic Planning Statement 2040 outlines a comprehensive 20-year vision for land use planning within the Mid-Western Regional Council LGA. The document is designed to give effect to the CWORP 2041 by translating its directions and actions into local strategies and priorities. The LSPS emphasizes sustainable development, the preservation of natural and cultural heritage, the provision of diverse and affordable housing, and the enhancement of community infrastructure and services. It identifies 12 key planning priorities aimed at achieving balanced and resilient growth, which include promoting economic vitality, protecting biodiversity, ensuring infrastructure readiness, and fostering community identity.

This planning proposal for the rezoning and development of land in Gulgong aligns closely with the goals and priorities outlined in the LSPS 2040. By increasing the availability of large lot residential land, this proposal directly addresses the need for diverse and sustainable housing options, supporting Planning Priority 2. Additionally, the proposed approach to infrastructure ensures that new developments do not strain existing resources, aligning with Planning Priority 4. The proposal also considers environmental impacts and heritage preservation, adhering to Planning Priority 5. Overall, this planning proposal not only meets but also enhances the strategic objectives set forth in the LSPS 2040, contributing to the sustainable growth and resilience of the Mid-Western Regional LGA.

Key priorities are discussed further below.

Planning Priority 1: Respect and enhance the historic character of our Region and heritage value of our towns.

This priority emphasises the importance of preserving the historical and cultural significance of towns within the Mid-Western Region. It involves protecting heritage assets, ensuring new developments complement historical architecture, and maintaining the unique character of each town. Effective land use planning under this priority aims to conserve and enhance heritage values for future generations. This planning proposal does not inhibit Planning Priority 1.

Planning Priority 2: Make available diverse, sustainable, adaptable, and affordable housing options through effective land use planning.

This priority aims to increase the variety and affordability of housing to meet the needs of a growing population. It includes identifying opportunities for large lot residential developments and ensuring new housing is sustainable and adaptable to changing needs.

This proposal is consistent with Planning Priority 2 by increasing the amount of large lot residential land within the Gulgong area. This proposal addresses the noted need for increased supply of large lot residential land over the next 20 years. This planning proposal demonstrates the suitability of the proposed land for large lot residential living, considering its proximity to the township, access to the road network, and relatively unconstrained land, thereby meeting market demand. This proposal will help council achieve Planning Priority 2 and meet market demand for large lot residential properties.



Planning Priority 3: Support the ongoing vitality and growth of our centres, towns, and villages.

This priority focuses on strengthening the economic and social vitality of regional centres, towns, and villages. It includes enhancing local amenities, supporting local businesses, and ensuring sustainable growth that benefits the community.

This planning proposal supports Planning Priority 3 by providing additional housing options that will attract new residents to the Gulgong area. This influx of residents is expected to support local businesses and services, thereby enhancing the economic vitality of the town.

Planning Priority 4: Provide infrastructure and services to cater for the current and future needs of our community.

This priority emphasises the importance of adequate infrastructure and services to support community growth and well-being. It involves planning for sustainable water provisions, sewer management, transport routes, and other essential services to ensure they meet current and future needs.

This proposal aligns with Planning Priority 4 by ensuring that the development does not place undue burden on existing infrastructure. Future lots are designed to have sustainable water provisions through individual rainwater collection systems. Sewer management will be addressed with on-site sewage management systems, and stormwater can be managed within site boundaries. Additionally, the proposal ensures good connectivity to the local road network, enhancing the functionality and liveability of future lots.

The proposal is consistent with Planning Priority 4 because it does not seek to place undue burden on existing infrastructure servicing the region, such as water, sewer, and transport routes. For example, the proposal can provide sustainable water provisions and appropriate sewer management for each future lot without impacting existing Council assets. The intent is that the lots rely upon rainwater as the source of primary potable water. Similarly, the lots would be of an adequate size to cater for any OSSM. A similar outcome is intended for stormwater, in that it can be dealt with within site boundaries.

Regarding road access, 2794 Henry Lawson Drive (Lot 415-DP755433) and 2787 Henry Lawson Drive (Lot 56-DP755433) have direct access to the Henry Lawson Drive which is a sealed road. In contrast, 94 Canadian Lead Road (Lot 129-DP755433) is accessed via Canadian Lead Road, and Lot 264-DP755433 is accessed via Ridout Lane. Although Snelsons Lane and Ridout Lane are unsealed, they are considered to provide adequate connectivity. It is also more than likely that 94 Canadian Lead Road would only be accessed via Canadian Lead Road, rather than Ridout Lane. These arrangements ensure the future lots will be functional and offer a high quality of living.

Planning Priority 5: Ensure land use planning and management enhances and protects biodiversity and natural heritage.

This priority focuses on preserving and enhancing the region's biodiversity and natural heritage. It includes protecting significant ecological areas, promoting sustainable land use practices, and avoiding impacts on natural habitats.

This proposal responds to Planning Priority 5 by including measures to preserve existing vegetation and ecological features on the subject site. The subject site is primarily open, cleared land with a long history of agricultural/rural residential use. No change is proposed to Biodiversity Value or Terrestrial Biodiversity maps which help identify, and ensure future development appropriately avoids ecology constrained land. Future subdivision plans can avoid the ecological constrained land.



Planning Priority 6: Strengthen our resilience to natural hazards and climate change.

This priority emphasises the need for planning and development that enhances the region's resilience to natural hazards such as bushfires, floods, and climate change impacts. It includes incorporating design principles that mitigate these risks and ensure sustainable development.

This proposal aligns with Planning Priority 6 by ensuring that future housing opportunities are located in an area free from high bushfire risk and flood hazards. The concept facilitates sustainable water and land use practices that minimise the environmental impact and enhance resilience to climate change. The large lot sizes also allow for effective management of potential risks, contributing to the overall resilience of the community.

Planning Priority 7: Foster a strong sense of place and community identity.

This priority focuses on creating vibrant, inclusive, and cohesive communities that have a strong sense of identity and place. It includes supporting community initiatives, enhancing public spaces, and promoting cultural and social activities to build strong community ties.

This proposal supports Planning Priority 7 by facilitating engagement with the local community as part of the Planning Proposal process, per the LEP making guidelines.

4.2.2.2. Mudgee and Gulgong Urban Release Strategy 2023 Update (URS)

The Mudgee and Gulgong Urban Release Strategy 2023 Update (URS 2023) was commissioned by Mid-Western Regional Council to assess and update the supply and demand for residential land in Mudgee and Gulgong. This update builds on the findings of the 2014 strategy and incorporates the latest demographic data, housing trends, and future projections up to 2041. The strategy aims to ensure a balance between residential land supply and demand, provide a framework for systematic land release, and address the housing needs of the growing population in these areas.

Key findings include:

- Mudgee and Gulgong are expected to experience significant population growth, driven by employment opportunities, particularly in renewable energy and mining sectors.
- Mudgee has a higher proportion of young families and children, while Gulgong has a slightly older population.
- There is a notable demand for detached dwellings and large-lot residential properties in both towns.
- Constraints such as environmental factors and infrastructure availability limit the immediate supply of developable land.
- Recommendations include progressing servicing investigations, enabling infill development, and planning for future zoning and servicing to accommodate projected growth.

This proposal to increase large lot residential land in the Gulgong area aligns closely with the objectives outlined in the URS 2023. The strategy emphasizes the need to manage residential land supply to meet the growing population's demands, particularly focusing on detached dwellings and large lots, which are key components of this proposal.

The URS 2023 highlights the importance of providing zoned and serviced land to ensure timely and efficient residential development. This proposal supports this by identifying suitable land for large lot residential use, which aligns with the strategy's goals of addressing housing supply shortfalls and catering to future demand.

This proposal complies with the URS 2023 by:

- Contributing to the identified need for additional large lot residential properties in the Gulgong area.



- Ensuring that the proposed lots are designed to be sustainable and self-sufficient, particularly in terms of water provisions and sewage management.
- Demonstrating the suitability of the proposed land for residential development, considering proximity to the township, road access, and minimal environmental constraints.
- Supporting the systematic release of residential land, as recommended in the strategy, to balance supply and demand effectively.

This planning proposal aligns with the URS 2023 by addressing key housing needs, supporting strategic planning goals, and contributing to the sustainable growth of the Gulgong area.

4.2.3. Is the planning proposal consistent with applicable SEPPs?

Table 3: Consistency with SEPPs

SEPP	Applicable?	Discussion
SEPP (Biodiversity and Conservation) 2021 Chapter 2 Vegetation in non-rural areas Chapter 3 and 4 Koala habitat protection 2021	Yes	The planning proposal intends to rezone the subject site currently zoned RU1 Primary Production in the Mid-Western Regional Council, listed in Schedule 2 without an asterisk. Since the current zoning is RU1 and the area is not marked with an asterisk, Chapter 3 is applicable. If rezoned to R5 Large Lot Residential, any future development must consider potential vegetation loss and comply with Chapter 4 requirements for koala habitat protection, as the subject site falls under the Northwest Slopes koala management area.
SEPP (Resilience and Hazards) 2021 Chapter 4 Remediation of Land	Yes	Consideration of potential contamination and site suitability for residential purposes is discussed in the Preliminary Site Investigation is provided at Appendix 7 . An analysis of historical land use and input from property owners indicates that the site poses minimal contamination risk. The site's long-standing use for low-intensity agriculture, primarily grazing and cropping, is considered low-risk for contamination. While the risk of contamination is minimal, future development of the subject site will also consider the provisions outlined in Chapter 4 of this SEPP to ensure compliance with environmental standards. This includes incorporating any necessary measures to maintain the safety and suitability of the site for residential use.
SEPP (Primary Production) 2021 Chapter 2 Primary production and rural development	Yes	The planning proposal involves rezoning land from RU1 Primary Production to R5 Large Lot Residential. Part of the lots are mapped as State Significant Agricultural Land (SSAL). This mapping is in an early draft stage and covers only parts of the lots in an irregular manner. The proposal is not considered to cause land fragmentation, urban encroachment, or other competing land uses. The planning proposal is consistent with the SEPP as it



		<p>will not adversely impact the orderly economic use and development of lands for primary production.</p> <p>The planning proposal aligns with the goals of minimizing land use conflict and supporting sustainable rural development. By rezoning to R5 Large Lot Residential, the proposal will support the rural lifestyle living while maintaining compatibility with surrounding agricultural activities. This ensures that the rezoning will not disrupt existing primary production but rather complements it by providing opportunities for low-density rural residential development.</p>
SEPP (Transport and Infrastructure) 2021 Chapter 2 Infrastructure	No	<p>The proposal involves rezoning to R5, which may lead to residential development. If the development includes 75 or more dwellings, it would be considered traffic-generating and would need to be referred to Transport for NSW (TfNSW). If the development involves the subdivision of land with 50 or more allotments, it would also be considered traffic-generating and require referral to TfNSW.</p> <p>The proposal will not result in either of the potential dwellings or allotments and therefore does not qualify as traffic-generating development under Schedule 3. Future development will not require referral to TfNSW.</p>
SEPP (Planning Systems) 2021 Chapter 2 State and regionally significant development	Yes	<p>Schedule 6 of this SEPP identifies the triggers for regionally significant development.</p> <p>Future development would not trigger regionally significant development.</p>

4.2.4. Is the planning proposal consistent with applicable Ministerial Directions?

Table 4: Consistency with s9.1 Ministerial Directions

Direction	Applicable?	Discussion
Focus Area 1: Planning Systems		
1.1 Implementation of Regional Plans	Yes	Section 4.1.1.1 and Section 4.2.1 discusses how the planning proposal is consistent with the Central West and Orana Regional Plan 2041.
1.2 Development of Aboriginal Land Council land	No	This Direction is not applicable to the planning proposal.
1.3 Approval and Referral Requirements	Yes	The objective of this direction is to ensure that LEP provisions encourage efficient and appropriate assessment of development. The planning proposal is a map-only amendment and therefore does not contain provisions pertaining to concurrence, consultation, or referral requirements, nor does it identify development as designated development. Thus, the planning



		proposal is substantially consistent with this direction.
1.4 Site Specific Provisions	Yes	The planning proposal proposes a change of zoning from RU1 Primary Production to R5 Large Lot Residential. No Additional Permitted Use (APU) is being proposed, meaning no unnecessary restrictions will be imposed upon the land beyond existing restrictions as set out in the land use zone within the existing EPI.
1.4A Exclusion of Development Standards from Variation	No	The planning proposal does not propose to introduce or alter an existing exclusion to Clause 4.6 of LEP 2012.

Focus Area 1: Planning Systems – Place-based

Directions 1.5 to 1.22 are not relevant to the geographical area concerned by this planning proposal.

Focus Area 2: Design and Place

This Focus Area was blank when the Directions were made.

Focus Area 3: Biodiversity and Conservation

3.1 Conservation Zones	Yes	The planning proposal does not currently relate to any conservation zones and will not impact environmentally sensitive land. Further discussion of any environmental impacts is provided within Section 0 of this report. The subject site identified as containing Biodiversity Values areas. However, these areas are primarily located at lot boundaries, and are capable of being avoided by any future development. The planning proposal will not reduce the conservation standards of the land.
3.2 Heritage Conservation	Yes	The planning proposal will give regard to the cultural heritage of the subject site. Heritage is considered in Section 4.3.3.1 of this report. The planning proposal itself will not harm Aboriginal objects or sites, however future development on the subject site will need to give regard to current policy.
3.3 Sydney Drinking Water Catchments	No	This Direction is not applicable to the planning proposal.
3.4 Application of C2 and C3 Zones and Environmental Overlays in Far North Coast LEPs	No	This Direction is not applicable to the planning proposal.
3.5 Recreation Vehicle Areas	No	This Direction is not applicable to the planning proposal.



3.6 Strategic Conservation Planning	No	This Direction is not applicable to the planning proposal as the land is not Avoided Land or a Strategic Conservation Area.
3.7 Public Bushland	No	This Direction is not applicable to the planning proposal as the Mid-Western Regional Council area is not listed as an applicable area.
3.8 Willandra Lakes Region	No	This Direction is not applicable to the planning proposal.
3.9 Sydney Harbour Foreshores and Waterways Area	No	This Direction is not applicable to the planning proposal as it is not identified as land within the Foreshores and Waterways Area of the Biodiversity and Conservation SEPP 2021.
3.10 Water Catchment Protection	No	This Direction is not applicable to the planning proposal as it will not affect land within a regulated catchment.
Focus Area 4: Resilience and Hazards		
4.1 Flooding	No	This Direction is not applicable to the planning proposal as the land is not identified as flood prone. Refer to Section 4.3.2.1 of this proposal for more information.
4.2 Coastal Management	No	This Direction is not applicable to the planning proposal as it is not coastal use, coastal environment, coastal wetland or littoral rainforest area.
4.3 Planning for Bushfire Protection	Yes	This Direction is not applicable to the planning proposal as it is not bushfire prone land.
4.4 Remediation of Contaminated Land	Yes	<p>A Preliminary Site Investigation is provided at Appendix 7.</p> <p>An analysis of the historical land use, supplemented by input from property owners, indicates that the site has a minimal risk of contamination. The land has been used predominantly for low-intensity agricultural activities such as grazing and cropping, which are generally regarded as low-risk for contamination.</p> <p>Regarding the SEPP (Resilience and Hazards) 2021, Chapter 4 Remediation of Land, the potential for contamination and the site's suitability for residential purposes have been considered.</p> <p>Although the contamination risk is minimal, any future development on the site will still need to adhere to the provisions outlined in Chapter 4 of this SEPP. Despite this, there are no obvious signs of contamination which will obstruct the typical DA requirements for subdivision or residential use.</p>



4.5 Acid Sulfate Soils	No	This Direction is not applicable to the planning proposal as it not mapped within a probability area, per the eSPADE 2.2 service.
4.6 Mine Subsidence and Unstable Land	No	This Direction is not applicable to the planning proposal as it is not located within a proclaimed mine subsidence district.

Focus Area 5: Transport and Infrastructure

5.1 Integrating Land Use and Transport	Yes	The aim of this direction is to enhance access to housing, jobs, and services via public and active transport and facilitate the efficient movement of people and goods. The planning proposal supports this by rezoning land from RU1 Primary Production to R5 Large Lot Residential. The subject site’s proximity to major transport routes, including Henry Lawson Drive and the Wallerawang-Gwabegar Railway, ensures good connectivity and regional accessibility. This rezoning will integrate future development into the regional transport network, making it easier for residents to access employment, education, and services, thus supporting regional economic growth. The proposal aligns with Objective 4 of the Central West and Orana Regional Plan 2041, promoting development in areas with existing transport infrastructure and reducing the need for new investments.
5.2 Reserving Land for Public Purposes	No	This Direction is not applicable to the planning proposal as it does not relate to public land.
5.3 Development Near Regulated Airports and Defence Airfields	No	This Direction is not applicable to the planning proposal as it does not relate to airports or defence airfields.
5.4 Shooting Ranges	No	This Direction is not applicable to the planning proposal as it does not relate to a shooting range or adjoining shooting ranges, of which there are none.

Focus Area 6: Housing

6.1 Residential Zones	Yes	The planning proposal is consistent with this direction as it will provide additional residentially zoned land and facilitate a form of development that will serve existing and future residential development in the immediate surrounding area. The proposal seeks to rezone the land from RU1 Primary Production to R5 Large Lot Residential, addressing the growing demand for rural residential properties within the Gulgong area. This rezoning will enable the land to be used for residential purposes, aligning with the region's housing needs and strategic planning objectives. Future development can be appropriately
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		managed under the existing Mid-Western Regional Development Control Plan (DCP) 2013, which is appropriate for facilitating new residential development on R5 zoned land. The current DCP provides comprehensive guidelines to ensure that future development is sustainable, well-designed, and integrates seamlessly with the existing urban fabric. By increasing the supply of large lot residential land, the planning proposal supports the goals of the Central West and Orana Regional Plan 2041 and the Mid-Western Regional Local Strategic Planning Statement 2040.
6.2 Caravan Parks and Manufactured Home Estates	No	This Direction is not relevant as it does not relate to an existing or future caravan park or manufactured home estate.

Focus Area 7: Industry and Employment

Directions 7.1 to 7.3 are not relevant to the planning proposal.

Focus Area 8: Resources and Energy

8.1 Mining, Petroleum Production and Extractive Industries	No	This Direction is not relevant as it does not relate to mineral land, production or extraction.
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Focus Area 9: Primary Production

9.1 Rural Zones	Yes	<p>The planning proposal is inconsistent with the terms of Direction 9.1 as it seeks to rezone land from RU1 Primary Production to R5 Large Lot Residential. However, there is merit in this proposal. It aligns with the Central West and Orana Regional Plan 2041 and the Mid-Western Regional Local Strategic Planning Statement 2040 which consider the objectives of protecting agricultural production while accommodating residential growth.</p> <p>The subject site is not of high agricultural value and is more suitable for residential development due to its proximity to transport infrastructure and existing residential areas. The proposal is consistent with the Central West and Orana Regional Plan 2041, which supports the strategic framework for sustainable growth and housing development in the region.</p> <p>The subject site has not been used for significant agriculture and rezoning this land will not disrupt the overall agricultural production value of the region. Therefore, while inconsistent with Direction 9.1, the proposal is justified due to its strategic alignment with approved plans and minimal impact on agricultural production</p>
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9.2 Rural Lands	Yes	<p>The planning proposal is inconsistent with Direction 9.2 as it seeks to rezone land from RU1 Primary Production to R5 Large Lot Residential and change the minimum lot size from 100 hectares to 10 hectares. However, there is merit in this proposal. It aligns with the Central West and Orana Regional Plan 2041 and the Mid-Western Regional Local Strategic Planning Statement 2040, which consider the objectives of protecting agricultural production while accommodating residential growth.</p> <p>The subject site is not of high agricultural value and is more suitable for residential development due to its proximity to transport infrastructure and existing residential areas. The proposal is consistent with the Central West and Orana Regional Plan 2041, which supports the strategic framework for sustainable growth and housing development in the region.</p> <p>The planning proposal reflects the environmental values and addresses the natural and physical constraints of the land. The proposal does not reduce the potential for sustainable rural economic activities in the area. The proposal aligns with broader strategic planning goals. The proposed rezoning ensures that the new residential development will be appropriately located considering the availability of services, infrastructure, transport, and proximity to existing centres. This minimises the risk of land fragmentation and land use conflicts, preserving the viability of existing and future rural land uses.</p> <p>Any inconsistency with Direction 9.2 is justified by the strategic alignment with approved regional and local plans. The proposed rezoning aligns with broader strategic planning goals, supporting sustainable development while addressing the needs and interests of the community. Therefore, while the proposal is inconsistent with the terms of Direction 9.2, its strategic alignment and minimal impact on agricultural production justify the proposed rezoning and lot size amendment.</p>
Section 9.3 Oyster Aquaculture	No	<p>This Direction is not relevant to the planning proposal as it does not relate to priority oyster aquaculture areas.</p>
9.4 Farmland of State and Regional Significance on the NSW Far North Coast	No	<p>This Direction is not relevant to the planning proposal as it does not relate to LGAs outlined in the Direction.</p>



4.3. ENVIRONMENTAL, SOCIAL AND ECONOMIC IMPACT

4.3.1. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected because of the proposal?

No. The subject site is identified on the Biodiversity Values map, which indicates areas with threatened species or communities with potential for serious and irreversible impacts. An extract of the subject site and Biodiversity Values map is shown by *Figure 6*.

For 2794 Henry Lawson Drive, Gulgong (Lot 415-DP755433), both the northwest side and the southwest front corner are marked with biodiversity values. At 2787 Henry Lawson Drive, Gulgong (Lot 56-DP755433), the area to the north along Henry Lawson Drive and the south border, primarily on a separate property, also show biodiversity values. 94 Canadian Lead Road, Gulgong (Lot 264-DP755433) shows biodiversity values on the west boundary running along Ridout lane, (Lot 129-DP755433) does not have any areas mapped with biodiversity values.

The subject site is also identified on the Terrestrial Biodiversity Map under the Mid-Western Regional Local Environmental Plan 2012. An extract of the subject site and Terrestrial Biodiversity Map is shown by *Figure 7*.

The Terrestrial Biodiversity Map generally reflects the Biodiversity Values map described above. For 2794 Henry Lawson Drive, Gulgong (Lot 415-DP755433), both the northwest side and southwest front corner are marked as 'high biodiversity'. At 2787 Henry Lawson Drive, Gulgong (Lot 56-DP755433), the north area along Henry Lawson Drive and the south border, mainly on a separate property, are also classified as 'high biodiversity'. In contrast, 94 Canadian Lead Road, Gulgong (Lot 129-DP755433 and Lot 264-DP755433), does not have any areas mapped as high biodiversity.

Much of the area is not classified, primarily consisting of non-native vegetation or grasslands. The classified vegetation is mostly found in pockets, with the predominant type being *Western Grey Box - cypress pine shrub grass shrub tall woodland*. This type of vegetation is categorised under Grassy Woodlands and falls within the Floodplain Transition Woodlands category. An extract of the Plant Community Types (PCT) Map is shown in *Figure 8*.

The planning proposal is unlikely to cause significant impact to this vegetation. Future development on the subject site will consider environmental impacts and vegetation removal and future subdivision can avoid significant areas. As discussed throughout this planning proposal, the subject site is mostly cleared of vegetation.

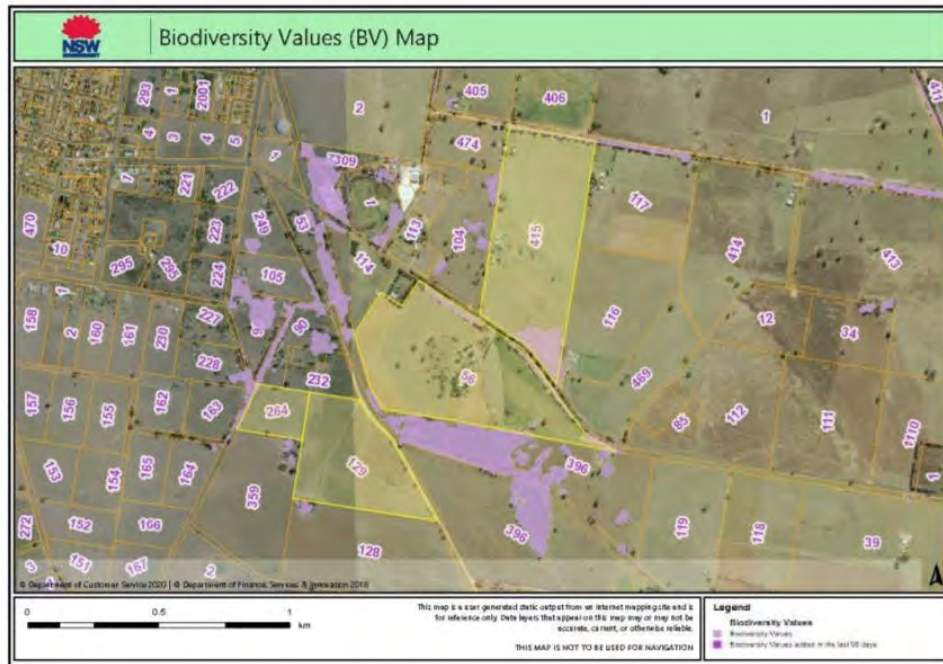


Figure 6: Biodiversity Values Map (source: SEED Map)

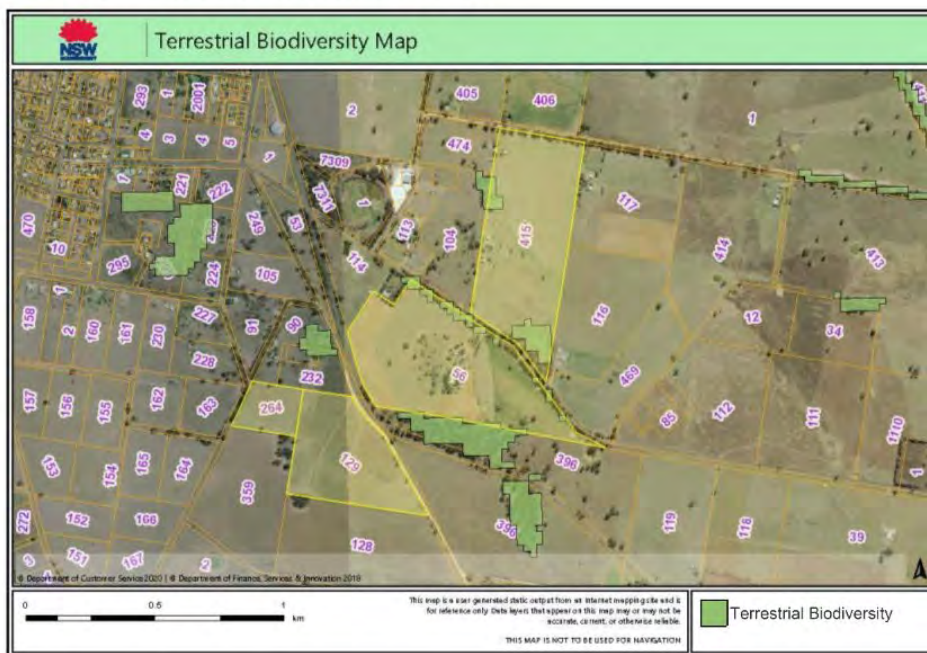


Figure 7: Terrestrial Biodiversity Map (source: SEED Map)

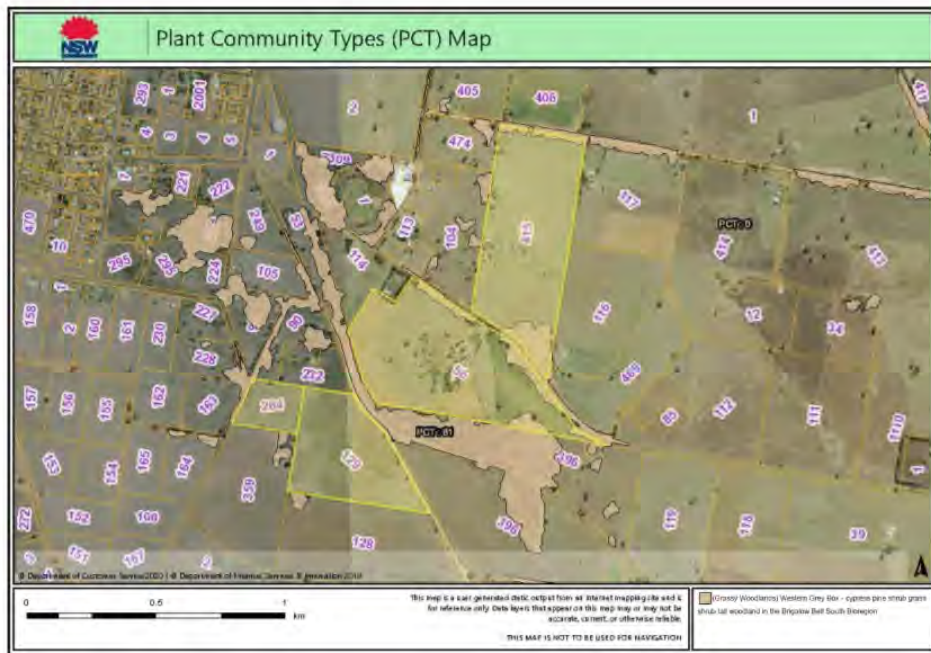


Figure 8: Plant Community Types (PCT) Map (source: SEED Map)

4.3.2. Are there any other likely environmental effects of the planning proposal and how are they proposed to be managed?

4.3.2.1. Flooding

The subject site is not identified as flood-prone land. The proposed rezoning will not intensify land use on flood-prone land.

4.3.2.2. Contamination

A Preliminary Contamination Investigation (**Appendix 7**) confirms that the subject site appears to have been used for low-intensity agricultural purposes (grazing and cropping) since at least 1964. No known contamination or contaminating activities have occurred on the subject site.

4.3.2.3. Geotechnical

The subject site is not identified as having acid sulfate soils. No significant geotechnical constraints are identified that cannot be managed by future development.

4.3.2.4. Bushfire

The subject site is not identified as bushfire prone land.

4.3.2.5. Noise and Vibration

No noise and vibration constraints are identified. Future development must consider noise and vibration impacts. At 2794 Henry Lawson Drive future development can maintain a setback of more than 200 meters from both Henry Lawson Drive. At 2787 Henry Lawson Drive, development can maintain a setback of more than 200 meters from both Henry Lawson Drive and the Wallerawang Gwabegar Railway. Similarly, at 94 Canadian Lead Road, development can maintain a setback of more than 200 meters from the Wallerawang Gwabegar Railway. This ensures appropriate noise and vibration buffers.



4.3.2.6. Air Quality

The subject site is adjacent to a rural residential area with large lot zones and some extensive agriculture. No high-intensity agricultural uses are nearby. The proposed rezoning will not negatively impact existing or future developments on the subject site and surrounding areas. Future development must consider air quality impacts on the surrounding development.

None of the roads are major roads (classified, a State Highway, or Goolma Road – per the DCP). The Development Control Plan allows for the following setbacks for R5 zoned land greater than 5 hectares: a 60-meter street setback and a 20-meter side/rear setback.

At 2794 Henry Lawson Drive future development can maintain a setback of more than 200 meters from both Henry Lawson Drive. At 2787 Henry Lawson Drive, future development can maintain a setback of more than 200 meters from both Henry Lawson Drive and the Wallerawang Gwabegar Railway. At 94 Canadian Lead Road, development can maintain a setback of more than 200 meters from the Wallerawang Gwabegar Railway. This ensures appropriate air quality buffers.

4.3.2.7. Agricultural Capability

No significant constraints related to agricultural capability are identified for the subject site. The land is primarily open farmland, historically used for low-intensity agriculture and grazing. The proposed rezoning to R5 Large Lot Residential is consistent with nearby land uses and does not impact agricultural productivity. Future development must consider maintaining the existing agricultural potential, such as hobby farming, small-scale crop production, and grazing. The land's capability supports the proposed rezoning without compromising its current or potential agricultural uses.

4.3.2.8. Visual Impacts

The subject site is located on the fringe of the Gulgong township and is characterised by its rural landscape with scattered residential and agricultural structures. The proposed rezoning to R5 Large Lot Residential will introduce more residential development to the area, potentially altering its visual character. However, the visual impact of this rezoning is expected to be minimal for several reasons:

Natural Screening: Existing vegetation and pasture around the subject site will provide natural screening for new developments. This will help blend new structures into the landscape, reducing their visual prominence.

Low-Density Development: The R5 zoning allows for large lot residential development, which results in low-density housing. This type of development is consistent with the rural character of the area and will not lead to high-density urbanisation. The rezoning is not introducing a minimum lot size that would result in a noticeable amount of new dwellings.

Design Guidelines: Future development will be assessed against the objectives of the R5 Large Lot Residential Zone, including;

- Providing residential housing in a rural setting while preserving and minimising impacts on environmentally sensitive locations and scenic quality.
- Ensuring large residential lots do not hinder proper and orderly urban development in the future.
- Preventing unreasonable increases in demand for public services or facilities.
- Minimising conflict between land uses within this zone and adjoining zones.

Additionally, development will be subject to the Mid-Western Regional Development Control Plan 2013 (or as amended), ensuring buildings are sympathetic to the rural aesthetic.



Setbacks and Buffers: Adequate setbacks from property boundaries and existing roads will be enforced to maintain open spaces and minimise visual intrusion. These buffers will help maintain the rural feel of the area and provide space for landscaping.

Elevation and Topography: The subject site's generally flat topography will limit the visual impact of new structures. Any small elevations in the northern and central lot already contain dwelling houses, and therefore development will not impact visual impact upon these areas.

Assessment: Overall, while the rezoning is anticipated to result in increased residential development, it will be a barely noticeable amount, and the visual impact can be mitigated through careful planning and design, ensuring that the rural character and scenic quality of the area are preserved. Future developments will be integrated into the landscape in a way that maintains the visual integrity of the Gulgong township and its surroundings.



Figure 9: Concept Subdivision Plan (Appendix 1) (source: de Witt Consulting)

4.3.3. Has the planning proposal adequately addressed any social and economic effects?

4.3.3.1. Heritage

No Aboriginal heritage items or areas have been identified on or around the subject site. The proposal is not likely to result in any heritage impacts. AHIMS Search Results are provided at **Appendix 3**. No Aboriginal sites or places have been observed within a 1km radius. There are no known impacts to Aboriginal Heritage that require consideration.

The site at 2794 Henry Lawson Drive, Gulgong NSW 2852 (Lot 415 DP755433) is approximately 350 meters from Lot 1 DP1062193 (2862 Henry Lawson Drive, Gulgong NSW 2852), which is mapped as a heritage item (Old Railway Dam and Pump Shed, Significance: Local). The site at 94 Canadian Lead Road, Gulgong NSW 2852 (Lot 264 DP755433) is approximately 485 meters from Lot 249 DP755433 (10 Canadian Lead Road, Gulgong NSW 2852), which is mapped as a heritage item ('Tarrawonga', House, Significance: Local). There are no known impacts to non-Aboriginal Heritage that require consideration.



4.3.3.2. *Social Impacts*

The planning proposal aims to enhance the social fabric of the Gulgong community by providing additional rural residential housing options. This will help to accommodate the growing population and attract new residents, contributing to the vitality and diversity of the local community. The proposal ensures that development is sympathetic to the existing rural character, preserving the area's scenic and environmental qualities.

Furthermore, the increase in residential housing will support local amenities and services, including schools, healthcare, and recreational facilities, by boosting their utilization and viability. By planning for sustainable growth, the proposal aims to foster a sense of community and improve the overall quality of life for residents.

4.3.3.3. *Economic Impacts*

The rezoning of the land from RU1 Primary Production to R5 Large Lot Residential is expected to stimulate economic growth in the Mid-Western Regional LGA. The proposal will create new opportunities for local businesses and services, as an increase in the residential population will drive demand for goods and services, contributing to local economic development.

The proposal also supports the construction industry by creating jobs during the development phase and providing long-term employment opportunities in the local area. Additionally, the increase in housing supply will help to address the current demand for rural residential properties, potentially stabilising property prices and making the area more attractive for investment.

By promoting sustainable development and preserving environmental integrity, the proposal ensures that economic growth is balanced with the need to protect the natural and cultural heritage of the area. This balance will help to maintain the region's appeal and support long-term economic stability.

4.4. **INFRASTRUCTURE (LOCAL, STATE AND COMMONWEALTH)**

4.4.1. *Is there adequate public infrastructure for the planning proposal?*

4.4.1.1. *Traffic and Transport*

The planning proposal has considered the current and future traffic and transport needs of the area. The proposed rezoning to R5 Large Lot Residential will likely result in a very minor increase in local traffic due to additional residential development. The existing road network, including Henry Lawson Drive and Canadian Lead Road, is considered to provide adequate connectivity to support this.

Henry Lawson Drive is a sealed road that provides direct access to both 2794 Henry Lawson Drive (Lot 415-DP755433) and 2787 Henry Lawson Drive (Lot 56-DP755433). Snelsons Lane is an unsealed road that bounds the northern side of 2794 Henry Lawson Drive (Lot 415-DP755433). Canadian Lead Road transitions from sealed to dirt at the intersection with Ridout Lane, which is approximately 400 meters from Lot 129 DP755433. Ridout Lane is an unsealed road that provides access to Lot 264 DP755433, however it is more likely that access will continue from Canadian Lead Road.

The proposal leverages these existing transport connections, ensuring that future development will integrate well with the transport network. This will facilitate access for residents to employment, education, and services.

The proposed rezoning is not expected to generate traffic volumes that would classify it as a traffic-generating development under Schedule 3 of the SEPP (Transport and Infrastructure) 2021. Therefore, no referral to Transport for NSW is required at this stage. Future development will be assessed for traffic impact.



The existing traffic and transport infrastructure is considered adequate to support the planning proposal.

4.4.1.2. *Public Facilities and Services*

The planning proposal will enable development that is likely to increase the demand for public facilities and services. An assessment of existing infrastructure has been undertaken to determine its adequacy to meet the needs of the proposed development.

The existing infrastructure, including roads, utilities, and public services, has been reviewed and found to be generally adequate to support the proposed rezoning.

A specific local contributions plan is not considered necessary. The Mid-Western Regional Contributions Plan is considered appropriate for facilitating the provision of future development. The planning proposal is likely to place minor additional demands on public infrastructure. It is considered that the existing Mid-Western Regional Contributions Plan ensures all requirements are met and that the development proceeds in a way that supports the community's needs and infrastructure capabilities.

4.4.1.3. *Utilities*

The planning proposal and the proposed lot sizes have been developed considering the need to provide adequate water, sewer, and power services. This includes evaluating the relevant utilities in proximity to the subject site and ensuring sustainable and efficient service provision.

4.4.1.3.1. *Sewer*

Effluent disposal on the subject site is currently managed through onsite sewage management systems (OSSMS). Future development is anticipated to also utilise OSSMS, being of a suitable size. Any new systems will require approval from the Council under Section 68 of the Local Government Act 1993.

4.4.1.3.2. *Water Supply*

For future development, the northern lot is currently serviced by a reticulated water system, providing a reliable water source for future development. For the other lots, water supply is anticipated to rely on individual bores and rainwater harvesting systems. Each lot is large enough to support these sources sustainably. Future development can include individual bores through a basic landholder rights (BLR) bore water supply work approval under section 92 of the Water Management Act 2000, allowing groundwater extraction for domestic use and stock watering.

An assessment of potential for BLR bores is provided at **Appendix 8**. Future lots will align with the requirements for BLR bores under the Water Management Act 2000 and the Water Sharing Plan for the NSW Murray Darling Basin Fractured Rock Groundwater Sources. The site's compliance with the relevant standoff distances, including those related to on-site sewage management systems, ensures that future water supply works can be approved without significant environmental or public health concerns. The assessment confirms that the proposed development will not negatively impact groundwater sources or other environmental factors, including compliance with wastewater OSSMS restrictions by maintaining adequate separation distances or implementing necessary construction methods such as cement grouting. As such, the proposed rezoning and subsequent bore installations are expected to proceed without significant obstacles.

4.4.1.3.3. *Electricity Supply*

Regarding electricity infrastructure, supply will be provided as part of any application for future development. Given the scale of the anticipated development, no adverse impact on the existing electricity infrastructure is expected. The existing infrastructure is considered



capable of supplying the proposed development. However, the lots are of sufficient scale to allow for alternative electricity sources such as off-grid solar if required.

4.5. STATE AND COMMONWEALTH INTERESTS

4.5.1. What are the views of the State and federal public authorities and government agencies consulted in order to inform the Gateway determination?

4.5.1.1. Department of Planning and Environment

4.5.1.1.1. Council

The Scoping Proposal (where a MLS of 5ha was proposed initially) was referred to Department of Planning, Industry, and Environment (DPHI) as part of the Pre-Lodgement phase.

Mid-Western Regional Council and DPHI held the position that the proposal, as submitted with a 5ha MLS, was inconsistent with the established and consistently applied MLS for rural lifestyle. This inconsistency made it unlikely to gain support.

- Council did not find it necessary to engage with other agencies at this stage.
- Council indicated that if the MLS achieves 12 hectares, the proposal would be considered consistent.
- If reduced to 10 hectares with adequate justification regarding water supply, the proposal could also be considered consistent.

As a result of the above consultation, the planning proposal has been amended to have a MLS of 10 hectares. Adequate consideration of water supply is provided in Section 4.4.1.3.2 and Section 4.5.1.2 below.

4.5.1.1.2. SEPP (Primary Production and Rural Development) 2021

The State Environmental Planning Policy (Primary Production and Rural Development) 2021 is administered by the Department of Planning and Environment. Consideration of the SEPP is provided in Section 4.2.3. The planning proposal is considered consistent with the SEPP (Primary Production) 2021 objectives by ensuring that it does not adversely affect the economic use of the land for primary production and aligns with goals of minimising land use conflict while supporting sustainable rural development. Consideration of the land's current use, potential economic impacts, and alignment with regional planning strategies ensures that the proposal supports both the local economy and sustainable development objectives.

The support of Department of Planning and Environment is sought.

4.5.1.2. WaterNSW

The northern lot is currently serviced by a reticulated water system, providing a reliable water source for future development. For the other lots, future domestic water supply is anticipated to be managed through roof catchment and bore water supply. Each lot is large enough to support these sources sustainably. Water NSW is the applicable authority for the water supply work approval under section 92 of the Water Management Act 2000, allowing future lots to individually bore and use groundwater for domestic use and stock watering.

The subject site is located in the central inland-draining catchments harvestable rights area. In this area, up to 10% of the average annual regional rainfall runoff may be captured and used for any purpose, including domestic consumption, stock watering, and extensive agriculture. Dams for harvestable rights can be located on non-permanent minor streams, hillsides, and gullies, but they cannot be located within 40 metres of a third-order or higher-order stream or within 3 kilometres upstream of a Ramsar-listed wetland. For a landholding area of 10 hectares, the maximum volume of water that can be captured as a harvestable right is approximately 0.7 megalitres, which equals 700,000 litres.

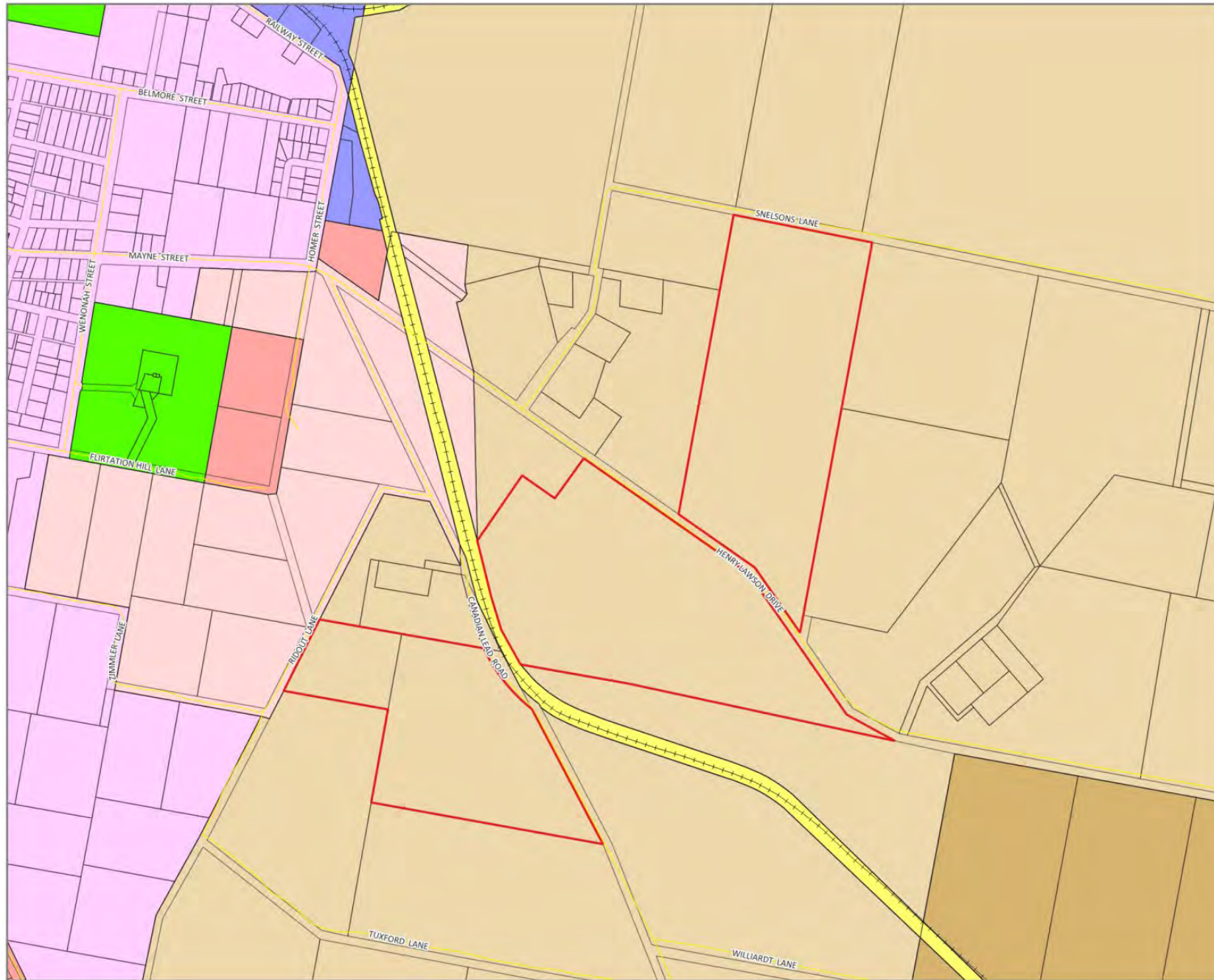


5. MAPS

Mapping of existing land use development controls and those proposed to be implemented through the LEP amendment in Part 3 of this report are provided below (*Figures 10, 11, 12 and 13*).

The rezoned land would not be subject to maximum height development controls (Clause 4.3 Height of Buildings) and will remain as existing. Council has not adopted Clause 4.4 Floor Space Ratio and there are no proposed FSR development standards to be applied as part of this rezoning proposal.

GIS files can be supplied to Council for the preparation of amended LEP maps as required.



**FIGURE 10
 EXISTING
 ZONING**

LEGEND

- ROADS
- - - RAILWAY
- ▭ SITE BOUNDARY
- ▭ CADASTRE
- LAND USE ZONES**
- E4
- R1
- R2
- R5
- RE1
- RU1
- RU4
- SP2

SITE ADDRESS:
 GULGONG NSW 2852

CLIENT DETAILS:
 VARIOUS LANDOWNERS

PREPARED BY:



A3 SCALE: 1:8,000
 DWC REF: 14046
 VERSION: 01
 CRS: EPSG:28355
 AUTHOR: LP
 APPROVED: MB
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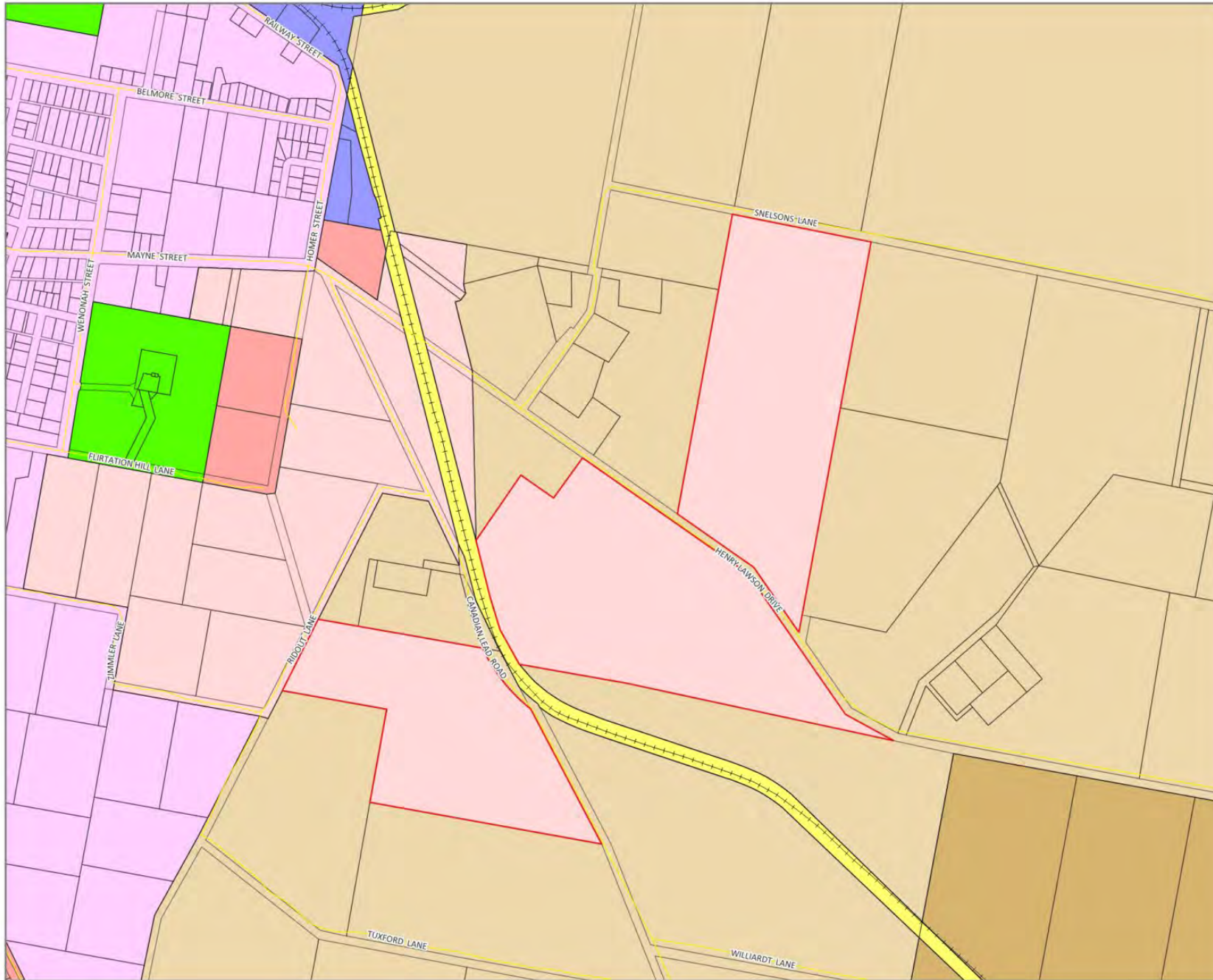


FIGURE 11
PROPOSED
ZONING

LEGEND

- ROADS
- +++ RAILWAY
- ▭ SITE BOUNDARY
- ▭ CADASTRE
- LAND USE ZONES**
- E4
- R1
- R2
- R5
- RE1
- RU1
- RU4
- SP2

SITE ADDRESS:
 GULGONG NSW 2852

CLIENT DETAILS:
 VARIOUS LANDOWNERS

PREPARED BY:



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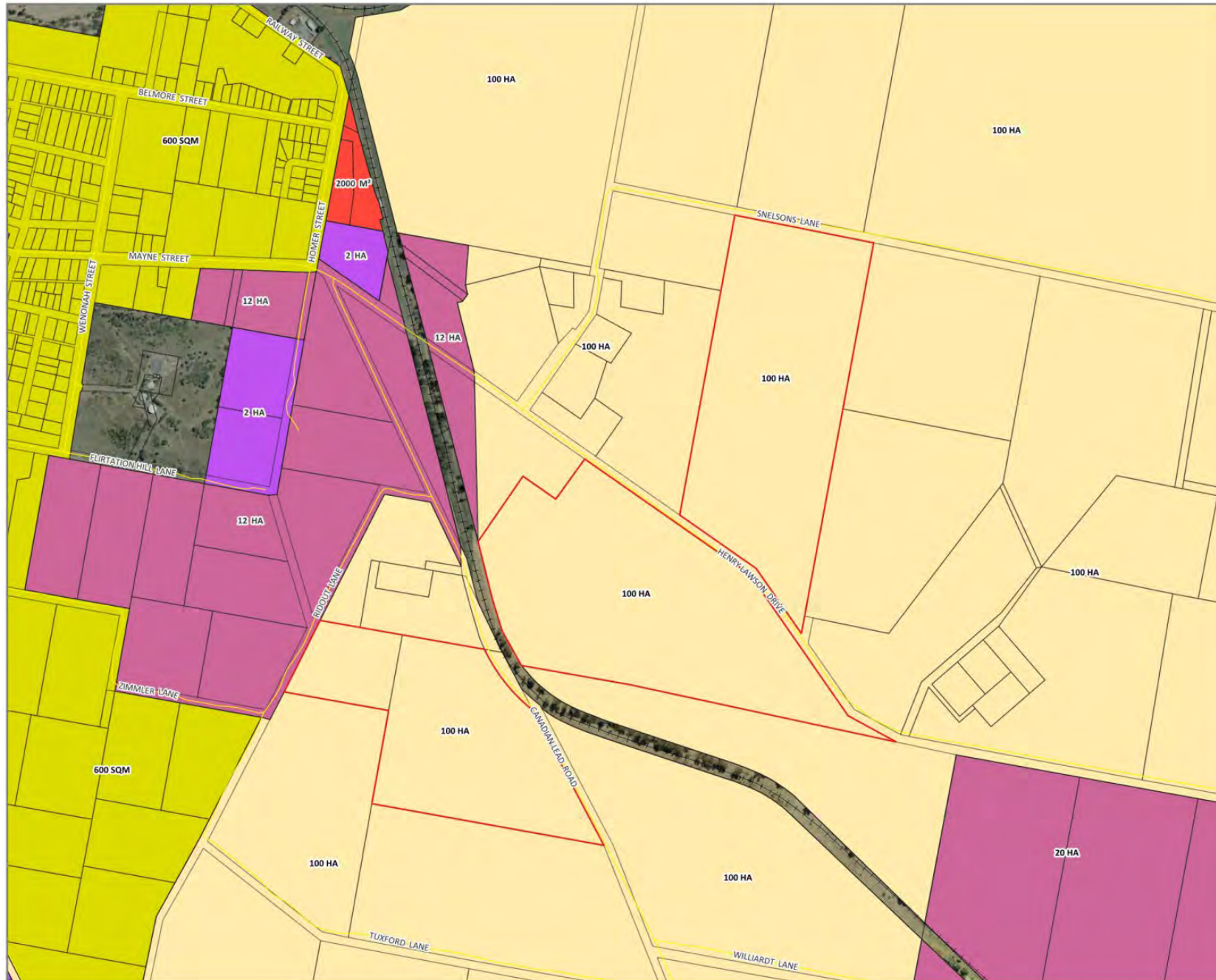


FIGURE 12
EXISTING
MINIMUM LOT
SIZE

LEGEND

- ROADS
- +— RAILWAY
- ▭ SITE BOUNDARY
- ▭ CADASTRE
- MINIMUM LOT SIZE**
- ▭ 600 SQM
- ▭ 2000 SQM
- ▭ 2 HA
- ▭ 12 HA
- ▭ 20 HA
- ▭ 100 HA

SITE ADDRESS:
 GULGONG NSW 2852

CLIENT DETAILS:
 VARIOUS LANDOWNERS

PREPARED BY:



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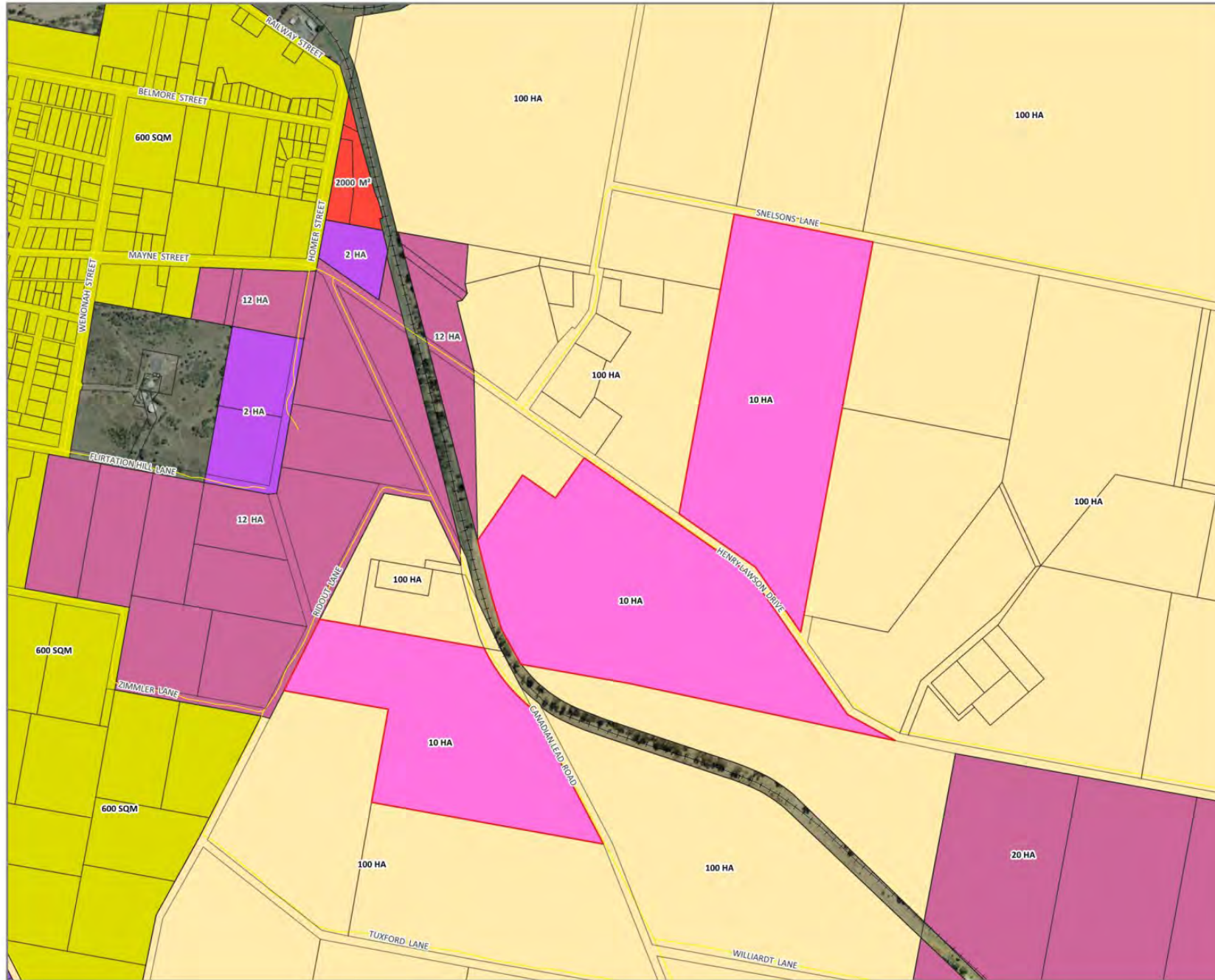


FIGURE 13
PROPOSED
MINIMUM LOT
SIZE

LEGEND

- ROADS
- +— RAILWAY
- ▭ SITE BOUNDARY
- ▭ CADASTRE
- MINIMUM LOT SIZE**
- 600 SQM
- 2000 SQM
- 2 HA
- 10 HA
- 12 HA
- 20 HA
- 100 HA

SITE ADDRESS:
GULGONG NSW 2852

CLIENT DETAILS:
VARIOUS LANDOWNERS

PREPARED BY:



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6. COMMUNITY CONSULTATION

Formal community consultation has not yet been undertaken. The LEP making process does not require formal community consultation prior to a proponent submitting a planning proposal to council.

The most appropriate time for community consultation for planning proposals is after a Gateway determination is issued and all relevant reports have been completed. This ensures the community has clear and evidence-based information available to help them make informed comments on the proposal.

Community consultation will be undertaken in accordance with any Gateway determination. The Gateway determination will specify:

- The duration and extent of community consultation including if targeted consultation is to occur with authorities, agencies or other stakeholders prior to public exhibition.

Once consultation is completed, the PPA should evaluate and assess these comments and address any concerns, to then determine whether the LEP should be made in accordance with the planning proposal.



7. PROJECT TIMELINE

The timeframe for the completion of the planning proposal will depend on the planning proposal category, the complexity of the matter, the nature of any additional information that may be required and the need for agency and community consultation. The timeframes for which an LEP is made will be determined by the Department at the Gateway stage and set out in the Gateway determination.

A project timeline is provided below in *Table 5* which outlines the anticipated stages and dates for the planning proposal. Each stage is defined to ensure a systematic and transparent process.

Table 5: Anticipated timeline based on Standard Benchmark Timeframes

Stage	Benchmark Timeframes (Standard)	Date
Pre-lodgement	50 days	Complete
Planning Proposal	95 days	October 2024 - January 2025
Gateway Determination	25 days	January 2025 – February 2025
Post-Gateway	50 days	February 2025 – March 2025
Public Exhibition & Assessment	95 days	April 2025 – June 2025
Finalisation	55 days	June 2025 – July 2025
Total Timeframes (End to End)	320 days	July 2025

We note that timeframes are estimates and may change over the life of the proposal. Furthermore, local government elections and associated caretaker period which are being held within the later months of 2024 (~August to ~December 2024) will impact Council's ability to determine that a Planning Proposal proceed to Gateway. The project timeline may be amended in the Gateway determination to provide the necessary level of confidence that the LEP will be finalised within a reasonable timeframe.



8. ALTERNATIVE FOR CONSIDERATION

As discussed, an earlier version of the proposal was submitted to Council and DPHI for a rezoning to R5 Large Lot Residential and a 5ha MLS.

Mid-Western Regional Council and DPHI held the position that the proposal, as submitted with a 5ha MLS, was inconsistent with the established and consistently applied MLS for rural lifestyle. This inconsistency made it unlikely to gain support. Council did advise that if reduced to 10 hectares with adequate justification regarding water supply, the proposal could also be considered consistent.

As a result of the above consultation, the planning proposal has been amended to have a MLS of 10 hectares. Adequate consideration of water supply is provided in Section 4.4.1.3.2 and Section 4.5.1.2, as discussed.

However, we would also seek to propose a further, alternative approach for Council's consideration – being a MLS of 9ha. For reference, the site areas are again as follows:

- Northern site: 27.09ha
- Central site: 29.898ha
- Southern site: 19.919ha

As can be appreciated, the increase to a 10ha MLS only allows the northern and central site 1 additional lot each, and no additional lots for the southern site. Conversely, a 9ha MLS works much more logically, mathematically subdividing the northern and central site into 3 lots and the southern site into 2 lots.

Noting that Council seems generally supportive of a 10ha MLS, we would seek further flexibility in the support of a 9ha MLS, in the interest of achieving a more logical and meaningful future subdivision of these sites. We would also stress that these lot sizes are still able to be supported in terms of servicing, particularly water servicing and on-site wastewater management.

An indicative (high level) Concept Subdivision Plan has been drafted overleaf in *Figure 14*, to provide Council and DPHI an appreciation of the possible lot sizes and boundary locations. We would emphasise that this Concept Subdivision Plan actually aligns more closely with the 10ha MLS than the current concept subdivision under a stringent 10ha MLS, as all lots are actually within ~10% of the 10ha MLS, whereas currently the concept lots are generally much larger (at approximately 10ha, 12ha, 16ha, 18ha and 19ha).

We would welcome the opportunity to explore this alternative approach further with Council and DPHI once an initial assessment of the information is undertaken. Further, we are also able to supply further information in terms of water servicing or a refined alternative concept subdivision plan, at Council's request.



Figure 14: Indicative alternative subdivision (de Witt Consulting)



9. CONCLUSION

The planning proposal to rezone land at Gulgong, NSW 2852 (Lots 56, 129, 264 & 415 DP755433) from RU1 Primary Production to R5 Large Lot Residential aligns with regional and local planning frameworks. This proposal aims to meet the growing demand for large lot residential properties in the Gulgong area, fostering sustainable development, economic growth, and enhanced community infrastructure.

The rezoning will provide additional rural residential land, optimizing land use and supporting rural lifestyle living. By changing the minimum lot size from 100 hectares to 10 hectares, the proposal promotes sustainable and efficient development in the region. It aligns with the objectives of several key planning documents, including the Central West and Orana Regional Plan 2041, which supports sustainable growth, housing, and economic development. It also aligns with the Mid-Western Regional Local Strategic Planning Statement 2040, addressing housing needs, infrastructure development, and the preservation of environmental and cultural heritage, and the Mudgee and Gulgong Urban Release Strategy 2023, which provides a framework for systematic land release and addresses housing needs. Importantly, it is consistent with the Mid Western Comprehensive Land Use Strategy, specifically the priority rezoning areas and development of unconstrained lands.

The planning proposal addresses environmental, social, and economic impacts. The subject site is not prone to significant environmental hazards such as flooding or bushfires. The proposal promotes rural lifestyle living, enhancing the quality of life for residents and supporting community health and connectivity. It supports local economic growth by attracting new residents and encouraging investment.

The planning proposal includes a detailed project timeline with estimated dates for key stages such as Gateway determination, infrastructure studies, public exhibition, and finalisation. The site plan (**Figure 1**) and location plan (**Figure 2**) prepared by de Witt Consulting provide a clear representation of the proposed rezoning area. The existing and proposed land use zoning maps (**Figures 10 and 11**) and lot size maps (**Figures 12 and 13**) demonstrate the changes in zoning and lot sizes. The concept subdivision plan (**Appendix 1**) illustrates the potential layout of the proposed development, while the utility and infrastructure servicing strategy (**Appendix 2**) outlines existing infrastructure and utilities. The AHIMS search results (**Appendix 3**) ensure that the proposal considers heritage. The subject site's suitability for residential use is supported by historical land use analysis, which considers the potential for site contamination.

In conclusion, the proposed rezoning of land at Gulgong to R5 Large Lot Residential is a well-considered proposal that supports strategic regional and local planning objectives. It addresses the growing demand for rural residential land, optimizes land use, enhances community infrastructure, stimulates economic growth, and preserves environmental integrity. The proposal has been prepared to assist the Mid-Western Regional Council in the Gateway determination process and to facilitate the sustainable development of Gulgong, ensuring a balanced and resilient future for the community. This planning proposal is recommended for approval, subject to the conditions and assessments outlined in this report.



APPENDICES



APPENDIX 1

Concept Subdivision prepared by de Witt Consulting



APPENDIX 2

Utility and Infrastructure Servicing Strategy prepared by de Witt Consulting



APPENDIX 3

AHIMS Search Result



APPENDIX 4

Comprehensive Land Use Strategy Opportunities Map prepared
by de Witt Consulting



APPENDIX 5

Deposited Plans



APPENDIX 6

Certificate of Titles



APPENDIX 7

Preliminary Contamination Assessment



APPENDIX 8

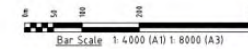
Assessment of Potential for Basic Landholder Rights (BLR) Bores



NOTES:

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN AT THE SCALE/S STATED. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. THE BOUNDARIES AND AREAS SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES SHOWN HAVE BEEN DERIVED DCDB. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.
4. DURING THE COURSE OF THIS SURVEY NO INVESTIGATION HAS BEEN UNDERTAKEN TO DETERMINE THE EXISTENCE OF ANY POSSIBLE SUBTERRANEAN ENCROACHMENTS.

PRELIMINARY ONLY



Limited Liability by a scheme approved under the Professional Standards Legislation

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 planning | surveying | project management

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WESTERN REGION
 87 Herbert Street Gulgong
 PO Box 233 Gulgong NSW 2802
 P 02 4374 9911 F 10 6374 2922
 ABN 23 104 067 405

TITLE	CONCEPT SUBDIVISION
	LOTS 56, 104, 129, 264 & 415 D.P.755433

Rev	Date	Amendment
11		
10		
9		
8		
7		
6		
5		
4		
3		
2	10.09.24	UPDATED PRELIMINARY CONCEPT - FOR DISCUSSIONS ONLY
1	08.04.24	PRELIMINARY CONCEPT - FOR DISCUSSIONS ONLY

JOB ADDRESS:	28 SNELSONS LANE, GULGONG	REVISION	B	JOB REF:	14046
CLIENT:	OSCAR MARIN	ORIGIN OF LEVELS		DRAWN BY	BT
SCALE:	A1 1:4000 A3 1:8000			SURVEYOR	JL
SURVEY DATE:				CHECKED	JL
PLAN DATE:	10.09.24			APPROVED	JL
DATUM:					
CAD REF:				DRAWING REF:	14046-CONCEPT SUBDIVISION-10.09.24
				SHEET No	1/1



**APPENDIX 2
 SERVICES PLAN**

LEGEND

- ROADS
- +— RAILWAY
- ▭ SITE BOUNDARY
- ▭ CADASTRE
- SEWER LINE
- WATER LINE
- ◆ ELECTRICITY (OVERHEAD LINES)

SITE ADDRESS:
 GULGONG NSW 2852

CLIENT DETAILS:
 VARIOUS LANDOWNERS

PREPARED BY:



A3 SCALE: 1:8,000
 DWC REF: 14046
 VERSION: 01
 CRS: EPSG:28355
 AUTHOR: LP
 APPROVED: MB
 DATA © NSW SPATIAL SERVICES
 2024

VERSION HISTORY:
 01: INITIAL RELEASE 29/05/2024
 02:
 03:

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AHIMS Web Services (AWS)
Search Result

Your Ref/PO Number : 14046

Client Service ID : 914716

Banjo Rose
7 Canberra St
Charlestown New South Wales 2290
Attention: Banjo Rose
Email: banjo.rose@dewittconsulting.com.au

Date: 30 July 2024

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 56, DP:DP755433, Section : - with a Buffer of 1000 meters, conducted by Banjo Rose on 30 July 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



AHIMS Web Services (AWS)
Search Result

Your Ref/PO Number : 14046

Client Service ID : 914717

Banjo Rose
7 Canberra St
Charlestown New South Wales 2290
Attention: Banjo Rose
Email: banjo.rose@dewittconsulting.com.au

Date: 30 July 2024

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 129, DP:DP755433, Section : - with a Buffer of 1000 meters, conducted by Banjo Rose on 30 July 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

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- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



AHIMS Web Services (AWS)
Search Result

Your Ref/PO Number : 14046

Client Service ID : 914718

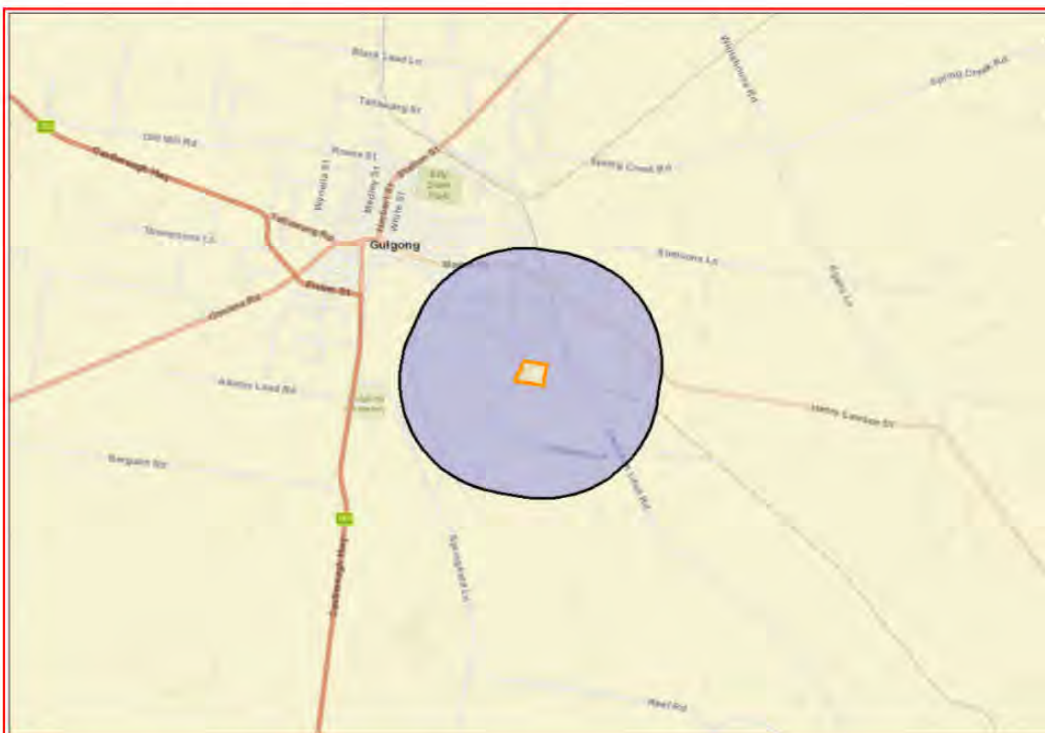
Banjo Rose
7 Canberra St
Charlestown New South Wales 2290
Attention: Banjo Rose
Email: banjo.rose@dewittconsulting.com.au

Date: 30 July 2024

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 264, DP:DP755433, Section : - with a Buffer of 1000 meters, conducted by Banjo Rose on 30 July 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

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- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



AHIMS Web Services (AWS)

Search Result

Your Ref/PO Number : 14046

Client Service ID : 914719

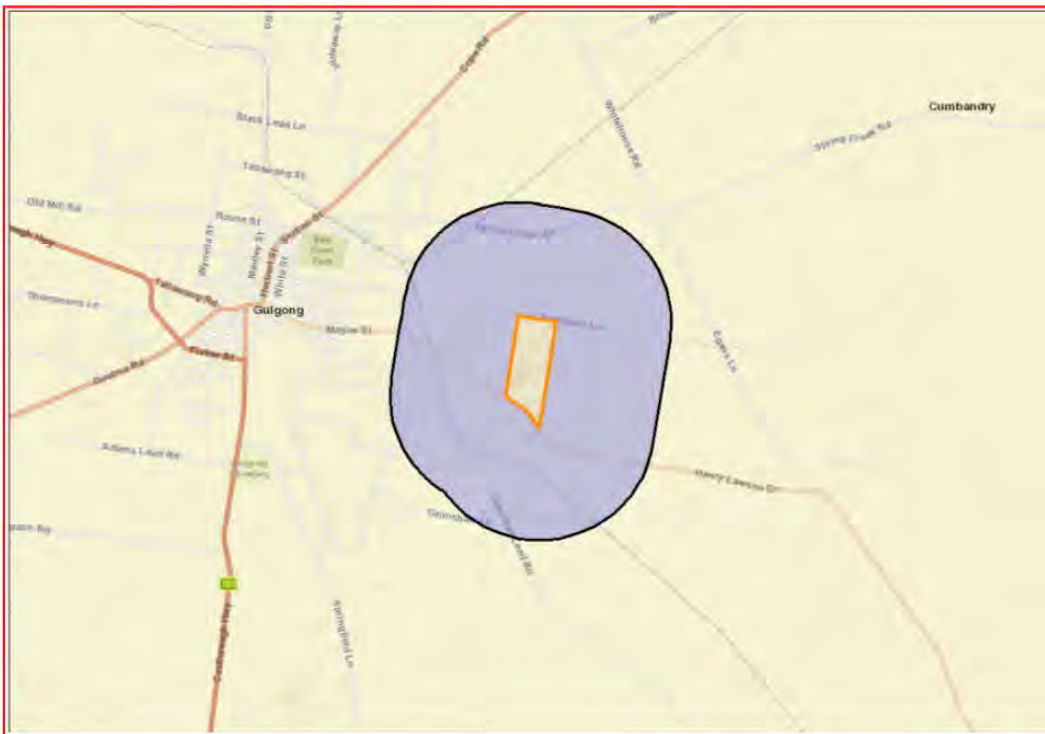
Banjo Rose
7 Canberra St
Charlestown New South Wales 2290
Attention: Banjo Rose
Email: banjo.rose@dewittconsulting.com.au

Date: 30 July 2024

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 415, DP:DP755433, Section : - with a Buffer of 1000 meters, conducted by Banjo Rose on 30 July 2024.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

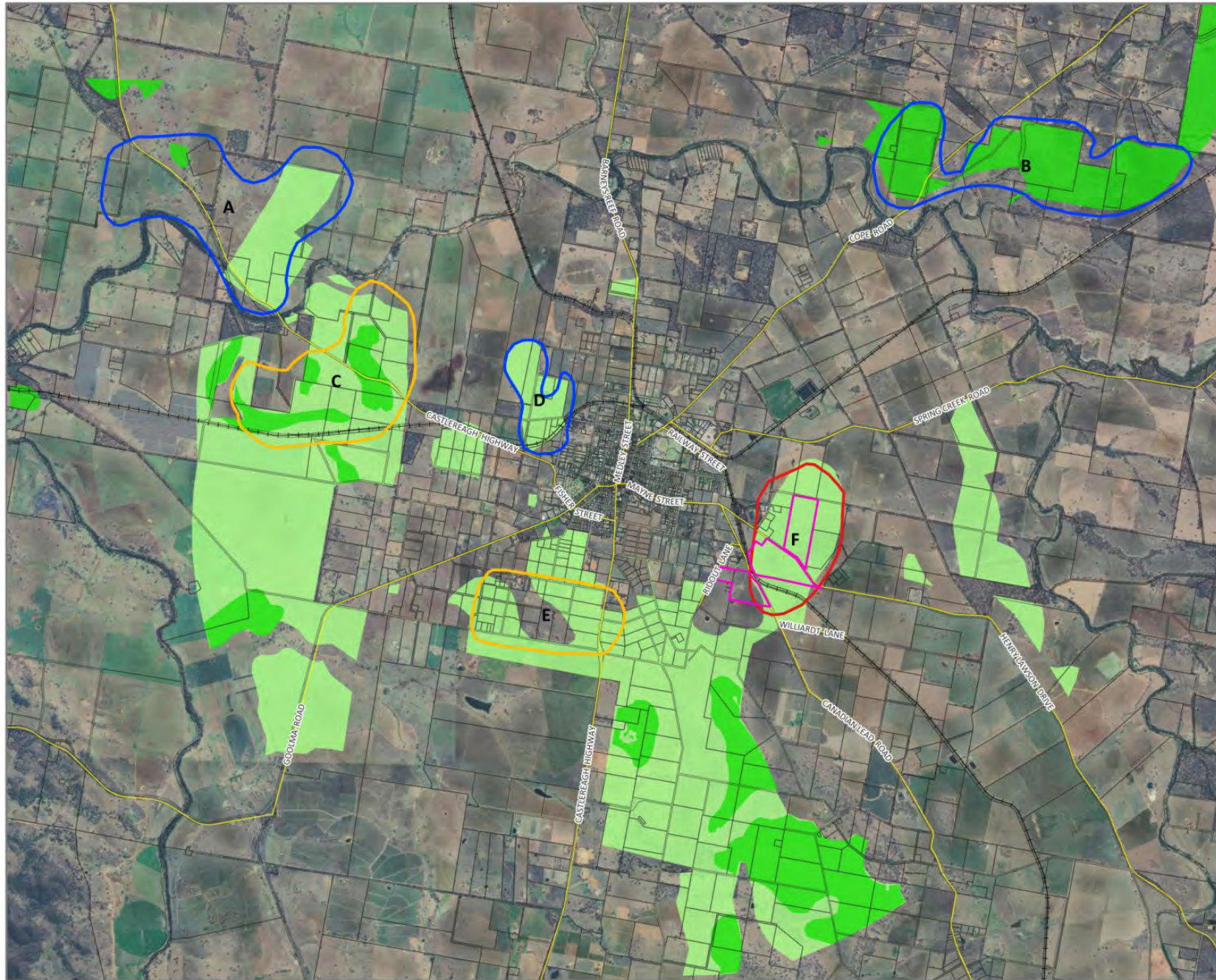
0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

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- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.



**APPENDIX 4
 CONSISTENCY
 WITH CLUS**

LEGEND

- SITE BOUNDARY
- ROADS
- RAILWAY
- CADASTRE

**OPPORTUNITY AREAS
 AND PRIORITISATION**

- SHORT
- MEDIUM
- LONG

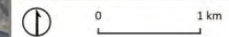
CONSTRAINTS

- CLASS 3 LAND
(OTHERWISE UNCONSTRAINED)
- OPPORTUNITY

SITE ADDRESS:
 GULGONG NSW 2852

CLIENT DETAILS:
 VARIOUS LANDOWNERS

PREPARED BY:



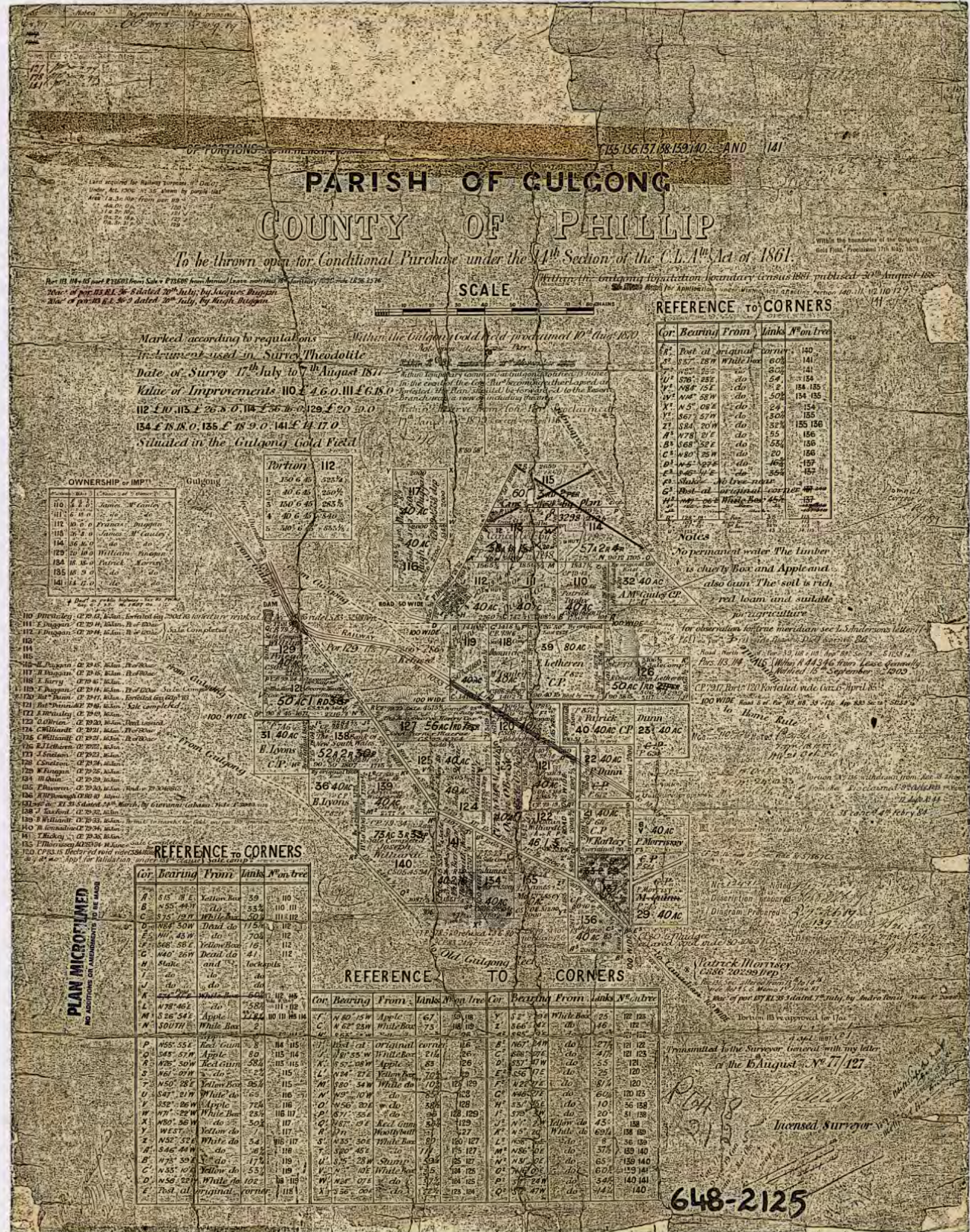
A3 SCALE: 1:45,000
 DWC REF: 14046
 VERSION: 01
 CRS: EPSG:28355
 AUTHOR: LP
 APPROVED: MB
 DATA © NSW SPATIAL SERVICES
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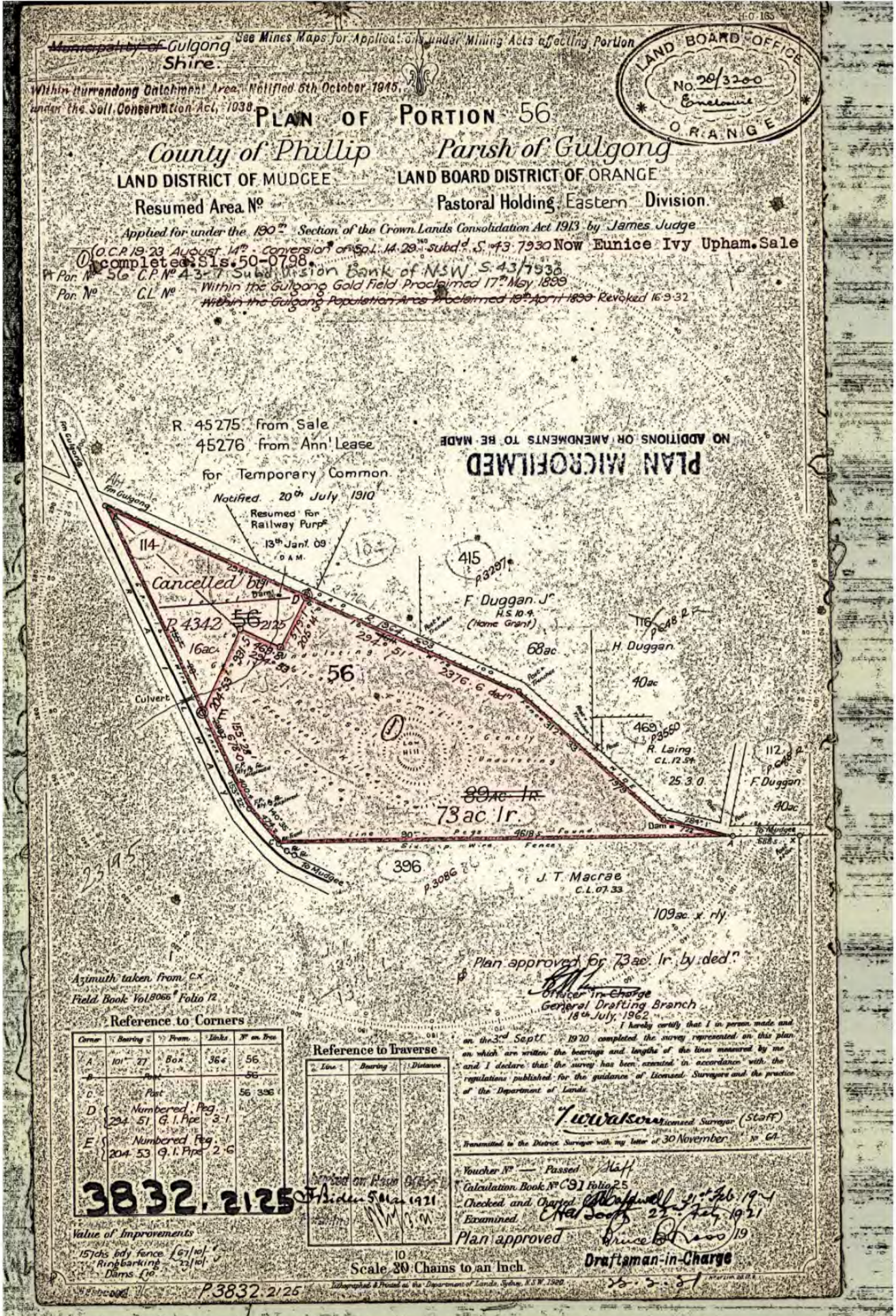
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Req:R711726 /Doc:CP 03832-2125 P /Rev:28-Nov-2012 /NSW LRS /Prt:10-Jul-2024 07:09 /Seq:1 of 1
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**LAND
REGISTRY
SERVICES**

Title Search

Information Provided Through
Aussearch
Ph. 02 9129 6777

NEW SOUTH WALES LAND REGISTRY SERVICES – TITLE SEARCH

FOLIO: 56/755433

SEARCH DATE	TIME	EDITION NO	DATE
10/7/2024	7:07 AM	7	22/9/2018

LAND

LOT 56 IN DEPOSITED PLAN 755433
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF GULGONG COUNTY OF PHILLIP
(FORMERLY KNOWN AS PORTION 56)
TITLE DIAGRAM CROWN PLAN 3832.2125

FIRST SCHEDULE

NATHAN JAMES MARTYN
STEPHANIE MAREE MARTYN
AS JOINT TENANTS (T AK391705)

SECOND SCHEDULE (2 NOTIFICATIONS)

- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN – SEE CROWN GRANT(S)
- AK391706 MORTGAGE TO NEWCASTLE PERMANENT BUILDING SOCIETY LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

14046 JL

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LAND
REGISTRY
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Title Search

Information Provided Through
Aussearch
Ph. 02 9129 6777

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 129/755433

SEARCH DATE	TIME	EDITION NO	DATE
10/7/2024	7:07 AM	4	25/6/2020

LAND

LOT 129 IN DEPOSITED PLAN 755433
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF GULGONG COUNTY OF PHILLIP
(FORMERLY KNOWN AS PORTION 129)
TITLE DIAGRAM CROWN PLAN 648.2125

FIRST SCHEDULE

SNIPER MINING PTY LIMITED (T AQ201345)

SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 LAND EXCLUDES LOT 155 IN DP934615
- 3 AQ201346 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

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**LAND
REGISTRY
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NEW SOUTH WALES LAND REGISTRY SERVICES – TITLE SEARCH

Title Search

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Aussearch
Ph. 02 9129 6777

FOLIO: 264/755433

SEARCH DATE	TIME	EDITION NO	DATE
10/7/2024	7:07 AM	5	25/6/2020

LAND

LOT 264 IN DEPOSITED PLAN 755433
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF GULGONG COUNTY OF PHILLIP
(FORMERLY KNOWN AS PORTION 264)
TITLE DIAGRAM CROWN PLAN 2993.2125

FIRST SCHEDULE

SNIPER MINING PTY LIMITED (T AQ201345)

SECOND SCHEDULE (2 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN – SEE CROWN GRANT(S)
- 2 AQ201346 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

14046 JL

PRINTED ON 10/7/2024

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LAND
REGISTRY
SERVICES

Title Search

Information Provided Through
Aussearch
Ph. 02 9129 6777

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 415/755433

SEARCH DATE	TIME	EDITION NO	DATE
10/7/2024	7:07 AM	10	15/11/2017

LAND

LOT 415 IN DEPOSITED PLAN 755433
LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
PARISH OF GULGONG COUNTY OF PHILLIP
(FORMERLY KNOWN AS PORTION 415)
TITLE DIAGRAM CROWN PLAN 3297.2125

FIRST SCHEDULE

MELINDA LOUISE WESTAWAY (TZ AM889256)

SECOND SCHEDULE (5 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 LAND EXCLUDES MINERALS (S.171 CROWN LANDS ACT 1989)
- 3 DP637477 EASEMENT FOR WATER PIPELINE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 4 DP637478 EASEMENT FOR WATER PIPELINE AFFECTING THE PART OF THE LAND ABOVE DESCRIBED SHOWN SO BURDENED IN DP637478
- 5 AM889257 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

14046 JL

PRINTED ON 10/7/2024

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PRELIMINARY CONTAMINATION INVESTIGATION

1. INTRODUCTION

This Preliminary Contamination Investigation supports the planning proposal to rezone land at 94 Canadian Lead Road (Lot 129-DP755433 & Lot 264-DP755433), 2787 Henry Lawson Drive (Lot 56-DP755433), and 2794 Henry Lawson Drive, Gulgong, NSW 2852 (Lot 415-DP755433) from RU1 Primary Production to R5 Large Lot Residential. The investigation aims to identify potential environmental contamination, assess the current site conditions and suitability for rezoning, and provide recommendations for further actions if necessary.

1.2 OBJECTIVES OF THE INVESTIGATION

The investigation's primary objectives are to:

- Identify potential environmental contamination on the subject site.
- Assess the current site conditions and its suitability for the proposed rezoning.
- Provide recommendations for any further actions, if necessary.

1.3 SCOPE OF PRELIMINARY REVIEW

This preliminary review included:

- A review of historical ownership of the site.
- A review of historical land uses and past site activities.
- A review of any storage of potentially hazardous materials or contaminating activities.
- A review of aerial photography from the past 60 years (1963 to 2023). Refer to Appendix 1 for aerial imagery.
- A search of the NSW EPA's list of contaminated sites applying to the site and nearby properties. Refer to Appendix 3 for the EPA search results.
- A site walkover by an environmental planning consultant to help identify current and previous activities carried out on site, identify surrounding land uses and identify any areas of concern.

2. SITE IDENTIFICATION

2.1 STREET ADDRESSES AND LEGAL DESCRIPTION

Address	2794 Henry Lawson Drive Gulgong NSW 2852 (Lot 415 DP755433) (northern site). 2787 Henry Lawson Drive Gulgong NSW 2852 (Lot 56 DP755433) (central site), and 94 Canadian Lead Road Gulgong NSW 2852 (Lot 129 DP755433 and Lot 264 DP755433) (southern site)
Existing Structures	2794 Henry Lawson Drive, Gulgong NSW 2852 (northern site) Lot 415 DP755433: Contains a dwelling house and farm buildings. Used for residential purposes and extensive agriculture (crops and livestock grazing). 2787 Henry Lawson Drive, Gulgong NSW 2852 (central site) Lot 56 DP755433: Contains a dwelling house and farm buildings. Used for residential purposes and extensive agriculture (crops and livestock grazing). 94 Canadian Lead Road, Gulgong NSW 2852 (southern site) <ul style="list-style-type: none"> • Lot 129 DP755433: Contains a stand-alone shed. • Lot 264 DP755433: vacant.
Proponent / Landowner	Melinda Louise Westaway (2794 Henry Lawson Drive, Lot 415 DP755433) Nathan James Martyn and Stephanie Maree Martyn (2787 Henry Lawson Drive, Lot 56 DP755433) Sniper Mining Pty Limited (94 Canadian Lead Road, Lot 129 DP755433 & Lot 264 DP755433)
Land Zone	RU1 Primary Production
Land Area	76 hectares



3. CONTAMINATION AND SITE HISTORY

3.1 SITE WALKOVER

A visual site walkover was undertaken by an environmental planning consultant (de Witt Consulting) (in 2023 and again in July 2024). This site walkover confirmed no visible evidence of any potentially contaminating activities occurring or having occurred on site; no visible evidence of any storage of any hazardous chemicals or materials on site (including no fuels or fertilisers); and no evidence of any dumping or other materials on site.

3.2 HISTORICAL USE OF THE SUBJECT SITE

The subject site, consisting of the three lots mentioned above, has been historically used for low-intensity farming and grazing, with some areas used for residential purposes and others remaining vacant / unused. These activities are considered low-risk for contamination.

3.3 SITE HISTORY

Zoning: RU1 Primary Production

Land Uses:

- **Previous Use:** Grazing and cropping
- **Present Use:** Low-intensity agriculture and residential
- **Proposed Use:** Large lot residential

Council Records

- **DA0242/2021:** Approved secondary dwelling at 2787 Henry Lawson Drive.

3.4 LOCALITY MAP





3.5 NSW EPA SEARCH

A search of the NSW EPA database of notices issued under the Contaminated Land Management Act, 1997 (CLM Act) was conducted on 27 August 2024. This search revealed no listings of current and/or former notices for the site or the Gulgong locality generally. Detailed results are provided in **Appendix 3**.

3.6 PAST ACTIVITIES AND LAND USES

The site has been used continuously for agricultural purposes since at least the 1960s, primarily involving grazing and cropping. The consistent historical use of the site has been for farming and grazing, with no records of industrial or commercial activities. The current and previous owners provided the following information:

- **94 Canadian Lead Road (Lot 129-DP755433 & Lot 264-DP755433):** No chemicals have been used on-site since the property was purchased by Mick Barber in 2020. The site continues to be used for farming and grazing.
- **2787 Henry Lawson Drive (Lot 56-DP755433):** The property has been used primarily for grazing, with minimal use of agricultural chemicals. Glyphosate (Roundup) has occasionally been used on fence lines, with up to 20 litres stored at a time.
- **2794 Henry Lawson Drive (Lot 415-DP755433):** The property has been used for farming and grazing only. Melinda Westaway reported the use of Grazon (20 litres) and Glyphosate (Roundup) (20 litres) but noted no record of industrial use.

There have been no known incidents involving spills or leaks of hazardous materials across any of these lots. Refer to **Appendix 2** for detailed responses from the owners.

3.7 AERIAL PHOTOGRAPHS REVIEW

Aerial imagery from the past 60 years (1963 to 2023) indicates consistent use for agriculture and residential purposes. The vegetation across the sites has generally been maintained, with remnant tree stands and isolated trees remaining on-site. See **Appendix 1** for the aerial imagery.

3.8 KEY FINDINGS

Based on the review, the following key findings were identified:

1. **Agricultural Chemicals:** The site has a history of low intensity agricultural use; however, property owners reported no evidence of intensive pesticide or herbicide use that could lead to significant soil contamination. Chemicals used are understood to be limited to standard agricultural fertilisers and treatments, applied in quantities typical for grazing and cropping.
2. **Residential Areas:** The residential areas, including dwellings and outbuildings, have not been used for activities typically associated with contamination, such as the storage or use of hazardous materials. The property owners confirmed that no hazardous materials have been stored or used in these areas.
3. **Structures and Outbuildings:** The stand-alone shed and farm buildings are used for storage and agricultural purposes. There are no records or indications of hazardous substances being stored on-site, as confirmed by the property owners.
4. **Spills or Leaks:** There have been no known incidents involving spills or leaks of hazardous materials on the property.
5. **Industrial or Commercial Use:** The properties have always been used for farming and grazing, with no history of industrial or commercial activities.
6. **Storage of Hazardous Materials:** There are no records or knowledge of underground storage tanks or above-ground storage of hazardous materials on the property.



7. **Waste Disposal:** The property owners reported no burial, burning, or disposal of waste materials on the site.
8. **Previous Testing:** The property has not undergone any previous soil or water contamination testing, and there were no visible signs of contamination, such as stained soil, unusual odours, or dead vegetation during either of the site visits in 2023 and 2024.
9. **Agricultural Practices:** The property owners provided information on the types of fertilizers, soil treatments, or other agricultural chemicals used historically on the property, which are consistent with standard agricultural practices.
10. **Excavations or Modifications:** There are no areas on the property that have been excavated, disturbed, or modified for unknown reasons.

3.9 SITE CONDITION AND SURROUNDING ENVIRONMENT

- **Topography:** The topography is generally flat with minor elevations in northern and central lots.
- **Boundary Conditions:** Adequate fencing with stable soil and no erosion.
- **Visible Signs of Contamination:** No visible signs of contamination or soil discoloration were observed during site visits in 2023 and 2024.
- **Plant Stress:** Not evident.
- **Waste Materials:** No drums or waste materials were observed.
- **Odours:** No odours were detected on-site during site visits in 2023 and 2024.
- **Condition of Buildings and Roads:** Buildings and roads are in good condition.

3.10 GEOLOGY AND HYDROGEOLOGY

- **Fill Material:** No significant fill material was identified.
- **Bores and Springs:** No existing registered bores are used for water supply, and no springs were identified.
- **Water Quality:** No concerns regarding water quality were identified.
- **Water Courses:** No water courses were identified.

4. CONCLUSIONS AND RECOMMENDATIONS

This desktop investigation (including visual site inspection) found that the site poses minimal risk of contamination due to historical low-intensity agricultural use. There is no immediate need for remediation, but ongoing monitoring and proper management of agricultural chemicals are recommended. The site is considered suitable for rezoning to R5 Large Lot Residential.

At this stage of the planning proposal, nothing further is warranted that could not be appropriately addressed as part of any normal future Development Application (DA). Should any future developments or changes in land use be proposed, additional environmental assessments may be warranted to ensure continued compliance and to protect public health and safety.

Yours sincerely,

de Witt Consulting

Gulgong Office 87 Herbert St, PO Box 232, Gulgong NSW 2852
P 02 6374 2911 | F 02 6374 2922





APPENDIX 1

Historical Aerial Imagery



Date: 31/12/1963



Sheet Number: 8833, Sheet Name: GULGONG, Film: 1218, Run: R7, Frame: 5015, Key Diagram: 88331964, Scale: 1:49500, AHDZ: 6248, Camera: RC5A, Time: 2:00 PM, Image Name: 1218_07_015



Date: 31/12/1963



Sheet Number: 8833, Sheet Name: GULGONG, Film: 1218, Run: R7, Frame: 5016, Key Diagram:
88331964, Scale: 1:49500, AHDZ: 6248, Camera: RC5A, Time: 2:00 PM, Image Name: 1218_07_016



Date: 31/12/1963



Sheet Number: 8833, Sheet Name: GULGONG, Film: 1218, Run: R7, Frame: 5017, Key Diagram:
88331964, Scale: 1:49500, AHDZ: 6248, Camera: RC5A, Time: 2:00 PM, Image Name: 1218_07_017



Date: 31/12/1979



Sheet Number: 8833, Sheet Name: GULGONG, Film: 2883, Run: R5, Frame: 188, Key Diagram:
88331980, Scale: 1:50000, AHDZ: 5029, Camera: RC10, Time: 3:00 PM, Image Name: 2883_05_188



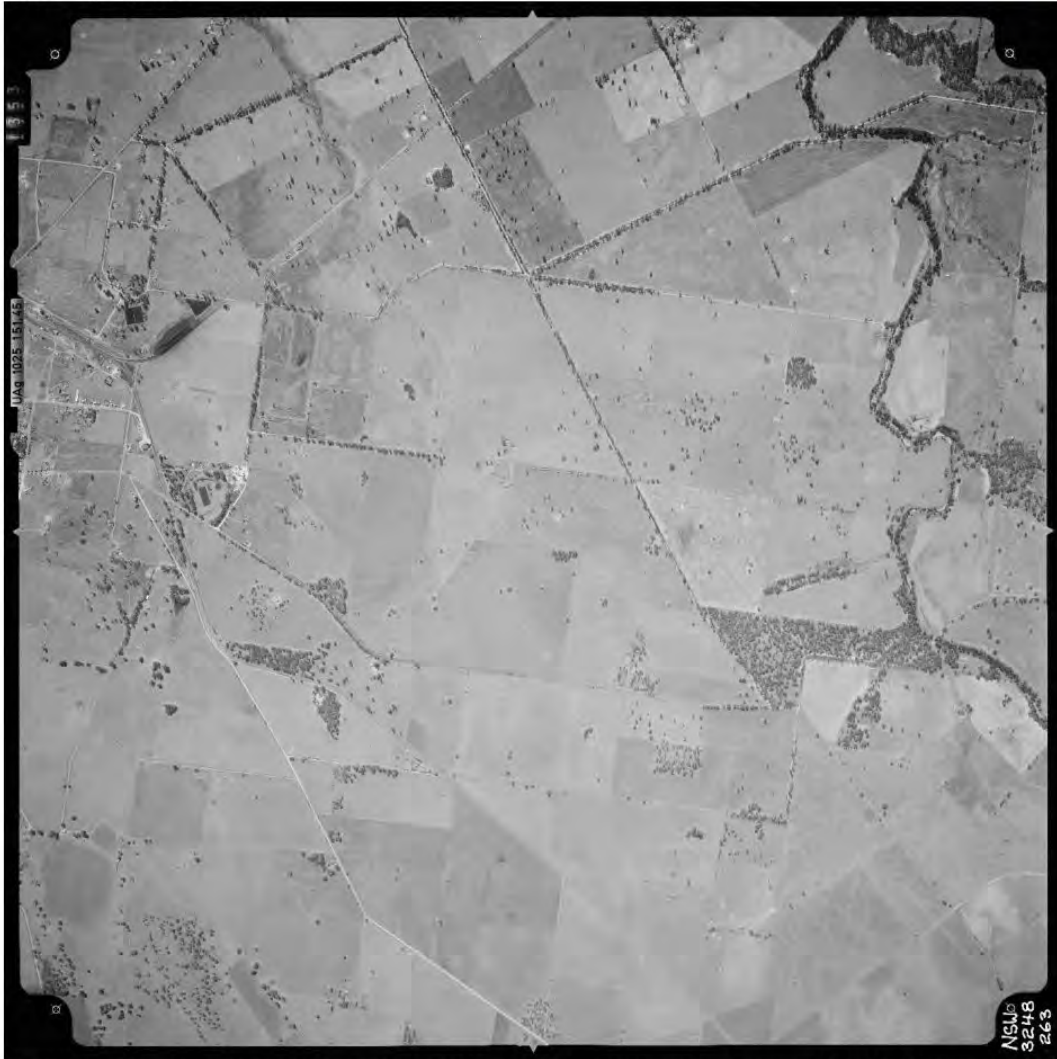
Date: 31/12/1979



Sheet Number: 8833, Sheet Name: GULGONG, Film: 2883, Run: R5, Frame: 189, Key Diagram: 88331980, Scale: 1:50000, AHDZ: 5029, Camera: RC10, Time: 3:00 PM, Image Name: 2883_05_189



Date: 31/12/1981



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3248, Run: R6S, Frame: 263, Key Diagram: 88331982, Scale: 1:25000, AHDZ: 4267, Camera: RC10, Time: 3:00 PM, Image Name: 3248_6S_263



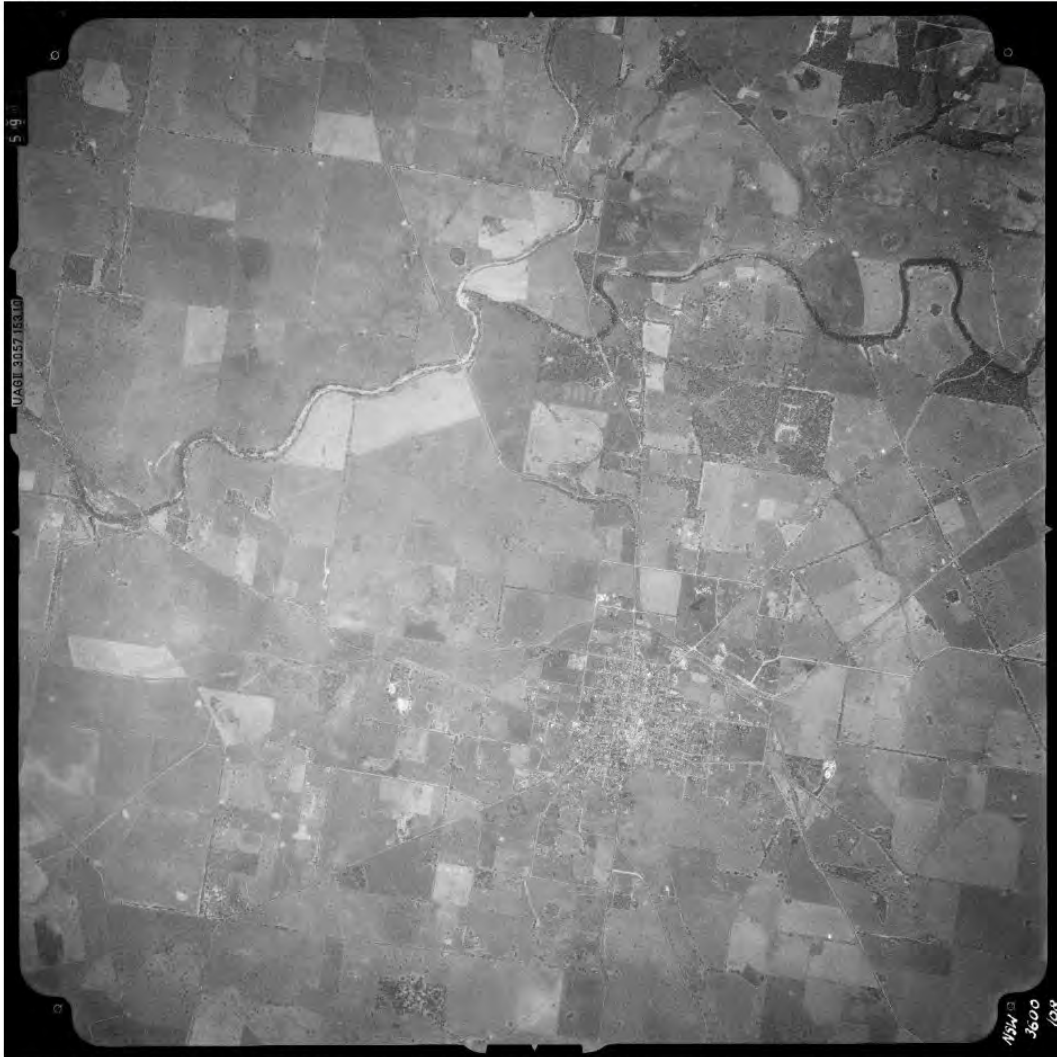
Date: 31/12/1981



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3248, Run: R6S, Frame: 264, Key Diagram: 88331982, Scale: 1:25000, AHDZ: 4267, Camera: RC10, Time: 3:00 PM, Image Name: 3248_6S_264



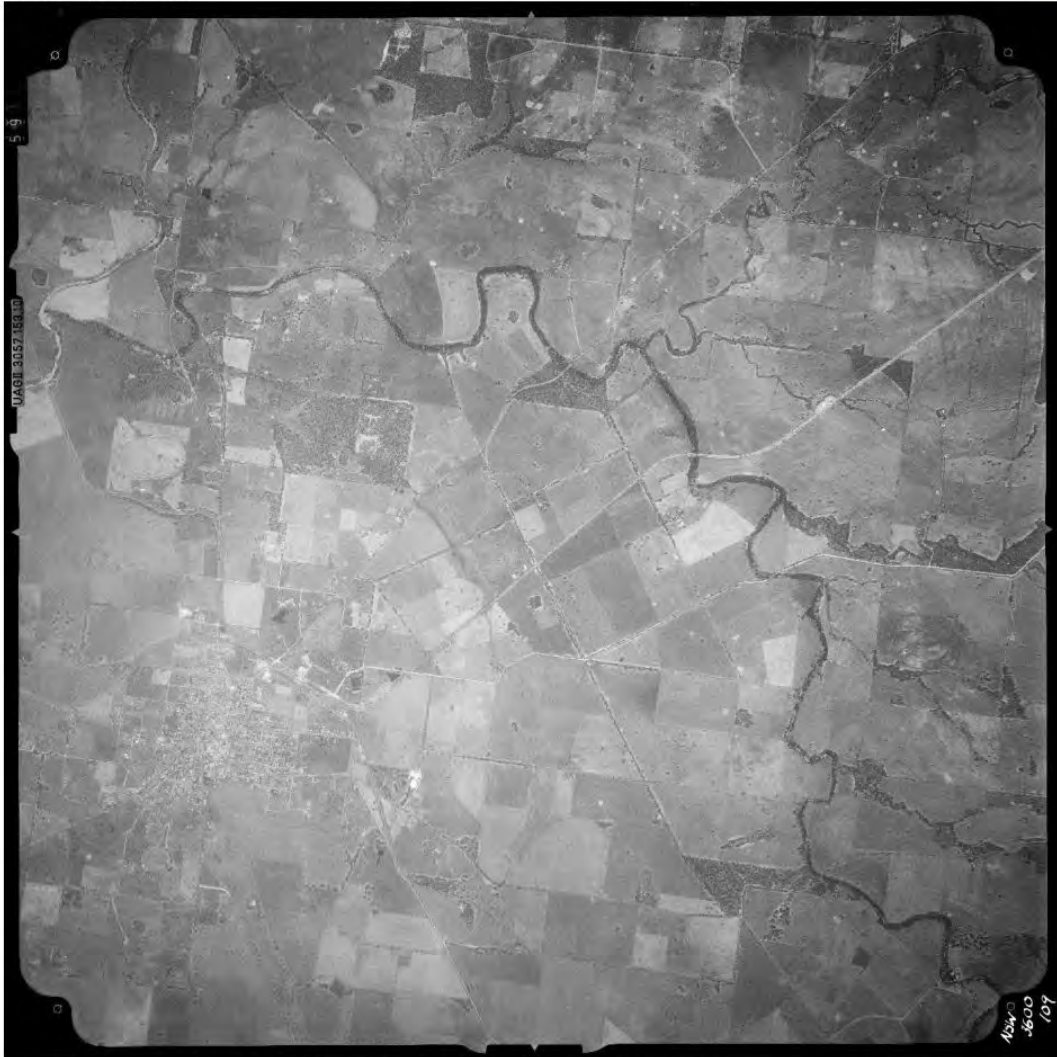
Date: 31/12/1987



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3600, Run: R6, Frame: 108, Key Diagram: 88331988, Scale: 1:40000, AHDZ: 7056, Camera: RC10, Time: 3:00 PM, Image Name: 3600_06_108



Date: 31/12/1987



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3600, Run: R6, Frame: 109, Key Diagram:
88331988, Scale: 1:40000, AHDZ: 7056, Camera: RC10, Time: 3:00 PM, Image Name: 3600_06_109



Date: 31/12/1987



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3601, Run: R7, Frame: 27, Key Diagram:
88331988, Scale: 1:40000, AHDZ: 7056, Camera: RC10, Time: 3:00 PM, Image Name: 3601_07_027



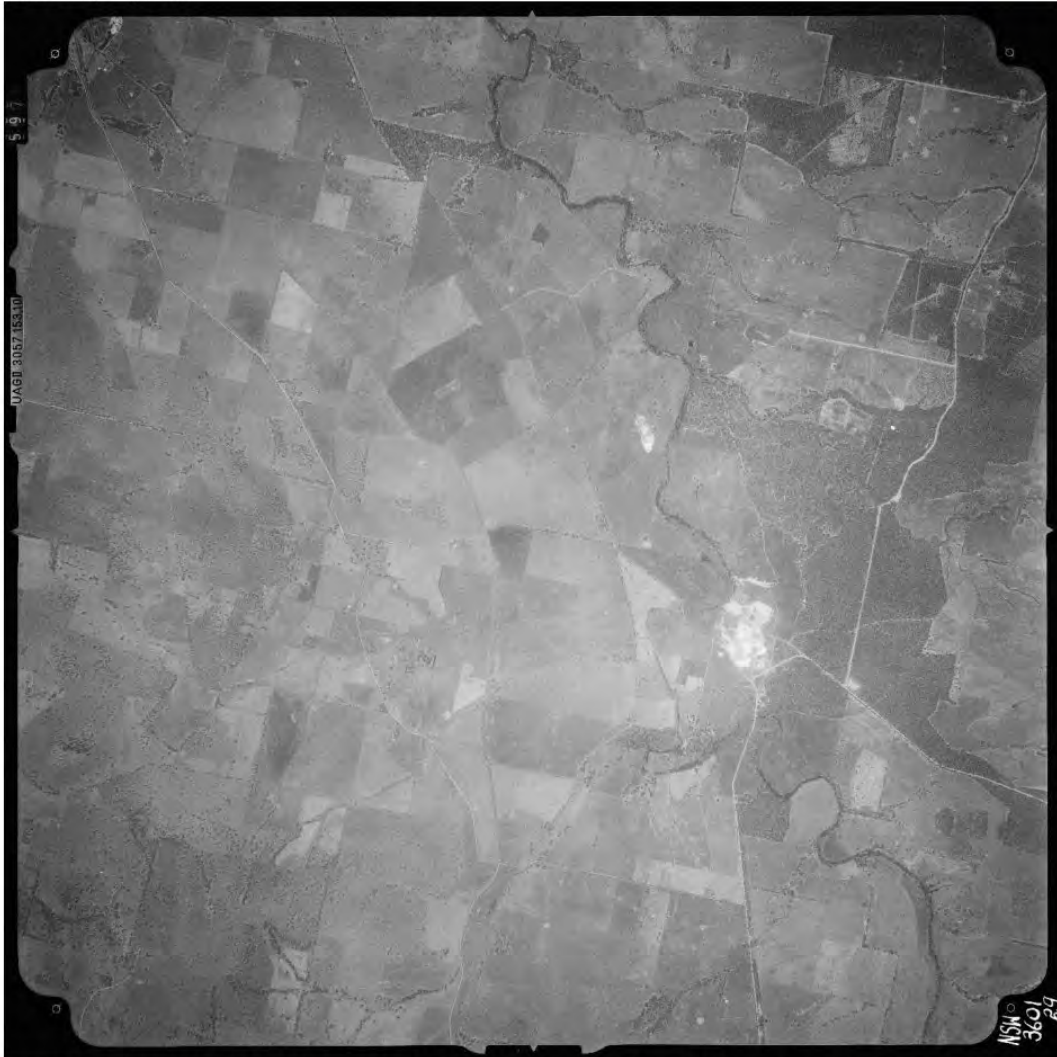
Date: 31/12/1987



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3601, Run: R7, Frame: 28, Key Diagram: 88331988, Scale: 1:40000, AHDZ: 7056, Camera: RC10, Time: 3:00 PM, Image Name: 3601_07_028



Date: 31/12/1987



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3601, Run: R7, Frame: 29, Key Diagram:
88331988, Scale: 1:40000, AHDZ: 7056, Camera: RC10, Time: 3:00 PM, Image Name: 3601_07_029



Date: 31/12/1989



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3771, Run: R10, Frame: 195, Key Diagram: 88331990, Scale: 1:25000, AHDZ: 4542, Camera: RC10, Time: 3:00 PM, Image Name: 3771_10_195.



Date: 31/12/1989



Sheet Number: 8833, Sheet Name: GULGONG, Film: 3771, Run: R10, Frame: 196, Key Diagram:
88331990, Scale: 1:25000, AHDZ: 4542, Camera: RC10, Time: 3:00 PM, Image Name: 3771_10_196



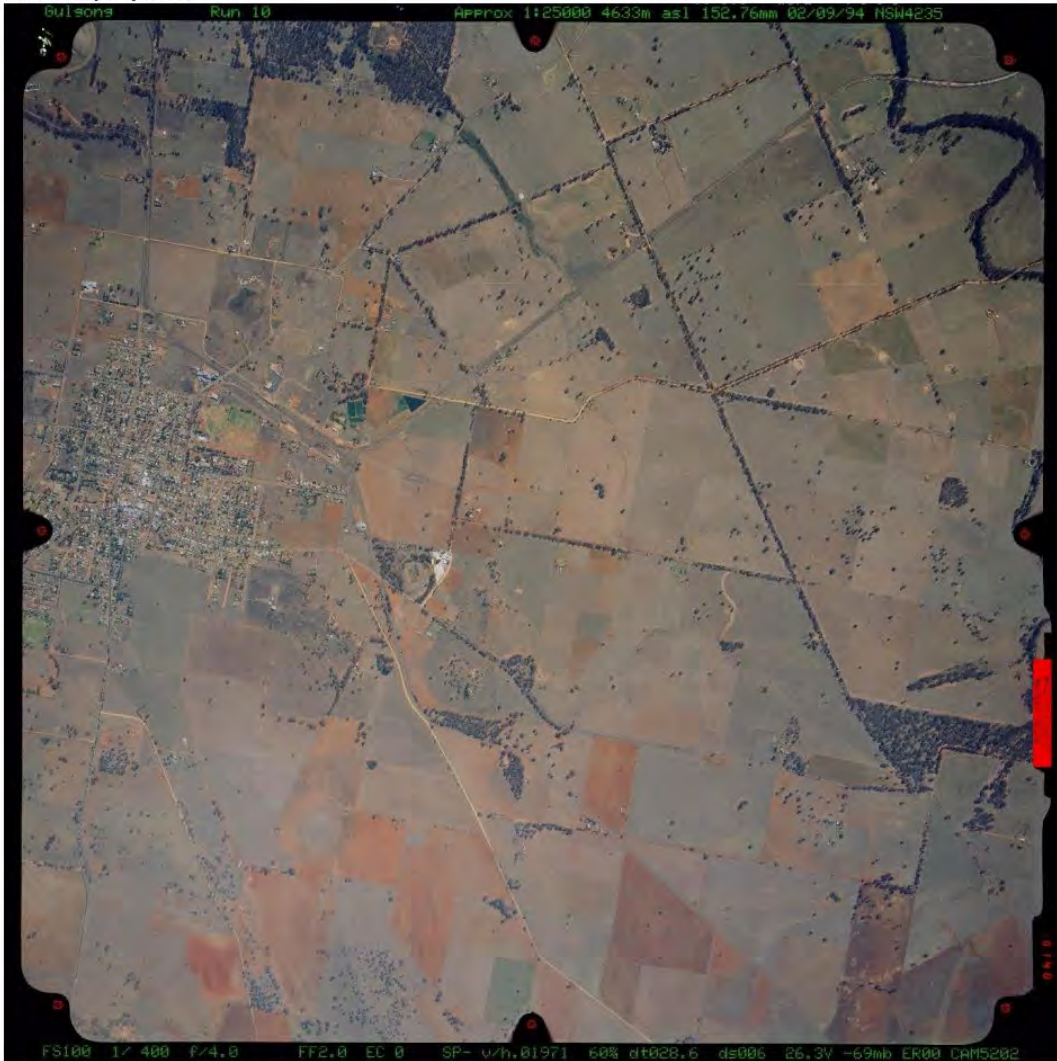
Date: 31/12/1993



Sheet Number: 8833, Sheet Name: GULGONG, Film: 4235, Run: R10, Frame: 139, Key Diagram: 88331994, Scale: 1:25000, AHDZ: 4633, Camera: RC30, Time: 3:00 PM, Image Name: 4235_10_139



Date: 31/12/1993



Sheet Number: 8833, Sheet Name: GULGONG, Film: 4235, Run: R10, Frame: 140, Key Diagram:
88331994, Scale: 1:25000, AHDZ: 4633, Camera: RC30, Time: 3:00 PM, Image Name: 4235_10_140



Appendix 2

Owner Questionnaire and Responses



Question	Melinda Westaway	Mick Barber	Nathan Martyn
1. Have there been any known incidents involving spills or leaks of hazardous materials on the property?	No	No	None
2. Have pesticides, herbicides, or other chemicals been stored or used on the site? If so, what types and quantities?	20 litres Grazon, approx 20 litres Glyphosate	No	Glyphosate (Roundup) has been used, and only up to 20L stored at a time
3. Has the property ever been used for industrial or commercial activities, or has it always been used for farming and grazing?	Farming and grazing only	Always farming and grazing as far as I am aware	Only used for farming/grazing
4. Are there any records or knowledge of underground storage tanks or above-ground storage of hazardous materials on the property?	No	None	No hazardous materials have been stored
5. Have any waste materials been buried, burned, or disposed of on the site?	No	No	No waste materials have been buried, burned, or stored
6. Has the property undergone any previous soil or water contamination testing? If so, can you provide the results?	No	No	No
7. Are there any visible signs of contamination, such as stained soil, unusual odours, or dead vegetation?	No	No	No sign of contamination anywhere
8. Can you provide information on the types of fertilizers, soil treatments, or other agricultural chemicals used historically on the property?	Single Super was spread on the property about 8 years ago. Grazon and Glyphosate for spot spraying weeds.	We have not used any since purchasing in 2020	Glyphosate (Roundup) has been used occasionally on fence lines
9. Are there any areas of the property that have been excavated, disturbed, or modified for unknown reasons?	No	No	No



APPENDIX 3

NSW EPA Contaminated Land Record of Notices



[Home](#) [Public registers](#) [Contaminated land record of notices](#)

Search results

Your search for: Suburb: GULGONG

did not find any records in our database.

If a site does not appear on the record it may still be affected by contamination. For example:

- Contamination may be present but the site has not been regulated by the EPA under the Contaminated Land Management Act 1997 or the Environmentally Hazardous Chemicals Act 1985.
- The EPA may be regulating contamination at the site through a licence or notice under the Protection of the Environment Operations Act 1997 (POEO Act).
- Contamination at the site may be being managed under the [planning process](#).

More information about particular sites may be available from:

- The [POEO public register](#)
- The appropriate planning authority: for example, on a planning certificate issued by the local council under [section 149 of the Environmental Planning and Assessment Act](#).

See [What's in the record and What's not in the record](#).

If you want to know whether a specific site has been the subject of notices issued by the EPA under the CLM Act, we suggest that you search by Local Government Area only and carefully review the sites that are listed.

This public record provides information about sites regulated by the EPA under the Contaminated Land Management Act 1997, including sites currently and previously regulated under the Environmentally Hazardous Chemicals Act 1985. Your inquiry using the above search criteria has not matched any record of current or former regulation. You should consider searching again using different criteria. The fact that a site does not appear on the record does not necessarily mean that it is not affected by contamination. The site may have been notified to the EPA but not yet assessed, or contamination may be present but the site is not yet being regulated by the EPA. Further information about particular sites may be available from the appropriate planning authority, for example, on a planning certificate issued by the local council under section 149 of the Environmental Planning and Assessment Act. In addition the EPA may be regulating contamination at the site through a licence under the Protection of the Environment Operations Act 1997. You may wish to search the POEO public register. [POEO public register](#)

27 August 2024



ASSESSMENT OF POTENTIAL FOR BASIC LANDHOLDER RIGHTS BORES

1. INTRODUCTION

This report assesses the potential for establishing Basic Landholder Rights (BLR) bores in conjunction with a proposed rezoning of land located at 94 Canadian Lead Road, 2787 Henry Lawson Drive, and 2794 Henry Lawson Drive, Gulgong, NSW.

The proposed rezoning seeks to change the land use from RU1 Primary Production to R5 Large Lot Residential, with a reduction in the minimum lot size from 100 hectares to 10 hectares. The intent is to accommodate new rural dwellings, supporting the increasing demand for rural residential living in the area.

2. HARVESTABLE RIGHTS

The subject site is located within the central inland-draining catchments harvestable rights area, allowing up to 10% of the average annual regional rainfall runoff to be captured for various uses, including domestic consumption and stock watering. For a 10-hectare landholding, this would equate to a maximum of 0.7 megalitres (700,000 litres).

3. WATER SUPPLY WORK APPROVALS

Under Section 92 of the Water Management Act 2000, future lots will be able to apply for a bore and access groundwater under a domestic bore licence for domestic use and stock watering. Landholders must obtain approval to construct bores, wells, or spear points to access groundwater under these rights. Future lots will be applicable, and likely to be approved for a bore for domestic use and stock watering. The issuing of approvals for Basic Landholder (Domestic and Stock) Rights bores are governed by the relevant groundwater water sharing plan. The relevant plan is [Water Sharing Plan for the NSW Murray Darling Basin Fractured Rock Groundwater Sources](#). Part 9, clauses 40 and 43 outline the standoff conditions. If an application cannot meet a relevant standoff distance, it will be refused.

An assessment of Part 9, clauses 40 and 43 is provided below.

40 Rules for Water Supply Works Located Near Contamination Sources

- 1) *A water supply work approval must not be granted or amended if, in the Minister's opinion, the water supply work is located—*
 - a) *within 500 metres of a contamination source listed in Schedule 1, or*
 - b) *within 250 metres of the edge of a plume associated with a contamination source listed in Schedule 1, or*
 - c) *between 250 metres and 500 metres from the edge of a plume associated with a contamination source listed in Schedule 1, unless the Minister is satisfied that no change in groundwater level will occur within 250 metres of that plume.*

Comment: Any future Water Supply Works will not be located within 500 metres of a contamination source listed in Schedule 1, or within 250 metres of the edge of a plume associated with a contamination source listed in Schedule 1, or between 250 metres and 500 metres from the edge of a plume associated with a contamination source listed in Schedule 1.

- 2) *The location restrictions specified in subclause (1) do not apply to the granting or amending of a water supply work approval if the Minister is satisfied of any of the following—*
 - a) *the location of the water supply work is adequate to protect the groundwater source, the environment and public health and safety,*
 - b) *the water supply work is for the purpose of monitoring, environmental remediation activities or emergency services.*

Comment: Not applicable. Future Water Supply Works will not be located near contamination sources.



- 3) A water supply work approval for a water supply work located within 250 metres of an on-site sewage disposal system may only be granted or amended if the water supply work is—
 - a) constructed with cement grout in the borehole annulus to a minimum depth of 20 metres from the ground surface, and
 - b) in the Minister’s opinion, located at a sufficient distance from the on-site sewage disposal system to prevent migration of septic contamination in the aquifer.

Note. Borehole annulus is defined in the Dictionary.

Comment: Considering future lot sizes (10ha), future Water Supply Works are easily capable of being separated by more than 250 metres of an on-site sewage disposal system (existing or proposed). Nonetheless, should this not be possible, the future Water Supply Works can be constructed with cement grout in the borehole annulus to a minimum depth of 20 metres from the ground surface,

- 4) The Minister may modify the depth requirement in subclause (3)(a) if satisfied of any of the following—
 - a) adequate arrangements are in place to protect the groundwater source, the environment and public health and safety,
 - b) the water supply work is for the purpose of monitoring and environmental remediation activities.

Comment: As discussed above, it is anticipated that the distance can be achieved of more than 250 metres of an on-site sewage disposal system (existing or proposed). Nonetheless (3)(a) provides that the future Water Supply Works can be constructed with cement grout in the borehole annulus to a minimum depth of 20 metres from the ground surface. (4)(a) is not relied upon, but rather provides further options to modify the depth requirement in subclause (3)(a) if adequate arrangements are in place to protect the groundwater source, the environment and public health and safety.

43 Rules for Water Supply Works Used Solely for Basic Landholder Rights

- 1) A water supply work approval for a water supply work used solely for basic landholder rights must not be granted or amended if, in the Minister’s opinion, the water supply work is located within any of the following—
 - a) 100 metres of a Government monitoring or observation bore,
 - b) 40 metres of the top of the high bank of a river,
 - c) 100 metres of a high priority groundwater-dependent ecosystem listed in Table A in Schedule 2,
 - d) 100 metres of a high priority karst environment groundwater-dependent ecosystem listed in Table B in Schedule 2,
 - e) 100 metres of any other high priority groundwater-dependent ecosystem shown on the High Priority Groundwater-Dependent Ecosystem Map but only if a high probability of groundwater dependence has been confirmed by the Department for the relevant ecosystem,
 - f) 100 metres of the edge of an escarpment that is a high priority groundwater-dependent ecosystem for the purposes of this Plan, where the location of the water supply work is above that escarpment,
 - g) 100 metres of a groundwater-dependent culturally significant area.

Comment: The proposed water supply work complies with all the distance requirements under 43, as the site is not in proximity to any restricted areas. Specifically:

- There is no Government monitoring or observation bore within 100 metres.
- There is no riverbank within 40 metres.



- There are no high priority groundwater-dependent ecosystems listed in Schedule 2 within 100 metres.
- There are no high priority karst environment groundwater-dependent ecosystems within 100 metres.
- There are no other high priority groundwater-dependent ecosystems, as confirmed by the Department, within 100 metres.
- There is no escarpment classified as a high priority groundwater-dependent ecosystem within 100 metres.
- There is no culturally significant groundwater-dependent area within 100 metres.

This confirms that none of these restrictions are applicable to the proposed site.



Figure 1 - Groundwater dependent ecosystems (GDEs), orange identified as medium (Source: WaterNSW, 2024)



Figure 2 - Bores in proximity to the subject area (Source: WaterNSW, 2024)



- 2) *The location restrictions specified in subclause (1) do not apply to the granting or amending of a water supply work approval if the Minister is satisfied that the water supply work is a replacement groundwater work.*

Comment: Not applicable.

- 3) *The location restrictions specified in subclauses (1)(c)–(f) do not apply to the granting or amending of a water supply work approval if the Minister is satisfied that the location of the water supply work at a lesser distance would result in no more than minimal harm to any high priority groundwater-dependent ecosystem shown on the High Priority Groundwater-Dependent Ecosystem Map or identified in subclause (1)(c), (d) or (f).*

Comment: Not applicable.

- 4) *The location restriction specified in subclause (1)(g) does not apply to the granting or amending of a water supply work approval if the Minister is satisfied that the location of the water supply work at a lesser distance would result in no more than minimal harm to any groundwater-dependent culturally significant area.*

Comment: Not applicable.

4. CONCLUSION

The proposed rezoning and subsequent development of the land at 94 Canadian Lead Road, 2787 Henry Lawson Drive, and 2794 Henry Lawson Drive, Gulgong, NSW, align with the regulatory requirements for Basic Landholder Rights bores under the Water Management Act 2000 and the Water Sharing Plan for the NSW Murray Darling Basin Fractured Rock Groundwater Sources. The site's compliance with the relevant standoff distances, including those related to on-site sewage management systems, ensures that future water supply works can be approved without significant environmental or public health concerns.

The assessment confirms that the proposed development will not negatively impact groundwater sources or other environmental factors, including compliance with wastewater OSSMS restrictions by maintaining adequate separation distances or implementing necessary construction methods such as cement grouting.

As such, the proposed rezoning and subsequent bore installations are expected to proceed without significant obstacles, supporting the sustainable development of rural residential properties in the area.

Yours sincerely,

de Witt Consulting

Gulgong Office 87 Herbert St, PO Box 232, Gulgong NSW 2852
P 02 6374 2911 | F 02 6374 2922



MONTHLY BUDGET REVIEW – 30 NOVEMBER 2024

ATTACHMENT 1 – CAPITAL
PROGRAM UPDATE

11 DECEMBER 2024

MID-WESTERN REGIONAL COUNCIL
FINANCE



FINANCE | MONTHLY BUDGET REVIEW – 30 NOVEMBER 2024

THIS DOCUMENT HAS BEEN PREPARED BY SUMEDHA UPRETI, ACCOUNTANT REPORTING AND ANALYSIS FOR MID-WESTERN REGIONAL COUNCIL.

ANY QUESTIONS IN RELATION TO THE CONTENT OF THIS DOCUMENT SHOULD BE DIRECTED TO:
SUMEDHA.UPRETI@MIDWESTERN.NSW.GOV.AU OR (02) 6378 2850

DATE OF PUBLICATION: 11 DECEMBER 2024

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Budget Variations

Funding Summary

Funding Source	Amount 2024-2025 FY	Amount 2025-2026 FY	Amount 2026-2027 FY	Amount 2027-2028 FY
Capital Program Reserve	- 16,000			
Developer Contributions	- 20,000			
Grants	- 624,141			
Plant Replacement Reserve	- 2,169			
Unrestricted cash	- 949,361	- 163,500	- 154,500	- 146,500
Community Tenancy Scheme Reserve	- 7,000			
Total	- 1,618,671	- 163,500	- 154,500	- 146,500

2024/2025 Variations

FUND	PROJECT NAME	VARIATION DESCRIPTION	EXPENSE CHANGE \$	REVENUE CHANGE \$	FUNDING SOURCE 1
GENERAL	ULAN ROAD - SHORT TO LUE ROAD REHAB	REPAIR REQUIRED FOR SHORT STREET TO LUE ROAD FUNDED THROUGH THE ULAN ROAD STRATEGY CONTRIBUTION.	900,000	-900,000	GRANTS
GENERAL	ELECTRICITY EXPENDITURE - VARIOUS PROJECTS	OVERALL INCREASE IN EXPENDITURE DUE TO HIGH MARKET RATES. INLINE WITH PRIOR YEAR SPENDING.	318,718	0	UNRESTRICTED CASH
GENERAL	PUBLIC TOILET - MUDGEE RIVER WALKING TRACK	SAVINGS FROM RYLSTONE RIVER WALK REALLOCATED TO MUDGEE RIVERSIDE WALKING TRACK TOILETS. LRCI FUNDING VARIATION APPROVED.	100,000	-100,000	GRANTS
GENERAL	SOLAR ARRAYS - OPERATIONS	DELAYS IN CONSTRUCTION PROJECT RESULTING IN REVENUE UNLIKELY TO BE RECEIVED AS SOLAR FARM WILL NOT YET BE OPERATING.	94,987	370,656	UNRESTRICTED CASH
GENERAL	LOCAL SEALED RURAL RD - LUE TOWN - SZR IMPLEMENTATION	SPEED ZONE PROJECT FUNDED FROM SPEED ZONE AUTHORISATION FUNDING	47,739	-47,739	GRANTS
GENERAL	RURAL SEALED REG - HILL END ROAD - SZR IMPLEMENTATION	SPEED ZONE PROJECT FUNDED FROM SPEED ZONE AUTHORISATION FUNDING	27,089	-27,089	GRANTS
GENERAL	MUDGEE RIVERSIDE - WALKING TRACK IMPROVEMENTS	REVOTE OF \$14K FROM 2024 BUDGET PLUS ADDITIONAL \$6K FOR FINAL WORKS.	20,000	0	GRANTS
GENERAL	CUDGEGONG WATERS SERVICE CONNECTION PLANS	ADDITIONAL BUDGET REQUIRED AS QUOTES RECEIVED EXCEED THE BUDGET.	20,000	0	UNRESTRICTED CASH
GENERAL	MUDGEE ADMIN BUILDING - EAST WING RENOVATION	IMPLEMENTATION OF SOUND BOOTHS IN THE EAST WING OF THE MUDGEE ADMIN BUILDING	15,000	0	CAPITAL PROGRAM RESERVE
GENERAL	RURAL SEALED REG - GOOLMA ROAD - SZR IMPLEMENTATION	SPEED ZONE PROJECT FUNDED FROM SPEED ZONE AUTHORISATION FUNDING	12,214	-12,214	GRANTS
GENERAL	CHURCH STREET MUDGEE - SCHOOL ZONE REPEATER SIGNS	FOR CHURCH STREET SCHOOL ZONE WORKS FUNDED THROUGH RMS	7,755	-7,755	GRANTS

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FUND	PROJECT NAME	VARIATION DESCRIPTION	EXPENSE CHANGE \$	REVENUE CHANGE \$	FUNDING SOURCE 1
GENERAL	LG HOUSING - WALTER STREET UNITS	MAINTENANCE REQUIRED AT THE WALTER STREET UNITS IN GULGONG	7,000	0	COMMUNITY TENANCY SCHEME RESERVE
GENERAL	RYLSTONE CARAVAN PARK STAGE 2	ADDITIONAL BUDGET REQUIRED FOR A PERMISSIBILITY OF A PROPOSAL TO CONSTRUCT ADDITIONAL CABINS NEAR THE CURRENT RYLSTONE CARAVAN PARK	5,000	0	UNRESTRICTED CASH
GENERAL	PLANT PURCHASES	REQUIRED TO PURCHASE A BIGGER HOSE FOR THE GREASE REEL FOR THE FUEL TRUCK 5325	2,169	0	PLANT REPLACEMENT RESERVE
GENERAL	MUDGEY VALLEY PARK - COMMERCIAL DRYER	ADDITIONAL BUDGET REQUIRED AS QUOTES RECEIVED EXCEED THE BUDGET.	1,000	0	CAPITAL PROGRAM RESERVE
GENERAL	INFORMATION TECHNOLOGY OPERATIONS	\$140K FOR CIA LIVE FEES TO TRANSITION COUNCIL ONTO THE CURRENT VERSION OF SOFTWARE.	140,000	0	UNRESTRICTED CASH
GENERAL	RYLSTONE RIVER WALK - IMPROVEMENT	SAVINGS FROM RYLSTONE RIVER WALK REALLOCATED TO MUDGEY RIVERSIDE WALKING TRACK TOILETS. LRCI FUNDING VARIATION APPROVED.	-100,000	100,000	GRANTS

2025/2026 Variations

FUND	PROJECT NAME	VARIATION DESCRIPTION	EXPENSE CHANGE \$	REVENUE CHANGE \$	FUNDING SOURCE 1
GENERAL	FINANCIAL SERVICES	PAYBLE DIRECT DEBIT PAYMENT SYSTEM IMPLEMENTATION COST SAVINGS	-10,000	0	UNRESTRICTED CASH
GENERAL	REVENUE COLLECTION	PAYBLE DIRECT DEBIT SYSTEM IMPLEMENTATION COST SAVINGS	-13,000	0	UNRESTRICTED CASH
GENERAL	INFORMATION TECHNOLOGY OPERATIONS	PAYBLE DIRECT DEBIT PAYMENT SYSTEM ANNUAL FEES \$46500 AND \$140K FOR CIA LIVE FEES TO TRANSITION COUNCIL ONTO THE CURRENT VERSION OF SOFTWARE.	186,500	0	UNRESTRICTED CASH

2026/2027 Variations

FUND	PROJECT NAME	VARIATION DESCRIPTION	EXPENSE CHANGE \$	REVENUE CHANGE \$	FUNDING SOURCE 1
GENERAL	FINANCIAL SERVICES	PAYBLE DIRECT DEBIT PAYMENT SYSTEM IMPLEMENTATION COST SAVINGS	-13,000	0	UNRESTRICTED CASH
GENERAL	REVENUE COLLECTION	PAYBLE DIRECT DEBIT SYSTEM IMPLEMENTATION COST SAVINGS	-19,000	0	UNRESTRICTED CASH
GENERAL	INFORMATION TECHNOLOGY OPERATIONS	PAYBLE DIRECT DEBIT PAYMENT SYSTEM ANNUAL FEES \$46500 AND \$140K FOR CIA LIVE FEES TO TRANSITION COUNCIL ONTO THE CURRENT VERSION OF SOFTWARE.	186,500	0	UNRESTRICTED CASH

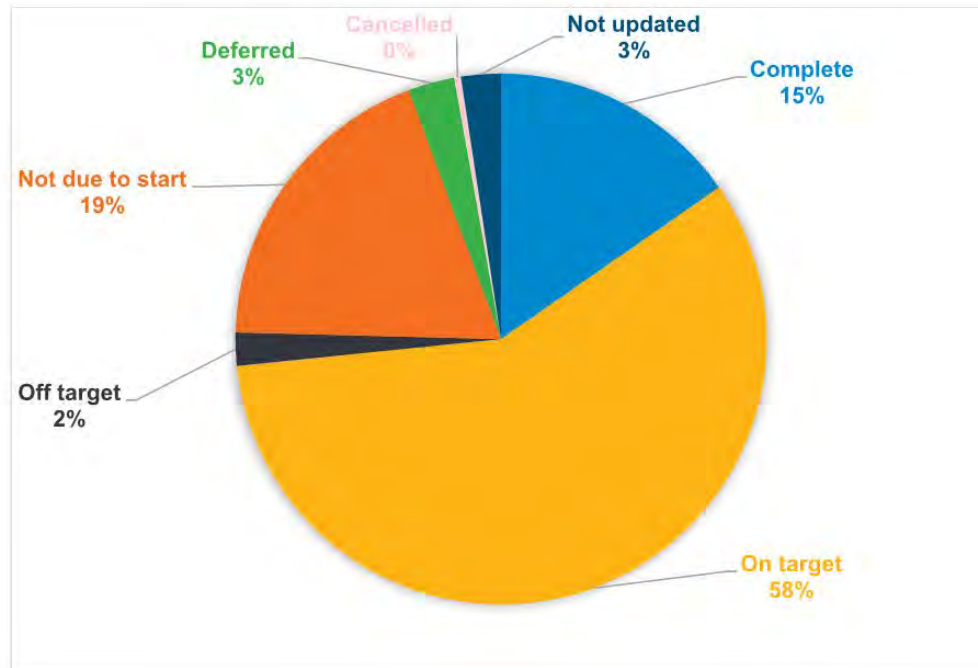
2027/2028 Variations

FUND	PROJECT NAME	VARIATION DESCRIPTION	EXPENSE CHANGE \$	REVENUE CHANGE \$	FUNDING SOURCE 1
GENERAL	FINANCIAL SERVICES	PAYBLE DIRECT DEBIT PAYMENT SYSTEM IMPLEMENTATION COST SAVINGS	-15,000	0	UNRESTRICTED CASH
GENERAL	REVENUE COLLECTION	PAYBLE DIRECT DEBIT SYSTEM IMPLEMENTATION COST SAVINGS	-25,000	0	UNRESTRICTED CASH
GENERAL	INFORMATION TECHNOLOGY OPERATIONS	PAYBLE DIRECT DEBIT PAYMENT SYSTEM ANNUAL FEES \$46500 AND \$140K FOR CIA LIVE FEES TO TRANSITION COUNCIL ONTO THE CURRENT VERSION OF SOFTWARE.	186,500	0	UNRESTRICTED CASH

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Capital Works Program

Summary of Capital Works Program



248
Capital Projects

\$89.19 M
Budget

\$8.34 M
Commitments

\$ 24.37 M
Actual YTD

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Completed Projects till November 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
YOUTH SERVICES VEHICLE PURCHASE	4	0	4	4	100%
GULGONG POOL - FILTERS	40	0	40	23	57%
PROPERTY PURCHASE - 191 DENISON STREET	299	0	299	276	92%
SCULPTURES ACROSS THE REGION	35	0	35	15	43%
PUTTA BUCCA WETLANDS - BOARDWALK EXTENSION	56	0	56	57	101%
WATER MAINS - BAYLY STREET	15	0	15	15	101%
WATER MAINS - TALLAWANG ROAD	6	0	6	6	103%
WATER MAINS - SYDNEY ROAD	230	0	230	237	103%
WATER MAINS - BAWDEN ST, MUDGEE	120	0	120	113	95%
WATER MAINS - BULGA ST, GULGONG	27	0	27	11	41%
MUDGEE VALLEY PARK - CARETAKER HOUSE RENOVATION	45	0	45	19	44%
EVENTS STORAGE COMPOUND	92	0	92	80	87%
SALEYARDS - BATHROOM RENOVATIONS	19	0	19	19	100%
SALEYARDS - LIGHTING REPLACEMENT	10	0	10	8	84%
URBAN RESEALS - HERBERT ST GULGONG	20	0	20	13	66%
URBAN RESEALS - BUNDERRA STREET SEG 10 GULGONG	14	0	14	12	87%
URBAN RESEALS - STOTT STREET SEGMENT 10,20 GULGONG	10	0	10	9	86%
URBAN RESEALS - TALLAWANG ROAD SEGMENT 10-30 GULGONG	20	0	20	17	85%
URBAN RESEALS - WILBETREE STREET SEGMENT 10-50 GULGONG	19	0	19	18	97%
URBAN RESEALS - YARAANDOO STREET SEGMENT 10 GULGONG	13	0	13	11	83%
URBAN RESEALS - MOUNTAIN VIEW ROAD SEGMENT 10,20 MUDGEE	25	0	25	24	96%

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
URBAN RESEALS - TREFUSIS AVENUE SEGMENT 10 MUDGEE	18	0	18	16	87%
URBAN RESEAL - DOURO STREET SEG 70	32	0	32	58	183%
URBAN RESEALS - LEWIS STREET SEG 10 MUDGEE	10	0	10	8	76%
ROAD EXTENSION - BETWEEN PUTTA BUCCA & GLEN WILLOW	7	0	7	7	111%
URBAN RESEALS - WYNELLA STREET GULGONG	21	0	21	17	83%
URBAN RESEALS - DEWHURST DRIVE SEGMENT 60	19	0	19	16	86%
URBAN RESEALS - ROBERT HODDLE GROVE & YARRA COURT	48	0	48	41	84%
URBAN RESEALS - BRODHEAD ROAD SEG10	11	0	11	10	100%
URBAN RESEALS - WHITE ST SEG 5	6	0	6	5	91%
RURAL RESEALS - COXS CREEK ROAD SEG 10,20,5 RYLSTONE	88	0	88	80	91%
RURAL RESEALS - NARRANGO ROAD SEG 10 RYLSTONE	44	0	44	31	70%
RURAL RESEALS - ILFORD HALL ROAD SEGMENT 20,25 ILFORD	70	0	70	74	106%
RURAL RESEAL - WINDEYER RD	77	0	77	70	90%
RURAL REHAB - CUDGEGONG RD	1,542	0	1,542	15	1%
RURAL RESEALS - ULAN-WOLLAR ROAD SEG 10-90	383	0	383	347	90%
RURAL RESEALS - PYANGLE ROAD LUE	7	0	7	0	0%
HILL END ROAD SAFETY IMPROVEMENTS	481	0	481	386	80%

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Capital project list

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
Looking after our Community									
RURAL FIRE SERVICE - CLANDULLA STATION EXTENSION (CAPITAL)	265	0	265	0	0%	8	Deferred	Jun-25	Jun-26
RURAL FIRE SERVICE - COOKS GAP STATION UPGRADE (CAPITAL)	22	0	22	0	0%	1	On target	Jun-25	Jan-24
RURAL FIRE SERVICE - LAND MATTERS	15	0	15	0	0%	0	On target	Jun-25	
FAMILY DAY CARE - EXTERNAL WORKS	60	0	60	0	0%	0	Deferred	Apr-26	
YOUTH SERVICES VEHICLE PURCHASE	4	0	4	4	100%	0	Complete		Sep-24
GULGONG YOUTH CENTRE - CAPITAL (REQUIRES GRANT)	175	0	175	0	0%	0	Not due to start		Jun-25
COMM. TRANSPORT- VEHICLE PURCHASE	130	0	130	0	0%	115	On target	Feb-25	Jun-25
AGED CARE UNITS - CAP -MUDGEE ST RYL	10	0	10	0	0%	0	Not due to start		
COUNTRY UNIVERSITY CENTRE CAPITAL	50	0	50	30	59%	3	On target	Dec-24	
CEMETERY CAPITAL PROGRAM	17	0	17	10	57%	0	On target		
CEMETERY EXPANSION - MUDGEE & GULGONG	40	0	40	0	0%	0	On target		
RYLSTONE CEMETERY - FRONT FENCE REPLACEMENT	60	0	60	53	89%	0	On target		
ILFORD CEMETERY - FENCE REPLACEMENT	25	0	25	0	0%	0	On target		
PUBLIC TOILETS - GOOLMA CAPITAL	6	0	6	0	0%	0	On target		
PUBLIC TOILET - MUDGEE RIVER WALKING TRACK	150	100	250	76	31%	78	On target	Jun-25	
PUBLIC TOILETS - SIMPKINS PARK KANDOS CAP (REQUIRES GRANT)	500	0	500	2	0%	0	Deferred	Jun-25	
LIBRARY BOOKS	96	0	96	53	55%	0	On target	Jun-25	Jun-25
HARGRAVES COURT HOUSE BUILDING - EXTERNAL WORKS	44	0	44	0	0%	0	Deferred	Apr-26	
COMMUNITY CENTRE - COURT STREET CAPITAL WORKS	15	0	15	0	0%	0	Not due to start		
COMMUNITY CENTRES - BOTOBOLAR COMMUNITY HALL & FRS SHED	20	0	20	0	0%	0	Not due to start		

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	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
\$'000									
CAPITAL UPGRADE - KILDALLON	50	0	50	35	71%	12	On target	Dec-24	
COMMUNITY ELECTRICAL INVESTIGATION & UPGRADES	85	0	85	1	1%	0	On target	Jun-25	
CRUDINE HALL - ROOF REPLACEMENT	100	0	100	13	13%	2	On target	Jun-25	
CAPITAL WORKS - GULGONG PRESCHOOL	18	0	18	3	15%	9	On target		
CAPITAL UPGRADE - KANDOS PRESCHOOL	41	0	41	32	79%	1	On target		
KANDOS HALL - UPGRADES	132	0	132	47	35%	25	On target	Dec-24	
CAPITAL UPGRADE - RYLSTONE MEMORIAL HALL	86	0	86	0	0%	31	On target	Mar-25	
TOWN HALL - EXTERNAL BRICKWORK	100	0	100	0	0%	0	Deferred	Apr-26	
KANDOS HALL & LIBRARY - TOILETS	105	0	105	1	1%	83	On target	Dec-24	
MUDGEES POOL - WATERPARK IMPROVEMENTS	100	0	100	9	9%	2	On target	Jun-25	
GULGONG POOL - CLUB HOUSE UPGRADE	50	0	50	0	0%	33	On target		
MUDGEES POOL HEATERS	80	0	80	0	0%	0	On target		
LIGHTING UPGRADE - POOLS	50	0	50	0	0%	0	On target		
KANDOS POOL - CHAIR LIFT	17	0	17	16	93%	2	On target		
KANDOS POOL - EXPANSION JOINTS	10	0	10	0	0%	0	Not due to start		
KANDOS POOL - PERIMETER FENCING	30	0	30	0	0%	0	Not due to start		
GULGONG POOL - FILTERS	40	0	40	23	57%	0	Complete		
GULGONG POOL - CONCOURSE REPAIRS	45	0	45	0	0%	0	Not due to start		
GULGONG POOL STARTING BLOCKS	40	0	40	0	0%	0	Not due to start		
GULGONG POOL HEATERS	105	0	105	0	0%	0	Not due to start		
BILLY DUNN SPORTING COMPLEX IMPROVEMENTS - (REQUIRES GRANT)	456	0	456	0	0%	0	Not due to start		
SOCCER TOUCH CLUBHOUSE - INTERNAL REFURBISHMENT	25	0	25	23	94%	0	On target	Oct-24	
GULGONG TENNIS COURTS	218	0	218	44	20%	166	On target	Sep-24	
RYLSTONE SHOWGROUND - PUMP SHED REPLACEMENT	20	0	20	0	0%	0	On target		
GLEN WILLOW FIELD ONE REFURBISHMENT	940	0	940	890	95%	34	On target		
VICTORIA PARK GULGONG- GRANDSTAND IMPROVEMENTS	33	0	33	0	0%	0	On target		

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	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
\$'000									
GLEN WILLOW - NETWORK ACCESS FIBRE CONNECTIVITY	97	0	97	99	102%	0	On target	Jun-24	Jul-24
MUDGEES TEAM TRAINING VILLAGE	8,724	0	8,724	6,209	71%	2,214	On target	Jun-24	Jun-24
GLEN WILLOW - PUMP TRACK	950	0	950	628	66%	174	On target	Dec-24	
VICTORIA PARK GULGONG - CANTEEN EQUIPMENT	10	0	10	7	75%	0	On target		
GLEN WILLOW PARKING - LIGHTING AND SECURITY	76	0	76	0	0%	0	Not due to start		
GLEN WILLOW - NETBALL PRECINCT UPGRADE	142	0	142	5	4%	6	Not due to start	Oct-24	
GLEN WILLOW - STADIUM ELEVATOR REPLACEMENT	311	0	311	0	0%	0	Not due to start		
GLEN WILLOW - STADIUM CAPITAL	166	0	166	90	54%	39	On target		
PROPERTY PURCHASE - 191 DENISON STREET	299	0	299	276	92%	0	Complete	Jun-24	Jun-24
PUTTA BUCCA PROPERTY UPGRADE	200	0	200	17	8%	23	On target	Jun-25	
VICTORIA PARK MUDGEES - SIGHT SCREENS & SEATING	80	0	80	0	0%	0	Not due to start	Sep-24	
VICTORIA PARK GULGONG - STORAGE SHED	30	0	30	0	0%	0	On target		
RYLSTONE SHOWGROUND ARENA - UPGRADE	770	0	770	0	0%	288	On target	Oct-24	
MUDGEES SHOWGROUND NORTH TOILET - UPGRADE	50	0	50	15	29%	25	On target		
RECREATIONAL PROPERTY MATTERS	12	0	12	0	0%	3	On target	Jun-24	Jun-25
MUDGEES RIVERSIDE WALKING TRACK PLAYGROUND	201	0	201	0	0%	0	On target	Jun-25	
WINDEYER VILLAGE - PLAYGROUND	120	0	120	0	0%	0	On target		
ROBERTSON PARK - EQUIPMENT UPGRADE	159	0	159	0	0%	0	Not due to start		
KANDOS INCLUSIVE ADVENTURE PLAYSPACE	117	0	117	4	3%	78	On target		
PROTECTIVE FENCE - WHITE CRESCENT KANDOS	20	0	20	0	0%	0	Not due to start		
ELECTRIC BBQ - KANDOS & RYLSTONE PLAYGROUND	10	0	10	9	88%	0	On target		
LAWSON PARK UPGRADES - FENCE & PATHWAY	99	0	99	21	21%	0	On target		
ROBERTSON PARK MUDGEES - RENEWAL	64	0	64	0	0%	0	On target		
STREETSCAPE IMPROVEMENTS	33	0	33	0	0%	0	Not due to start		
SCULPTURES ACROSS THE REGION	35	0	35	15	43%	0	Complete	Jun-24	Jun-24
RYLSTONE RIVER WALK - IMPROVEMENT	754	(100)	654	127	19%	306	On target	Jun-25	
PLAYGROUND SHADING PROGRAM	49	0	49	0	0%	0	Not due to start		
PARK BIN REPLACEMENT	32	0	32	1	3%	0	On target	Apr-24	

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
PLAYGROUND RUBBER SOFTFALL PROGRAM	60	0	60	0	0%	0	Not due to start		
GLEN WILLOW SOCCER PLAYGROUND REP	207	0	207	0	0%	169	Not due to start		
DARTON PARK - WATER BUBBLER & AMENITIES BLOCK	8	0	8	6	80%	0	On target		
PLAYGROUND EQUIPMENT UPGRADE - LAWSON PARK MUDGEE	98	0	98	4	4%	0	On target		
BRIDGE AND STEPS REPLACEMENT - RYLSTONE COMMON	10	0	10	0	0%	0	Not due to start	Jun-24	
MUDGEE RIVERSIDE - WALKING TRACK IMPROVEMENTS	0	20	20	19	95%	0	On target		
FLIRTATION HILL MUDGEE - MASTER PLAN WORKS	80	0	80	6	8%	0	On target	Jul-24	
ART GALLERY CAPITAL	40	0	40	0	0%	0	Not due to start		
Total	18,791	20	18,811	8,925	47%	3,929			
Protecting our Natural Environment									
RURAL WASTE DEPOT UPGRADES	233	0	233	0	0%	24	On target	May-25	
MUDGEE WASTE DEPOT UPGRADES	129	0	129	0	0%	92	On target	May-25	
NEW TIP CELL CONSTRUCTION	2,382	0	2,382	1,802	76%	128	On target	Oct-24	Nov-24
HOOKLIFT BINS	65	0	65	0	0%	0	Not due to start	Dec-24	Feb-25
LANDFILL GAS CAPTURE	50	0	50	0	0%	0	Not due to start	Jun-25	Jun-25
STREETSCAPE - STREET BINS	9	0	9	0	0%	0	Not due to start	Feb-25	
DRAINAGE CAPITAL IMPROVEMENTS	271	0	271	0	0%	0	Not due to start	Jun-25	
CAUSEWAY IMPROVEMENTS	65	0	65	5	7%	32	On target	Dec-24	
STORMWATER DRAINAGE - BOMBIRA AVENUE	898	0	898	658	73%	141	On target	Nov-24	
STORMWATER DRAINAGE - GEORGE ST KANDOS	30	0	30	0	0%	0	Not due to start		
MEMORIAL PARK MUDGEE - DRAINAGE IMPROVEMENT	25	0	25	20	78%	0	On target		
PUTTA BUCCA WETLANDS CAPITAL	18	0	18	4	21%	7	On target	Dec-24	
PUTTA BUCCA WETLANDS - BOARDWALK EXTENSION	56	0	56	57	101%	0	Complete		

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	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
\$'000									
PUTTA BUCCA WETLANDS - REWILDING INITIATIVE	68	0	68	0	0%	0	Not due to start		
WATER NEW CONNECTIONS	103	0	103	86	84%	2	On target	Jun-25	
WATER AUGMENTATION - MUDGEES HEADWORKS	697	0	697	17	2%	4	On target	Jun-25	
WATER DISTRIBUTION - MUDGEES	3,825	0	3,825	0	0%	0	Not due to start	Jun-26	
WATER TELEMETRY	150	0	150	0	0%	0	On target	Jun-25	
WATER RYLSTONE DAM WALL & EROSION PROTECTION	415	0	415	4	1%	39	Off target	Jan-25	Jun-25
WATER MAINS - CAPITAL BUDGET ONLY	489	0	489	0	0%	0	Not updated	Jun-25	
WATER MAINS - BAYLY STREET	15	0	15	15	101%	0	Complete	Jun-24	Jul-24
WATER MAINS - TALLAWANG ROAD	6	0	6	6	103%	0	Complete	Jun-24	Jul-24
WATER MAINS - SYDNEY ROAD	230	0	230	237	103%	0	Complete	Oct-24	
WATER MAINS - NRAR WATER METER PROJECT	65	0	65	0	0%	9	Off target	Jun-24	Jun-25
WATER MAINS - FITZROY ST, GULGONG	137	0	137	117	85%	2	On target	Dec-24	
WATER MAINS - BAWDEN ST, MUDGEES	120	0	120	113	95%	0	Complete	Oct-24	
WATER MAINS - BULGA ST, GULGONG	27	0	27	11	41%	0	Complete	Jun-25	Jul-25
WATER MAINS - WILBERTREE ST GULGONG	201	0	201	151	75%	15	On target	Dec-24	
WATER MAINS - GOOLMA RD GULGONG	380	0	380	0	0%	0	Not due to start	Feb-25	
WATER MAINS - LAWSON ST MUDGEES	20	0	20	13	67%	0	On target	Dec-24	
WATER MAINS - BLIGH ST GULGONG	110	0	110	0	0%	0	Not due to start	Apr-25	
WATER MAINS - PRINCE ST GULGONG	60	0	60	0	0%	0	Not due to start	Apr-25	
WATER PUMP STATION - CAPITAL RENEWALS	151	0	151	46	30%	0	On target	Jun-25	
WATER NETWORK SAMPLING UPGRADES	25	0	25	0	0%	0	On target	Jun-25	
WATER RESERVOIR - BUDGET ONLY	1,305	0	1,305	0	0%	0	Not updated	Jun-25	
WATER RESERVOIR - FLIRTATION HILL GULGONG	250	0	250	0	0%	0	Not due to start	Jun-25	
WATER RESERVOIR - FLIRTATION HILL MUDGEES	105	0	105	0	0%	39	Off target	Aug-24	Jun-25
RAW WATER SYSTEMS RENEWALS	22	0	22	0	0%	0	Not updated	Jun-25	
WATER TREATMENT PLANT - RENEWALS	360	0	360	6	2%	10	On target	Jun-25	
WATER TREATMENT RYLSTONE UPGRADES	296	0	296	93	31%	10	On target	Jan-25	
SEWER NEW CONNECTIONS	50	0	50	35	69%	2	On target	Jun-25	

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	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
\$'000									
SEWER AUGMENTATION - GULGONG	900	0	900	0	0%	0	Not due to start	Jun-25	
SEWER AUGMENTATION - RYLSTONE & KANDOS	524	0	524	5	1%	25	On target	Jun-25	
SEWER AUGMENTATION - MUDGEE	9,045	0	9,045	0	0%	2	Not due to start	Jun-26	
MUDGEE SEWERAGE NETWORK & TREATMENT PLANT UPGRADE	1,593	0	1,593	0	0%	0	Not due to start	Jun-26	
SEWER TELEMETRY	150	0	150	0	0%	0	On target	Jun-25	
CAPITAL UPGRADES - SEWER MAINS	554	0	554	0	0%	0	Not updated	Jun-25	
SEWER PUMP STATION - CAPITAL RENEWALS	126	0	126	25	20%	59	Off target	Jun-25	
SEWER TREATMENT WORKS - RENEWALS	115	0	115	2	2%	0	On target	Jun-25	
SEWER TREATMENT WORKS - GULGONG STP SPILLWAY	30	0	30	0	0%	0	Not updated		
SEWER EASEMENT & LAND MATTERS	10	0	10	0	0%	0	Not updated	Jun-25	
Total	26,961	0	26,961	3,527	13%	642			
Building a Strong Local Economy									
CUDGEGONG WATERS CARAVAN PARK - KIOSK & OFFICE	16	0	16	(7)	-45%	6	On target	Jun-25	
MUDGEE VALLEY PARK EXPANSION	4,468	0	4,468	1,767	40%	344	On target	Jun-25	
MUDGEE VALLEY PARK - CARETAKER HOUSE RENOVATION	45	0	45	19	44%	0	Complete	Jun-24	Oct-24
RYLSTONE CARAVAN PARK STAGE 2	148	5	153	23	15%	78	On target	Feb-25	
MUDGEE VALLEY PARK - COMMERCIAL DRYER	16	1	17	0	0%	0	On target	Sep-24	Nov-24
MUDGEE VALLEY PARK - SECURITY CAMERAS	15	0	15	0	0%	14	On target	Dec-24	Dec-24
MUDGEE VALLEY PARK - ACQUISITION & RENOVATION OF CABIN	99	0	99	1	1%	33	On target	Jan-25	
CHRISTMAS DECORATION PURCHASES	10	0	10	1	7%	1	Not due to start		
EVENTS STORAGE COMPOUND	92	0	92	80	87%	0	Complete		
SIGNAGE UPGRADE	177	0	177	0	0%	0	On target	Jun-25	Jun-25

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\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
KEY WORKERS HOUSING CONSTRUCTION MUDGEE - (REQUIRES GRANT)	1,536	0	1,536	0	0%	0	Not due to start		
SALEYARDS - POST AND RAIL REPLACEMENT	11	0	11	4	39%	1	On target	Jun-25	Jun-25
SALEYARDS - BATHROOM RENOVATIONS	19	0	19	19	100%	0	Complete	Jun-24	Jul-24
SALEYARDS - LIGHTING REPLACEMENT	10	0	10	8	84%	0	Complete		
PROPERTY - EX SALEYARDS STAGE II	50	0	50	27	55%	13	On target		
PROPERTY - BURRUNDULLA AVE CONCEPT PLAN	236	0	236	27	11%	73	On target	Jun-24	Jun-24
MORTIMER ST PRECINCT EXTERNAL PAINTING	48	0	48	0	0%	0	On target	Mar-25	
PROPERTY PURCHASE	915	0	915	0	0%	0	Not due to start		
COMMERCIAL PROP - GOWRIE CHILDCARE CENTRE EXTENSION	300	0	300	4	1%	0	Not due to start		
Total	8,211	6	8,217	1,975	24%	562			
Connecting our Region									
URBAN RESEALS - HERBERT ST GULGONG	20	0	20	13	66%	0	Complete	Apr-25	
URBAN RESEALS - MAYNE ST SEG 20-90	60	0	60	27	46%	1	On target	Apr-25	
URBAN RESEALS - GLADSTONE ST SEG 140 - 160	6	0	6	0	0%	6	On target		
URBAN RESEALS - BUNDERRA STREET SEG 10 GULGONG	14	0	14	12	87%	1	Complete	Apr-25	
URBAN RESEALS - STOTT STREET SEGMENT 10,20 GULGONG	10	0	10	9	86%	0	Complete	Apr-25	
URBAN RESEALS - TALLAWANG ROAD SEGMENT 10-30 GULGONG	20	0	20	17	85%	1	Complete	Apr-25	Nov-24
URBAN RESEALS - WILBETREE STREET SEGMENT 10-50 GULGONG	19	0	19	18	97%	1	Complete	Apr-25	
URBAN RESEALS - YARAANDOO STREET SEGMENT 10 GULGONG	13	0	13	11	83%	1	Complete	Apr-25	
URBAN RESEALS - CAROLINA CRESCENT SEGMENT 10-30 MUDGEE	21	0	21	0	0%	16	On target	Apr-25	

FINANCE | MONTHLY BUDGET REVIEW –30 NOV EMBER 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
URBAN RESEALS - MOUNTAIN VIEW ROAD SEGMENT 10,20 MUDGEE	25	0	25	24	96%	0	Complete	Apr-25	
URBAN RESEALS - TREFUSIS AVENUE SEGMENT 10 MUDGEE	18	0	18	16	87%	0	Complete	Apr-25	
URBAN RESEALS - BROADHEAD ROAD SEGMENT 10 SPRINGFL	10	0	10	0	0%	0	Cancelled	Apr-25	
URBAN RESEAL - DOURO STREET SEG 70	32	0	32	58	183%	0	Complete	Apr-25	
URBAN RESEAL - THIRD STREET SEG 10 TO 40	14	0	14	0	0%	0	On target	Apr-24	
URBAN RESEALS - LEWIS STREET SEG 10 MUDGEE	10	0	10	8	76%	0	Complete	Apr-25	
URBAN ROADS KERB & GUTTER CAPITAL	121	0	121	2	1%	0	On target	Jun-25	
URBAN REHAB - ROBERTSON ST SEG 90	68	0	68	51	75%	16	On target	Aug-25	
URBAN REHAB - LAWSON ST SEGMENT 20	513	0	513	49	10%	98	On target	Apr-25	Dec-24
URBAN HEAVY PATCHING	28	0	28	8	27%	0	On target	Jun-25	
ROAD EXTENSION - BETWEEN PUTTA BUCCA & GLEN WILLOW	7	0	7	7	111%	0	Complete		
URBAN RESEALS - WYNELLA STREET GULGONG	21	0	21	17	83%	1	Complete	Apr-25	Nov-24
RESHEETING - URBAN ROADS	12	0	12	0	0%	0	On target	Jun-25	
URBAN ROAD - HONE CREEK DRIVE EXTENSION	118	0	118	7	6%	24	On target	May-25	
BRUCE/BROADHEAD ROAD STAGE 1 UPGRADE	880	0	880	32	4%	150	On target	Jun-25	
URBAN RESEALS - DEWHURST DRIVE SEGMENT 60	19	0	19	16	86%	0	Complete	Apr-25	
URBAN RESEALS - MADEIRA ROAD SEGMENT 45-50	33	0	33	11	32%	5	On target	Apr-25	
URBAN RESEALS - SHOULDER SYDNEY ROAD HORATIO ST	105	0	105	25	24%	0	On target	Apr-25	
URBAN RESEALS - ROBERT HODDLE GROVE & YARRA COURT	48	0	48	41	84%	0	Complete	Apr-25	
URBAN RESEALS - BRODHEAD ROAD SEG10	11	0	11	10	100%	0	Complete	Apr-25	
URBAN RESEALS - WHITE ST SEG 5	6	0	6	5	91%	1	Complete	Apr-25	
URBAN RESEALS - WILKINS CRESCENT SEG 10	12	0	12	0	0%	0	On target	Apr-25	
URBAN ROADS- BULGA STREET	30	0	30	0	0%	0	On target	Apr-25	

FINANCE | MONTHLY BUDGET REVIEW –30 NOV EMBER 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
URBAN ROADS LAND MATTERS CAPITAL	16	0	16	2	15%	5	On target	Jun-25	
RURAL RESEALS - COXS CREEK ROAD SEG 10,20,5 RYLSTONE	88	0	88	80	91%	0	Complete	Apr-25	
RURAL RESEALS - LAHEYS CREEK RD SEG 10-30	138	0	138	0	0%	0	Not due to start	Apr-25	
RURAL RESEALS - NARRANGO ROAD SEG 10 RYLSTONE	44	0	44	31	70%	0	Complete	Apr-25	
RURAL RESEALS - ILFORD HALL ROAD SEGMENT 20,25 ILFORD	70	0	70	74	106%	0	Complete	Apr-25	
RURAL RESEALS - BERYL RD	50	0	50	0	0%	0	On target	Apr-25	
RURAL RESEAL - WINDEYER RD	77	0	77	70	90%	0	Complete	Apr-25	
RURAL RESEALS - QUEENS PINCH RD	171	0	171	128	75%	20	On target	Apr-25	
RURAL RESEALS - COOPER DRIVE	205	0	205	0	0%	0	On target	Apr-25	
RURAL RESEALS - NULLO MOUNTAIN SEG 20	44	0	44	0	0%	0	On target	Apr-25	
RURAL REHAB - CUDGEGONG RD	1,542	0	1,542	15	1%	0	Complete	Mar-25	
RURAL REHAB - LUE ROAD MOUNTKNOW	515	0	515	79	15%	5	On target	Mar-25	
HEAVY PATCHING	56	0	56	6	10%	7	On target	Jun-25	
RURAL RESEALS - ULAN-WOLLAR ROAD SEG 10-90	383	0	383	347	90%	(94)	Complete	Apr-25	
RURAL RESEALS - LINBURN LANE	137	0	137	92	67%	24	On target	Apr-25	
RURAL RESEALS - PYANGLE ROAD LUE	7	0	7	0	0%	0	Complete	Apr-25	
HEAVY PATCHING - RIDGE ROAD	310	0	310	29	9%	94	On target	Apr-25	
REHAB - LUE ROAD MUDGE	210	0	210	6	3%	0	On target	Apr-25	
RURAL SEALED ROAD LAND MATTERS	57	0	57	6	11%	0	On target	Jun-25	
REG RDS RESEALS - BYLONG VALLEY WAY MR215	391	0	391	0	0%	0	On target	Apr-25	
REG RDS RESEALS - HILL END ROAD MR216	194	0	194	0	0%	0	On target	Apr-25	
REG RDS RESEALS - WOLLAR ROAD MR 208	133	0	133	0	0%	0	On target	Apr-25	
COPE ROAD AUDIO TACTILE LINEMARKING	712	0	712	0	0%	0	On target	Jun-25	
HILL END ROAD SAFETY IMPROVEMENTS	481	0	481	386	80%	(0)	Complete	Sep-24	Oct-24
RESEAL ULAN ROAD - TURILL AREA	476	0	476	443	93%	60	On target	Apr-25	
REG RDS RESEALS - BYLONG VALLEY WAY MR 208	120	0	120	0	0%	0	On target	Apr-25	

FINANCE | MONTHLY BUDGET REVIEW –30 NOV EMBER 2024

	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
\$'000									
REG RDS RESEALS - GOLLAN ROAD MR 7512	94	0	94	0	0%	0	On target	Apr-25	
RURAL SEALED REGIONAL ROAD LAND MATTERS CAPITAL	11	0	11	0	0%	0	Not due to start		
SEAL EXTENSION - CORICUDGY ROAD STAGE 2	1,529	0	1,529	997	65%	237	On target	Dec-24	
SEAL EXTENSION - QUEENS PINCH RD CAUSEWAY UPGRADES AND GUARD	252	0	252	39	16%	16	On target	Jun-25	
SEAL EXTENSION - SCOTTS LANE GULGONG	59	0	59	24	40%	16	On target	Jun-25	
BIRRIWA BUS ROUTE SOUTH - DRAINAGE & CULVERTS	159	0	159	36	23%	4	On target	Jun-25	
SEAL EXTENSION - CROSSING ROAD, MENAH	87	0	87	0	0%	0	On target	Apr-25	
RESHEETING	2,298	0	2,298	1,780	77%	201	On target	Jun-25	
UNSEALED ROADS LAND MATTERS CAPITAL	106	0	106	9	9%	6	On target	Jun-25	
BRIDGE TO PUTTA BUCCA ROAD	280	0	280	160	57%	0	On target	Jun-25	
REGIONAL ROAD BRIDGE CAPITAL	64	0	64	34	54%	0	On target	Jun-25	
ULAN ROAD - REHABS, WIDENING AND CONFORMING RESEALS - BUDGET	255	0	255	6	2%	0	On target	Jun-25	
ULAN ROAD -REHAB MUDGEE RACECOURSE	800	0	800	492	62%	150	On target	Dec-24	
ULAN ROAD - SHORT TO LUE ROAD REHAB	0	900	900	0	0%	0	Not due to start		
FOOTPATH REPLACEMENT (REQUIRES GRANT)	149	0	149	28	19%	0	On target		
FOOTWAYS - BUS SHELTERS	20	0	20	0	0%	8	On target	Jun-25	
PEDESTRIAN ACCESS AND MOBILITY PLAN WORKS (REQUIRES GRANT)	171	0	171	9	5%	0	On target	Jun-25	
NEW BUS SHELTERS - 59 LIONS DRIVE & APEX PARK MUDGEE	40	0	40	0	0%	19	On target	Jun-25	
AIRPORT - DRAINAGE PLAN DEVELOPMENT	27	0	27	10	38%	11	On target	Jun-24	Oct-24
Total	15,349	900	16,249	5,911	36%	1,107			
Good Government									
CAPITAL UPGRADE - RYLSTONE DEPOT	10	0	10	0	0%	9	On target		

FINANCE | MONTHLY BUDGET REVIEW –30 NOV EMBER 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Commitments	Project Status	Original Expected Completion	Revised Expected Completion
OLD POLICE STATION CAPITAL	20	0	20	0	0%	0	Deferred	Apr-26	
BUILDINGS MASTER KEY SYSTEM	60	0	60	0	0%	0	Not due to start	May-25	
MUDGEES ADMIN BUILDING EXTENSION	447	0	447	0	0%	315	On target	Jun-24	Jun-24
MUDGEES ADMIN BUILDING - PAINTING AND REPAIRS	27	0	27	0	1%	0	On target	Mar-25	
MUDGEES OPERATIONS - OFFICE UPGRADES	225	0	225	8	4%	5	Not due to start	Jun-25	
IT OFFICE UPGRADES	65	0	65	5	8%	17	On target	Dec-24	
PEOPLE & PERFORMANCE BUILDING - UPGRADES	30	0	30	26	88%	1	On target	Oct-24	
MUDGEES PARKS & GARDEN SHED AND COMPOUND UPGRADE	50	0	50	0	0%	0	Not due to start	Mar-25	
COMMUNITY DIRECTORATE & IT OFFICE - HVAC UPGRADE	35	0	35	0	0%	35	On target	Dec-24	
MUDGEES ADMIN BUILDING - EAST WING RENOVATION	0	15	15	0	0%	0	Not due to start		
IT - NETWORK UPGRADES	4	0	4	9	251%	0	On target		
PLANT PURCHASES	10,536	2	10,538	1,853	18%	728	On target	Jun-25	
PLANT PURCHASES - NEW	131	0	131	0	0%	0	On target		
MUDGEES DEPOT CAPITAL WORKS	8	0	8	9	115%	0	On target		
SOLAR FARM INITIATIVE - STAGE 3	3,586	0	3,586	2,090	58%	983	Off target	Dec-24	Mar-25
RYLSTONE EMULSION TANK	7	0	7	2	34%	0	On target		
BATTERY ENERGY STORAGE SYSTEM	3,645	0	3,645	0	0%	0	Deferred		
ULP LINE REPLACEMENT	44	0	44	29	67%	3	On target		
Total	18,929	17	18,946	4,032	21%	2,095			
Total Capital Works Program	88,242	943	89,185	24,371	27%	8,335			

Key Operating Projects

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
Looking after our Community					
URBAN RELEASE STRATEGY - MUDGEE & GULGONG	2	0	2	2	101%
EMPLOYMENT LANDS STRATEGY - MUDGEE HEIGHT MASTERPLAN	158	0	158	8	5%
HOUSING STRATEGY	198	0	198	145	73%
DEVELOPMENT CONTROL PLAN REVIEW	250	0	250	9	4%
Total	608	0	608	165	27%
Protecting our Natural Environment					
MUDGEE FLOODPLAIN MANAGEMENT PLAN STAGE 2	20	0	20	20	99%
STORMWATER MASTER PLANNING MUDGEE DEVELOPMENT	196	0	196	0	0%
Total	216	0	216	20	9%
Building a Strong Local Economy					
MAJOR EVENTS GLEN WILLOW	1,203	0	1,203	14	1%
Total	1,203	0	1,203	14	1%
Connecting our Region					
RURAL UNSEALED ROADS GRADING PROGRAM	2,242	0	2,242	1,022	46%
AIRPORT - MASTERPLAN UPGRADE	46	0	46	14	31%

FINANCE | MONTHLY BUDGET REVIEW –30 NOV EMBER 2024

\$'000	Current Annual Budget	Proposed Variations	Proposed Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget
STATE ROADS ADMINISTRATION	226	0	226	75	33%
RM - SCHEDULED MAINTENANCE	1,473	0	1,473	387	26%
OW - BUDGET ONLY	0	0	0	0	0%
OW - RESURFACING IMPROVEMENTS	298	0	298	0	0%
OW - HEAVY PATCHING	582	0	582	1	0%
OW - RESEALS	0	0	0	0	0%
OW - RESEALS MR54	38	0	38	0	0%
OW - MISC ACCIDENTS	62	0	62	17	27%
OW - SAFER ROADS PROGRAM MENAH	3,157	0	3,157	0	0%
OW - CASTLEREAGH HIGHWAY SIGN INSTALLATION	8	0	8	3	39%
OW - RESEALS SH18	1,869	0	1,869	22	1%
OW - RESEAL MR633	290	0	290	0	0%
OW - MR633 SHOULDER & CULVERT WIDENING	158	0	158	156	98%
Total	10,448	0	10,448	1,697	16%



Application Form

APPLICANTS DETAILS

Name of Organisation	Business Mudgee
Contact Person	Grant Gjessing Vice President
Address	25 Sydney Road, Mudgee NSW 2850
Phone	[REDACTED]
Email	[REDACTED]@ [REDACTED] [REDACTED]
ABN	98 877 134 518
Bank Account Name	[REDACTED]
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Magic of Christmas in Mudgee	
Amount of funding requested	\$5000	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	Thursday 5 December 2024	Thursday 19 December 2024
Briefly, describe Project / Activity	Late night shopping, Santa will be there by the tree for photos with kids and pets. Family focused with activities for the kids: face painting, decorating gingerbread , balloon art, hoping to get restaurants and takeaway places offering themed dinners. Carollers and school choir, gift wrapping....	

COMMUNITY GRANTS

ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

it will bring out the true spirit of Christmas in the community and encourage residents in the Mid-Western LGA to shop locally.
Utilise the Council Xmas tree and decorations to optimise community spirit and encourage local small business support and collaborations.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

It is hard to put a definite figure on the number of residents that would participate however we had approximately 500 children come to have their photo with Santa at the Christmas Tree outside the library last year and believe that this year, there will be even more.
OR
We anticipate that there would be at least 1,000 people coming to late night shopping in the Mudgee CBD.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

We have met with Michelle from council and representatives from MRTI and other retailers
We are reaching out to
Rotary
Schools
Local choir

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

In 2023 Business Mudgee hosted the first Magic of Christmas in Mudgee. It was well received by local business owners and we are keen to keep the momentum up for 2024 Christmas.



Project Income	Community Grant (amount sought from Council)	5000
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	
TOTAL INCOME		5000

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Window decorations	3000
	Sweets and giveaways	1500
	Gift wrapping supplies	1200
	Social Media Coordination	1500
	Stationary and Printing for promotion	1400
TOTAL EXPENDITURE		8600
TOTAL SURPLUS / DEFICIT		3600 deficit

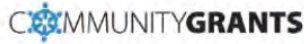
If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

n/a

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
2022/2023	\$ 5690

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

Comment on cash set aside for specific projects (optional)

Cash for ongoing networking and education events for members, and to pay wages/costs for secretariat.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

AUTHORISATION OF APPLICANT

Name

Position

Date

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.

 **COMMUNITYGRANTS**

SUBMIT YOUR APPLICATION

EMAIL: After you complete this digital form, please save it to your computer and email to council@midwestern.nsw.gov.au

DELIVER TO: Customer Service Locations

86 Market Street
MUDGEE

109 Herbert Street
GULGONG

77 Louee Street
RYLSTONE

MAIL TO: Mid-Western Regional Council
Attn: Finance Department
PO Box 156
MUDGEE NSW 2850

[SUBMIT ONLINE](#)

[COMMUNITY GRANTS POLICY](#)

[PRINT MY APPLICATION](#)





Application Form

APPLICANTS DETAILS

Name of Organisation	Rylstone Kandos Show Society
Contact Person	██████████
Address	Louee St Rylstone NSW 2849 Australia
Phone	██████████
Email	██████████@██████████.il
ABN	56 347 937 995
Bank Account Name	Rylstone Kandos Show Society
BSB	██████
Account Number	██████

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Rylstone Kandos Show 2025	
Amount of funding requested	\$ 10,000.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	21 February 2024	22 February 2024
Briefly, describe Project / Activity	<p>Since 1892 our Annual Show displays & celebrates the excellent agricultural produce, talent, animal husbandry, cooking, crafts, and artistry skills that underpin the emerging & thriving Rylstone-Kandos community. It includes childrens entertainment, woodchopping, fireworks, live music, home brew comps, and much more.</p>	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

1. promotes sustainable organic development of our community; 2. provides a platform to celebrate excellence, promote industry, & educate our community; 3. attracts/retains talented can-do people to promote engagement, learning, and leadership in our community; 4. pomotes community values & providing opportunities to live those values; 5; addresses issues of social isolation; 6. supports economic prosperity in local businesses and charities by bringing exhibitors, tourists, and \$ to the townships; 7. brings rural Australian culture to life through rituals and artefacts; while exploring and reinforcing the role of our culture at the community level.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

In previous years we have seen 2500 attendees. We intend to grow this number by promoting the show to key demographics in the sydney-region + work with train operators to bring sydney-siders to Rylstone. This year we predict a 20% growth in attendance. Our ambition is to reach these numbers:
- 2,200 Residents; plus
- 700 One Day Visitors; plus
- 200 Overnight Visitors

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The event is a RKSS managed event where the committe is the lead organisation. We do, however, maintain close contact with numerous other community organisations, businesses, business and community leaders at the show. These include: Historic Society, Charity Shops, Rotary, Local Schools, RFS. These organisations and Groups are represented via grass-roots engagement and in some cases representation on our commitee. Most local community groups are engaged with the Show at some level.
The show is also the single largest fund-raising opportunity for many community organisations withing the Rylstone-Kandos Region.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

The Rylstone Kandos Show Society Inc has been associated with the Agriculture Show Society and successfuling holding its annual show since 1937.
The RKSS is financially viable and with your support we will move towards financial independence as we grow the show which will drive higher attendance and sponsorship rates in years to come.
Our show society committee, stewards, and membership base is made up of some of the regions brightest and most experience business and community leaders.



Project Income	Community Grant (amount sought from Council)	\$ 10,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 32,000.00
	Other Income	\$ 65,000.00
TOTAL INCOME		\$ 107,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	Marketing, Advertising, Web, Digital Promotion	\$ 5,500.00
	Prize Money and Ribbons	\$ 17,000.00
	Entertainment	\$ 24,000.00
	Staffing and Security	\$ 3,000.00
	Equipment Hire	\$ 10,000.00
	Administration & Other	\$ 40,000.00
TOTAL EXPENDITURE		\$ 99,500.00
TOTAL SURPLUS / DEFICIT		\$ 7,500.00

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Any deficit will be drawn from current accounts. Any surplus (created via an increase in sponsorship, ticket sales, discounted service/product/hire etc) will be:

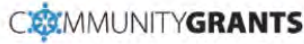
- retained as contingency for financial over-runs and future capital projects; or
- provided as a discretionary doantion back into Community Organisations and Social infrastructure (which has been undertaken in the past).

Note proposed costs are proposed and not confirmed / locked in. This will be based on income.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

<p>Is your group/organisation Incorporated?</p> <p>Have you registered for Goods & Services Tax (GST) purposes?</p> <p>Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form</p>	<table border="1" style="margin-bottom: 5px;"> <tr> <td style="text-align: center; font-size: small;">YES (click to tick)</td> <td style="text-align: center;"><input checked="" type="radio"/></td> </tr> <tr> <td style="text-align: center; font-size: small;">NO (click to tick)</td> <td style="text-align: center;"><input type="radio"/></td> </tr> </table> <table border="1" style="margin-bottom: 5px;"> <tr> <td style="text-align: center; font-size: small;">YES (click to tick)</td> <td style="text-align: center;"><input checked="" type="radio"/></td> </tr> <tr> <td style="text-align: center; font-size: small;">NO (click to tick)</td> <td style="text-align: center;"><input type="radio"/></td> </tr> </table> <table border="1"> <tr> <td style="text-align: center; font-size: small;">YES (click to tick)</td> <td style="text-align: center;"><input checked="" type="radio"/></td> </tr> <tr> <td style="text-align: center; font-size: small;">NO (click to tick)</td> <td style="text-align: center;"><input type="radio"/></td> </tr> </table>	YES (click to tick)	<input checked="" type="radio"/>	NO (click to tick)	<input type="radio"/>	YES (click to tick)	<input checked="" type="radio"/>	NO (click to tick)	<input type="radio"/>	YES (click to tick)	<input checked="" type="radio"/>	NO (click to tick)	<input type="radio"/>
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NO (click to tick)	<input type="radio"/>												
YES (click to tick)	<input checked="" type="radio"/>												
NO (click to tick)	<input type="radio"/>												



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

If yes, please advise date and amount

DATE / YEAR	AMOUNT
2023	\$ 5,000.00

Did your group return the acquittal form?

YES (click to tick)	NO (click to tick)
<input checked="" type="radio"/>	<input type="radio"/>

Closing bank balance from the most recent bank statement or treasurer's report

\$ 167,000.00

Comment on cash set aside for specific projects (optional)

Closing bank balance is at 30/6/24 and expenditure for the show has commenced which is depleting this figure. This closing balance includes retained funds for both Rylstone-Kandos Show Society and Bullarama as a sub-committee of the RKSS. Funds set aside include rainy-day, emergency, and instructure needs utilised by RKSS and within its management responsibilities.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name	██████████
Position	Sponsorships Coordinator
Date	20/11/2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
- I am aware that this application will be reproduced in the Council Business Paper, and authorise public release of information provided.



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APPLICANTS DETAILS

Name of Organisation	Rylstone Parents and Community Association
Contact Person	■■■■
Address	25 Mudgee St Rylstone NSW 2849
Phone	■■■■■
Email	■■■■■■■■■■
ABN	87 586 844 660
Bank Account Name	
BSB	
Account Number	

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Rylstone Public School Soft Fall Installation	
Amount of funding requested	\$ 5,000.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	October 2024	December 2024
Briefly, describe Project / Activity	Installation of Soft fall under the existing Ninja course in the Rylstone Public School Playground.	



ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Inclusivity for all children to use the equipment safely and reduce potential injuries.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

100+

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

Nil, Unable to secure additional funding for this project. The P&C continue to fundraise when we can towards our financial goal of being able to install the softfall for the students.

Cost of living in a small community is evident. While we are very grateful for the community support financially, asking for more is putting unfair pressure on families.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

We have a current quote from a Department of Education approved softfall installer, ready to go when we have funds available.



Project Income	Community Grant (amount sought from Council)	\$ 5,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 0.00
	Other Income	\$ 0.00
TOTAL INCOME		\$ 5,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure		
TOTAL EXPENDITURE		\$ 0.00
TOTAL SURPLUS / DEFICIT		\$ 5,000.00

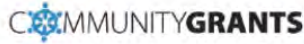
If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

The project is upwards of \$20000-There will be no surplus.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input checked="" type="radio"/>	<input type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

If yes, please advise date and amount

DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
-------------------------------------	-----------------------------------

Did your group return the acquittal form?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

Closing bank balance from the most recent bank statement or treasurer's report

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input checked="" type="radio"/>	<input type="radio"/>

A copy of the group's/organisation's public liability insurance

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input checked="" type="radio"/>	<input type="radio"/>
----------------------------------	-----------------------

AUTHORISATION OF APPLICANT

Name	<input type="text" value="████████"/>
Position	<input type="text" value="P&C member"/>
Date	<input type="text" value="17/10/2024"/>

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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APPLICANTS DETAILS

Name of Organisation	GULGONG SHOW SOCIETY INC
Contact Person	■■ J ■■ ■■
Address	PO BOX 294 GULGONG NSW 2852
Phone	■■ ■■
Email	info@gulgongshow.org.au
ABN	51031367714
Bank Account Name	■■ ■■ ■■ ■■ ■■
BSB	■■ ■■
Account Number	■■ ■■ ■■

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Gulgong Show 2025	
Amount of funding requested	\$ 5,000.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	10th February 2025 - monday	15th February 2025
Briefly, describe Project / Activity	Annual agriculture show where the community can come together to celebrate and showcase abilities, met up with friends and families, enjoy some entertainment and show rides. The show is a community event and is run by volunteers.	

COMMUNITY GRANTS

ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Gulgong Show has over 1000 members from across the state. The visitors to the show spend dollars in the region on fuel, food, accommodation and tourism. Local business will benefit from all the above and that the visitors will normally sprouk about the area and have new visitors or returning visits to the region.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Of our 1000 members - 79% are from the MWRC community. Our membership allows adults to bring their family (under 18) in the gates for free. Resident participation equates to around 2000

Visitors are up to 600 to 750

We have approx 50 volunteers (locals and non locals) who run the show and assist with the set and planning plus attending and volunteering at fundraisers held during the year

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

The Gulgong Show invites all local Not for profit groups to participate at the show. Assistance at the gate with a donation bucket is encouraged. Placing wire bins around the grounds for collection of cans from the Postie bike ladies Mens shed hold a table to sell their goods local small businesses are invited and have trade sites to sell goods or services.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)

The Gulgong show will be hostings its 137th show in 2025. The show has over the years has grow to what it is today. The current committee will keep that momentuem going and with growth bring a bigger and better show each year. For our 140th show in 2028 we hope to have a 2 day show - which for Gulgong Show Society - will be a big agenda.



Project Income	Community Grant (amount sought from Council)	\$ 5,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	\$ 31,064.00
	Other Income	\$ 33,584.00
TOTAL INCOME		\$ 69,648.00

List proposed cash expenditure (provide copies of quotes for equipment)

Project Expenditure	show day general - first aid, rodeo personnel, rent, water, power, bus	\$ 22,720.00
	lighting, additional toilets, security	\$ 3,874.00
	administration costs insurances, office, running costs	\$ 6,963.00
	entertainment - free for all patrons to the show	\$ 24,500.00
	prize moneys	\$ 24,238.00
	advertising, printing and postage of show schedule	\$ 5,250.00
TOTAL EXPENDITURE		\$ 87,545.00
TOTAL SURPLUS / DEFICIT		-\$ 17,897.00

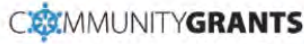
If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

Deficit will be covered by the show societies fund raising (already held funds)

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
If yes, please advise date and amount	DATE / YEAR 16/08/2023	AMOUNT \$ 5,000.00
Did your group return the acquittal form?	YES (click to tick) <input checked="" type="radio"/>	NO (click to tick) <input type="radio"/>
Closing bank balance from the most recent bank statement or treasurer's report	\$ 55,370.00	

Comment on cash set aside for specific projects (optional)

Funds in bank account are to assist with costs associated with running the show.

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

	SUPPLIED? (click to tick)	
	YES	NO
A copy of the group's/organisation's most recent bank statement or treasurer's report	<input checked="" type="radio"/>	<input type="radio"/>
A copy of the group's/organisation's public liability insurance	<input checked="" type="radio"/>	<input type="radio"/>
Where the group intends to purchase equipment, a copy of the quote/s obtained	<input type="radio"/>	<input checked="" type="radio"/>
Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required	<input type="radio"/>	<input checked="" type="radio"/>
If your group is not incorporated, please supply a letter from your auspicing body	<input type="radio"/>	<input checked="" type="radio"/>

AUTHORISATION OF APPLICANT

Name	■■■■■
Position	Treasurer/Sponsorship Officer
Date	29/10.2024

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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Application Form

APPLICANTS DETAILS

Name of Organisation	Mudgee & Districts Motorcycle Club
Contact Person	[REDACTED] b President)
Address	PO Box 1220 Mudgee, NSW
Phone	[REDACTED]
Email	[REDACTED]
ABN	54 458 673 265
Bank Account Name	Mudgee & Districts Motorcycle Club
BSB	[REDACTED]
Account Number	[REDACTED]

PROJECT / ACTIVITY DETAILS

Name of Project / Activity	Mudgee & Districts Motorcycle Club - AREC Lease	
Amount of funding requested	\$ 5,000.00	
Start and Finish date	START (click to tick)	FINISH (click to tick)
	15/11/2024	31/01/2026
Briefly, describe Project / Activity	Mudgee & Districts Motorcycle Club (MDMC) is applying for a 50% subsidy on the rental fees of the track from Australian Rural Education Centre (AREC). The AREC rental fee of \$10,000pa is a significant cost to our small non-for-profit club and a rental reduction would allow those funds to be diverted to improving the track, safety and experience for our riders.	

COMMUNITY GRANTS

ADDRESS CRITERIA

How will your project benefit the Mid-Western Region Community?

(Note: limited number of characters)

Our aim is to provide a fun and safe environment for our members to do what they love, racing dirtbikes! As the leading dirtbike club for the Mudgee region we aim to provide practice days, race events and training days to the local community for all ages. We are a not for profit organisation that is run by volunteers.

MDMC wants to ensure the ongoing provision of a safe and fun environment for community members to ride dirtbikes and participate in the sport. The club can continue to support local youth and adults riding and racing motorcross. Benefits include keeping youth active, stimulated and boosting confidence as well as positive social interactions by being involved in a club. Our events are family orientated and a great day out.

What is the expected amount of resident participation?

(Please provide no. of estimated participants)

(Note: limited number of characters)

Approx 100 members (50 of those are Kids - Juniors) currently and we are striving to grow membership further. Our Mudgee Dirtbike facebook page has 5.5k followers. Race events bring in riders and families from throughout the surrounding districts and central west, incl. Bathurst, Dubbo, Orange etc.

What level of consultation and collaboration with other local groups has your organisation undertaken?

(ie what other local community groups are or will be involved in this project?)

(Note: limited number of characters)

MDMC has been running for 50 years in the Mudgee community. 2024 has been a difficult year for the club and the sustainability of MDMC is a large focus of the current committee to ensure ongoing success into the future.

Outline your organisation's capacity to deliver the Project / Activity OR describe previous experiences.

(Note: limited number of characters)



Project Income	Community Grant (amount sought from Council)	\$ 5,000.00
	Expected Sales Revenue i.e. Entry Fee, Membership Sales	
	Other Income	
TOTAL INCOME		\$ 5,000.00

List proposed cash expenditure (provide copies of quotes for equipment)

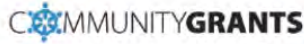
Project Expenditure		
TOTAL EXPENDITURE		\$ 0.00
TOTAL SURPLUS / DEFICIT		\$ 5,000.00

If positive or surplus budget, please provide further details/explanation what this surplus will be used for.

(Note: Unspent grants >\$200 will be required to be returned to MWRC)

FINANCIAL DETAILS

	YES (click to tick)	NO (click to tick)
Is your group/organisation Incorporated?	<input checked="" type="radio"/>	<input type="radio"/>
Have you registered for Goods & Services Tax (GST) purposes?	<input type="radio"/>	<input checked="" type="radio"/>
Do you have an Australian Business Number (ABN)? Note: If you do not have an ABN please attach a 'Statement by Supplier' form	<input checked="" type="radio"/>	<input type="radio"/>



Has your organisation/group previously received a Community Grant from Council?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

If yes, please advise date and amount

DATE / YEAR <input type="text"/>	AMOUNT \$ <input type="text"/>
-------------------------------------	-----------------------------------

Did your group return the acquittal form?

YES (click to tick) <input type="radio"/>	NO (click to tick) <input checked="" type="radio"/>
--	--

Closing bank balance from the most recent bank statement or treasurer's report

-\$ 2,600.00

Comment on cash set aside for specific projects (optional)

APPLICATION CHECKLIST

If the following are not attached with the application, this may result in the application not being considered.

A copy of the group's/organisation's most recent bank statement or treasurer's report

SUPPLIED? (click to tick)	
YES	NO
<input type="radio"/>	<input checked="" type="radio"/>

A copy of the group's/organisation's public liability insurance

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the group intends to purchase equipment, a copy of the quote/s obtained

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

Where the groups/organisations does not have an ABN, 'Statement by Supplier' is required

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

If your group is not incorporated, please supply a letter from your auspicing body

<input type="radio"/>	<input checked="" type="radio"/>
-----------------------	----------------------------------

AUTHORISATION OF APPLICANT

Name	<input type="text" value="████████"/>
Position	<input type="text" value="Club President"/>
Date	<input type="text" value="14/11/2024"/>

- I confirm that the information contained in the application form and within the attachments are true and correct.
- I confirm that this application has been submitted with the full knowledge and support of the applicant.
- I acknowledge the Community Grants Program acquittal requirements and understand that surplus funds may be required to be returned to Council.
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POLICY

LIQUID TRADE WASTE REGULATION

*A prosperous
and progressive
community*

ADOPTED 17/05/2017

COUNCIL MEETING MIN TBA

DATE: TBA

VERSION NO 2.0

REVIEW DATE SEPTEMBER 2028

FILE NUMBER GOV40047, SEW200009

Objective

- to protect public and workers health and safety and the environment
- to protect council's assets from damage
- to minimise adverse impacts on the sewage treatment processes
- to assist Council meeting regulatory and licence compliance
- to promote water conservation, waste minimization, cleaner production, effluent recycling and biosolids reuse
- to provide an environmentally responsible liquid trade waste service to the non-residential sector
- to ensure commercial provision of services and full cost recovery through appropriate sewerage and liquid trade waste fees and charges.

Legislative requirements

- Local Government Act 1993
- Protection of the Environment Operations Act 1997
- Water Management Act 2000

Related policies and plans

- Mid-Western Regional Council Asset Management Strategy
- Mid-Western Regional Council Asset Management Policy
- Mid-Western Regional Council Risk Management Policy

POLICY: LIQUID TRADE WASTE REGULATION | VERSION NO 2.0, DATE

Policy Statement

This policy sets out how Mid-Western Regional Council will regulate liquid trade waste discharges to its sewerage system in accordance with the NSW Framework for Regulation of Liquid Trade Waste.

Sewerage systems are generally designed to cater for liquid waste from domestic sources that are essentially of predictable strength and quality. Council may accept liquid trade waste into its sewerage system as a service to businesses and industry.

Liquid trade wastes may exert much greater demands on sewerage systems than domestic sewage and, if uncontrolled, can pose serious problems to public health, worker safety, Council's sewerage system and the environment.

This Policy is consistent with the *Liquid Trade Waste Management Guidelines 2021* developed by the Water Utilities branch of the NSW Department of Planning and Environment (https://www.industry.nsw.gov.au/__data/assets/pdf_file/0010/147088/trade-waste-management-guidelines.pdf)

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POLICY: LIQUID TRADE WASTE REGULATION | VERSION NO 2.0, DATE

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1 Introduction

This Policy has been developed to ensure the proper control of liquid trade waste and hence protection of public health, worker safety, the environment, and Council's sewerage system. The policy also promotes waste minimisation, water conservation, water recycling and biosolids reuse.

In addition, the approval, monitoring and enforcement processes for liquid trade wastes discharged to Council's sewerage system and the levying of commercial sewerage and liquid trade waste fees and charges are described in this document. The procedure for liquid trade waste approval is governed by Chapter 7 of the Local Government Act.

Under section 68 of the *Local Government Act 1993* (Act), a person wishing to discharge liquid trade waste to the sewerage system must obtain prior approval from Council. Discharge of liquid waste other than domestic sewage without prior approval is an offence under section 626 of the Act.

1.1 What is liquid trade waste?

Liquid trade waste is defined in the Local Government (General) Regulation 2021 as below:

Liquid trade waste means all liquid waste other than sewage of a domestic nature.

Liquid trade waste discharges to the sewerage system include liquid wastes from:

- industrial premises
- Business/commercial premises (e.g., beautician, florist, hairdresser, hotel, motel, restaurant, butcher, supermarket, etc.)
- community/public premises (including clubs, school, college, university, hospital and nursing home)
- any commercial activities carried out at residential premises
- saleyards, racecourses and stables and kennels that are not associated with domestic households
- tankered human waste, ship-to-shore waste from marina pump-out facilities, portable toilet waste and established sites for the discharge of pan contents from mobile homes/caravans
- Any other waste tankered to the sewerage facilities, e.g., commercial or industrial waste from un-sewered areas.

Liquid trade waste excludes:

- toilet, hand wash basin (used for personal hygiene only), shower and bath wastes derived from all the premises and activities mentioned above
- wastewater from residential toilets, kitchens, bathrooms or laundries (i.e., domestic sewage)
- wastewater from common laundry facilities in caravan parks (Note that discharges from common kitchen facilities in caravan parks are liquid trade waste)
- residential pool backwash.

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1.2 Objectives

The objectives¹ of this policy are:

- to protect public and workers health and safety and the environment
- to protect council's assets from damage
- to minimise adverse impacts on the sewage treatment processes
- to assist Council meeting regulatory and licence compliance
- to promote water conservation, waste minimization, cleaner production, effluent recycling and biosolids reuse
- to provide an environmentally responsible liquid trade waste service to the non-residential sector
- to ensure commercial provision of services and full cost recovery through appropriate sewerage and liquid trade waste fees and charges.

2 Structure of the Policy

This policy comprises three parts:

- **Part 1** specifies the circumstances in which a person is exempt from the necessity to apply for an approval to discharge liquid trade waste to Council's sewerage system
- **Part 2** specifies the criteria which Council will take into consideration in determining whether to give or refuse a liquid trade waste approval
- **Part 3** specifies the application procedure and approval process, liquid trade waste discharge categories and applicable fees and charges

The list of discharges exempt from obtaining Council's approval is provided in Appendix B. These discharges are known as 'Deemed to be approved'. Each such discharger must meet the standard requirements specified in Appendix B.

2.2 Part 2 - Criteria for approval to discharge liquid trade waste into council's sewerage system

2.2.1 factors for consideration

Council's decision to accept liquid waste into its sewerage system will be based on the discharger satisfying Council's requirements. Therefore, when determining an application to discharge liquid waste to the sewerage system, Council will consider the following factors:

- The potential impacts of the proposed discharge on Council's ability to meet the objectives outlined in s. 1.2 of this document.

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- The adequacy of the pre-treatment process(es) to treat the liquid trade waste to a level acceptable for discharge to the sewerage system, including proposed contingency measures in an event of the pre-treatment system failure
- The capability of the sewerage system (reticulation and treatment components) to accept the quantity and quality of the proposed liquid waste
- The adequacy of chemical storage and handling facilities, and the proposed safeguards for prevention of spills and leaks entering to the sewerage system
- The adequacy of the proposed due diligence program and contingency plan, where required.
- Proposed management of prohibited substances and other liquid waste not planned to be discharged to the sewerage system and safeguards to avoid any accidental discharge
- The potential for stormwater entering the sewerage system and adequacy of proposed stormwater controls
- The potential for growth of the community

2.2.2 Discharge Quality

Council's acceptance limits for liquid trade waste discharges are set out in Table 1. These limits are consistent with the acceptance limits specified in the *Liquid Trade Waste Management Guidelines*, 2021.

Table 1: Acceptance limits for liquid trade waste into the sewerage system

Parameter	Limits
Flow Rate	The maximum daily and instantaneous rate of discharge (kL/h or L/s) is determined based on the available capacity of the sewer. Large discharges are required to provide a balancing tank to even out the load on the sewage treatment works.
BOD5	Normally approved up to 300 mg/L. Concentrations up to 600 mg/L may be accepted.
Suspended solids	Normally approved up to 300 mg/L. Concentrations up to 600 mg/L may be accepted.
COD	Normally, not to exceed BOD5 by more than three times. This ratio is given as a guide only to prevent the discharge of non-biodegradable waste.
Total Dissolved Solids	Up to 4000 mg/L may be accepted. The acceptance limit may be reduced depending on available effluent disposal options and may be subjected to a mass load limit.
Temperature	Less than 38°C.
pH	Within the range 7.0 to 9.0.
Oil and Grease	100 mg/L if the volume of the discharge does not exceed 10% of the design capacity of the treatment works and 50 mg/L if the volume is greater than 10%.

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Detergents	All detergents are to be biodegradable. A limit on the concentration of 50 mg/L (as MBAS) may be imposed on large liquid trade wastes discharges.	
Colour	Colour must be biodegradable. No visible colour when diluted to the equivalent dilution afforded by domestic sewage flow. Specific limits may be imposed on industrial discharges where colour has a potential to interfere with sewage treatment processes and the effluent management.	
Radioactive Substances	If expected to be present (e.g., Iodine 131 from ablation), acceptance requirements will be set on a case-by-case assessment.	
Acceptance limits for inorganic and organic compounds		Maximum concentration (mg/L)
Inorganic compounds	Ammonia (as N)	50
	Boron	5
	Bromine	5
	Chlorine	10
	Cyanide	1
	Fluoride	30
	Nitrogen (total Kjeldahl)	100
	Phosphorus (total)	20
	Sulphate (as SO ₄)	500
	Sulphide (as S)	1
Organic compounds	Benzene	< 0.001
	Toluene	0.5
	Ethylbenzene	1
	Xylene	1
	Formaldehyde	30
	Phenolic compounds non-halogenated	1
	Petroleum Hydrocarbons ²	
	<ul style="list-style-type: none"> • C₆-C₁₀ (flammable) 5 • Total Recoverable Hydrocarbons (TRH) 30 	
Pesticides general (except organochlorine and organophosphorus)	0.1	
Polynuclear Aromatic Hydrocarbons (PAH)	5	

² ALWAYS ASK A LABORATORY TO CARRY OUT A SILICA GEL CLEAN UP, IF OTHER THAN PETROLEUM PRODUCTS ARE EXPECTED TO BE PRESENT IN A LIQUID TRADE WASTE SAMPLE, E.G. ANIMAL FATS, PLANT OIL, SOIL, ETC.

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Table 1 (cont.) - Acceptance Limits For liquid trade waste into the sewerage system

Acceptance limits for metals	Maximum concentration (mg/L)	Allowed daily mass limit (g/d)
Aluminium	100	-
Arsenic	0.5	2
Cadmium	1	5
Chromium ³	3	10
Cobalt	5	15
Copper	5	15
Iron	100	-
Lead	1	5
Manganese	10	30
Mercury	0.01	0.05
Molybdenum	5	15
Nickel	1	5
Selenium	1	5
Silver	2	5
Tin	5	15
Zinc	1	5
Total heavy metals excluding aluminium, iron and manganese	Less than 30 mg/L and subject to total mass loading requirements	

Notes:

1. Acceptance limits for substances not listed in above Tables will be determined on a case by case basis.
2. The quality of liquid trade waste from some low-risk commercial activities in Classification A and B will exceed acceptance limits listed in above Table. As a higher level of pre-treatment is not cost-effective, such waste is acceptable if the discharger installs, maintains and properly operates the required on-site pre-treatment. Similarly, septic and pan waste may exceed some acceptance limits.

³ Where hexavalent chromium (Cr⁶⁺) is present in the process water, pre-treatment will be required to reduce it to the trivalent state (Cr³⁺), prior to discharge into the sewer

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2.2.3 Prohibited or restricted substances and waste

Table 2 Waste Prohibited from discharge

<ul style="list-style-type: none">• Organochlorine weedicides, fungicides, pesticides, herbicides and substances of a similar nature and/or wastes arising from the preparation of these substances• organophosphorus pesticides and/or waste arising from the preparation of these substances• per- and poly-fluoroalkyl substances (PFAS)• any substances liable to produce noxious or poisonous vapours in the sewerage system• organic solvents and mineral oil#• any flammable or explosive substance#• discharges from 'Bulk Fuel Depots'• discharges from chemicals and/or oil storage areas• natural or synthetic resins, plastic monomers, synthetic adhesives, rubber and plastic emulsions• roof, rain, surface, seepage or ground water, unless specifically permitted (clause 137A of the Local Government (General) Regulation 2021)• solid matter#• disposable products including wet wipes, cleaning wipes, colostomy bags, cat litter and other products marketed as flushable• any substance assessed as not suitable to be discharged into the sewerage system• liquid waste that contains pollutants at concentrations which inhibit the sewage treatment process• any other substances listed in a relevant regulation

In excess of the approved limit

2.2.3.1 Other substances/discharges either prohibited or restricted

- Stormwater from open areas
- Contaminated groundwater
- Landfill leachate
- Discharge from float tanks
- Discharge from new service station forecourts and other refuelling points
- Discharge of liquid waste arising from liquefaction and/or pulverisation of solid waste by physical or chemical processes (e.g., garbage grinders/in-sinkerators, macerators, alkaline hydrolysis).
- Discharge from solid food waste processing units (digesters/composters, etc.)
- Use of additives in pre-treatment systems

For further details on limitations and restrictions applicable to above discharges, refer to Appendix C of this policy, Chapter 3 of the *NSW Liquid Trade Waste Management Guidelines, 2021*.

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2.3 Part 3 – Matters relating to liquid trade waste approvals

2.3.1 Application procedures and approval process

Council's written approval is required prior to commence discharging liquid trade waste to its sewerage system, under s.68 of the Local Government Act 1993. Application forms are available from Council.

The applicant must lodge a trade waste application providing all requested information.

A trade waste application is not required to discharge liquid trade waste from 'Deemed to be approved' activities listed in Appendix B

2.3.2 Who can lodge an application

The applicant must be either the owner or the occupier of the premises. If the applicant is not the owner of the premises, the owner's consent to the application is required.

2.3.3 Council's process in determination of applications

Council may request an applicant to provide further information to enable it to determine the application.

2.3.4 Approval of applications

Where an application is approved, Council will notify the applicant including any conditions of the approval and reasons for such conditions. The duration of the approval will be as stated in the approval.

An applicant may make a minor amendment or withdraw an application before it is processed by Council. An applicant may also apply to Council to renew or extend an approval, in accordance with section 107 of the Local Government Act.

2.3.5 Refusal

If an application is refused, Council will notify the applicant of the grounds for refusal.

Under section 100 of the Act the applicant may request the review of council's determination. Under section 176 of the Act, the applicant dissatisfied with Council's determination may appeal to the Land and Environment Court within 12 months.

2.3.6 Change of approval holder

An approval to discharge liquid trade waste to Council's sewerage system is not transferable. A new application must be lodged, and a new approval must be obtained if there is a change of the approval holder. Council must be notified of change of ownership and/or occupier in all cases, whether a new approval is required or not, to allow updating of records.

2.3.7 Validity of an existing approval

A new approval is required where there is a change of:

- approval holder (either owner or occupier can be an approval holder)
- activity generating the waste

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- the quantity or the nature of liquid trade waste
- approval conditions.

2.3.8 Modification and revocation of approvals

Council reserves the right to modify or revoke an approval to discharge liquid trade waste to the sewerage system under the circumstances described in s.108 of the Local Government Act 1993:

2.3.9 Concurrence

If Council supports an application and has a notice stating that concurrence of the Secretary, NSW Department of Climate Change, Energy, the Environment and Water can be assumed for the liquid trade waste relevant to the application, Council will approve the application. Otherwise, Council will seek concurrence to its approval.

For concurrence purposes, liquid trade waste discharges are divided into four classifications.

- **Concurrence Classification A** – liquid trade waste for which Council has been authorised to assume concurrence to the approval subject to certain requirements
- **Concurrence Classification B** – liquid trade waste for which Council may apply for authorisation to assume concurrence to the approval subject to certain requirements
- **Concurrence Classification S** – the acceptance of septic tank, pan waste and ship-to-shore pump-out etc. Council may apply for authorisation to assume concurrence to the approval subject to certain conditions
- **Concurrence Classification C** – all other liquid trade waste that do not fall within Concurrence Classification A, B or S, and therefore require Council to forward the application for concurrence.

Refer to Appendix E lists the discharges that council can approve without seeking concurrence from the department.

3 Sewerage and liquid trade waste fees and charges

Council provides sewerage and liquid trade waste services on a commercial basis to non-residential dischargers, with full cost recovery through sewerage and liquid trade waste fees and charges. The current sewerage and liquid trade waste fees and charges are provided on Council's website. Council implements best practice pricing for non-residential sewerage and liquid trade waste services to ensure that dischargers bear a fair share of the cost of providing sewerage services and to facilitate appropriate pre-treatment, waste minimisation and water conservation.

Liquid trade waste discharged to the sewerage system from industrial, commercial, or other non-residential customers can impose significant costs on sewage transport and treatment facilities. To recover these costs and to ensure removal of existing significant cross-subsidies from residential customers, in addition to a two-part tariff with an appropriate sewer usage charge/kill for non-residential sewerage, appropriate fees and charges are levied for liquid trade waste.

The current sewerage and liquid trade waste fees and charges are provided on Council's website <https://portal.lgsolutions.net.au/Fees/Public/Mid-Western%20Regional%20Council>

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Council's liquid trade waste fees and charges may include:

- general fees and charges (application fee, annual liquid trade waste fee, inspection and/or re-inspection fees and renewal fees)
- category specific charges (trade waste usage charges for Charging Category 2 discharges, excess mass charges for Charging Category 3 discharges, charges for Charging Category 2S discharges and non-compliance charges)
- other charges related to the nature of waste (eg, charges for the discharge of stormwater from large areas)

Detailed description of the liquid trade waste fees and charges and the methodology of calculating them are provided in Appendix D.

3.1 Liquid trade waste charging categories

For charging purposes there are 4 liquid trade waste charging categories:

- Category 1 – discharges requiring minimal pre-treatment, or prescribed pre-treatment but low impact on the sewerage system. These dischargers will only pay an annual fee. If pre-treatment equipment is not provided or maintained, non-compliance charges will be applied.
- Category 2 – discharges with prescribed pre-treatment⁴ and other activities listed under this charging category in Appendix D. These dischargers will pay trade waste usage charge and annual trade waste fee. If pre-treatment equipment is not provided or not maintained, then such dischargers will be required to pay non-compliance usage charge.
- Category 2S – transporters who tanker human waste to council's STWs, owners/operators of ship-to-shore pump out facilities and owners/operators of 'dump points' directly connected to sewer
- Category 3 – large (>20 kL/d) and industrial discharges (excluding shopping centres and institutions). Such dischargers will pay excess mass charges. If the discharge fails to Note that these charging categories are different to four classifications that have been comply with council's acceptance limits, dischargers will be required to pay non-compliance excess mass charges and pH charges

Note that these charging categories are different to four classifications that have been established for concurrence purposes (i.e. Classification A, B, C and S). The relationship between Concurrence Classifications and Charging Categories are shown in Figure 1 in Appendix D.

3.2 Non-compliance liquid trade waste charges

In order to encourage compliance, council may apply non-compliance trade waste charges. Refer to Appendix D for further details of non-compliance charges for different charging categories.

Council will continue applying non-compliance charges until the discharge meets council's approved quality (or the liquid trade waste policy) limits, within the timeframe determined by Council for remedying the problem. If the discharger fails to rectify the problem within an agreed timeframe, the discharger may be required to cease discharging liquid trade waste into Council's

⁴ Excludes activities in Category 1.

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sewerage system. Council may also consider issuing penalty infringement notice to a non-compliant discharger or may prosecute the discharger

3.3 Other applicable liquid trade waste charges

Additional fees and charges may be levied by council if wastewater is discharged to council's sewerage system from the following equipment and or processes, with council's approval.

- Food waste disposal units (i.e., garbage grinders/insinkers) ⁵
- Solid food waste processing unit
- Discharge of stormwater to the sewerage system from large open areas or large quantities of groundwater

Refer to Appendix D for further details.

3.4 Charges for premises with multiple liquid trade waste streams

Examples of premises with multiple waste streams include:

- shopping centres
- commercial strata units
- institutions, e.g., hospitals, tertiary educational facilities and correctional centres
- other premises with multiple waste streams,
- Refer to Appendix D and *Trade Waste Management Guidelines 2021* for further details.

⁵ For existing installations only. New installations are not permitted.

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3.5 Summary of category specific fees and charges

The summary of fees and charges are indicated in the table

Table 3 Summary of fees and charges

Fee/Charge	Category 1	Category 2	Category 3	Category 2S
Application fee	Yes ⁶	Yes	Yes	Yes
Annual non-residential sewerage bill with appropriate sewer usage charge/kL	Yes	Yes	Yes	No
Annual liquid trade waste fee	Yes ⁷	Yes	Yes	Variable ⁸
Re-inspection fee (when required)	Yes	Yes	Yes	Optional ⁹
Trade waste usage charge/kL	No	Yes	No	No
Human waste disposal charge/kL	No	No	No	Yes
Excess mass charges/kg	No	No	Yes	No
Non-compliance trade waste usage charge/kL	Yes ¹⁰	Yes ¹⁰	No	No
Non-compliance excess mass/kg and pH charges/kL (if required)	No	No	Yes	No

Note: Refer to Appendix D for other applicable charges not included in this Table.

Responsibility for payment of fees and charges

Property (land) owners are responsible for the payment of fees and charges for water supply, sewerage and liquid trade waste services. This includes property owners of marinas, caravan parks, etc.

Where another party (lessee) leases premises, any reimbursement of the lessor (property owner) for such fees and charges is a matter for the lessor and the lessee.

In relation to tankered human waste, transporters who collect and discharge waste at the STW are responsible for the payment. A waste transporter who tankers liquid trade waste to the STW may pay only the liquid trade waste fees and charges as non-residential sewerage fees are not applicable.

Note that a liquid trade waste discharger (except for tankered waste) pays both the non-residential sewerage charges and liquid trade waste fees and charges.

⁶ Not applicable for discharges listed as Deemed to be Approved

⁷ May not be applicable for discharges listed as 'Deemed to be Approved'.

⁸ Refer to Appendix D for guidance on applying annual fees to Category 2S discharges.

⁹ Applicable if re-inspection of facilities is required, e.g. ship-to-shore pump-out facility.

¹⁰ Non-compliance trade waste usage charge, if the discharger fails to install or properly maintain appropriate pre-treatment equipment. Refer to council's Management Plan

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4 Liquid trade waste service agreement

In addition to its approval under the Local Government Act, Council may require certain dischargers, including those who wish to discharge liquid trade waste in large volumes (discharge >20 kL/d) or industrial waste (Concurrence Classification C discharges) or some Classification S discharges into its sewerage system to execute a liquid trade waste services agreement. The agreement will set out the conditions associated with the discharge and execution of the agreement will be a condition of the approval issued by Council.

5 Enforcement of approvals and agreements

If the discharge is not approved or fails to comply with the approval conditions, the discharger is subject to prosecution and imposition of fines under the Local Government Act 1993 (under s. 626 and s. 627).

Above offences are also prescribed as penalty notice offences under the Act and Council may issue a penalty infringement notice (i.e. on the spot fine) to such discharger (Refer to Schedule 12 of the Local Government (General) Regulation 2021).

In addition to fines, council may recover costs of damages and fines incurred by council as a result of an unauthorised liquid waste discharge. Temporally suspension or cease the discharge may also be required.

Note that sections 628 and 634 to 639 also list other offences related to water, sewerage and stormwater drainage.

Polluting of any waters by a discharger of liquid trade waste who does not have a Council approval or who fails to comply with the conditions of the approval is also an offence under section 120 (1) of the Protection of the Environment Operations Act 1997. In addition, under section 222 of this Act, Council may issue a penalty infringement notice to such a discharger

6 Prevention of waste water

Water must be used efficiently and must be recycled where practicable. It is an offence under section 637 of the Local Government Act 1993 and its Regulation (refer to Appendix G) to waste or misuse water.

Dilution of liquid trade waste with water from any non-process source including Council's water supply, bore water, groundwater and stormwater as a means of reducing pollutant concentration is therefore strictly prohibited.

7 Effluent improvement plans

Where the quality of liquid trade waste discharged does not meet Council's requirements, the applicant may be required to submit an Effluent Improvement Plan setting out how Council's requirements will be met. The proposed plan must detail the methods/actions proposed to achieve the discharge limits and a timetable for implementation of the proposed actions. Such actions may include more intensive monitoring, improvements to work practices and/or pre-treatment facilities to improve the effluent quality and reliability.

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8 Due diligence programs and contingency plans

A discharger may be required to submit a due diligence program and a contingency plan for some liquid trade waste discharges (generally in Concurrence classification C, Charging Category 3) where it is considered that the discharge may pose a potential threat to the sewerage system. If required, a due diligence program and contingency plan must be submitted to Council within the time specified in the liquid trade waste approval.

Appendix A – Glossary

Authorised assumed concurrence: Councils with significant experience in liquid trade waste regulation are encouraged to apply to the Secretary, Department of Climate Change, Energy, the Environment and Water seeking to obtain concurrence for council's approval for Classification B and Classification S discharges. If granted, Council will no longer need to forward such applications to the department for concurrence, provided that council complies with the conditions outlined in the notice of concurrence.

Automatic assumed concurrence: Council has been granted assumed concurrence for approval for Classification A discharges, provided that council complies with conditions outlined in the notice of concurrence. Such applications may be approved by council without forwarding the application to the department for concurrence.

Biochemical Oxygen Demand (BOD5): The amount of oxygen utilised by micro-organisms in the process of decomposition of organic material in wastewater over a period of five days at 20°C. In practical terms, BOD is a measure of biodegradable organic content of the waste.

Biosolids: Primarily organic solids produced by sewage processing. Until such solids are suitable for beneficial use, they are defined as wastewater solids or sewage sludge.

Blackwater: wastewater containing human excrement (i.e., faeces, urine).

Bunding: secondary containment provided for storage areas, particularly for materials with the propensity to cause environmental damage.

Chemical Oxygen Demand (COD): a measure of oxygen required to oxidise organic and inorganic matter in wastewater by a strong chemical oxidant. Wastewaters containing high levels of readily oxidised compounds have a high COD.

Chemical toilet: toilets in which wastes are deposited into a holding tank containing deodorizing or other chemicals. Stored wastes must be pumped out periodically.

Commercial retail discharge: commercial discharges can be described as wastes that are discharged from businesses dealing directly with the public.

Commercial caterer: a commercial caterer is typically a stand-alone operation and prepares food for consumption off-site. These types of businesses typically cater to wedding functions, conferences, parties, etc. This definition does not apply to a food processing factory supplying pre-prepared meals to a third party.

Council: for the purpose of this document, "council" refers to a local government body (including Local Water Utility) which provides water supply and sewerage services in regional NSW

Contingency plan: a set of procedures for responding to an incident that will affect the quality of liquid trade waste discharged to the sewerage system. The plan also encompasses procedures to protect the environment from accidental and unauthorised discharges of liquid trade waste, leaks and spillages from stored products and chemicals.

Concurrence: under s. 90(1) of the Local Government Act 1993 and cl. 28 of the Local Government (General) Regulation 2021, council must obtain the written concurrence of the Secretary of the Department of Climate Change, Energy, the Environment and Water prior to approving the discharge of liquid trade waste to council's sewerage system. The department's Water Utilities Branch provides concurrence on behalf of the Secretary.

Due Diligence Program: a plan that identifies potential health and safety, environmental or other hazards (e.g., spills, accidents or leaks) and appropriate corrective actions aimed at minimising or preventing the hazards.

Effluent: the liquid discharged following a wastewater treatment process.

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Effluent Improvement Plan (EIP): the document required to be submitted by a discharger who fails to meet the acceptance limits set down in council's approval conditions and/or liquid trade waste agreement. The document sets out measures taken by a discharger in order to meet the acceptance limits within the agreed timeframe.

Fast food outlet: a food retailing business featuring a very limited menu, precooked or quickly prepared food, and take-away operations. Premises of this nature include KFC, McDonalds, Red Rooster, Pizza Hut, Hungry Jack's, Burger King, etc.

Galley waste: liquid waste from a kitchen or a food preparation area of a vessel; not including solid wastes.

Greywater: wastewater from showers, baths, spas, hand basins, laundry tubs, washing machines, dishwashers or kitchen sinks.

Heavy Metals: metals of high atomic weight which in high concentrations can exert a toxic effect and may accumulate in the environment and the food chain. Examples include mercury, chromium, cadmium, arsenic, nickel, lead and zinc.

Housekeeping: a general term, which covers all waste minimisation activities connected within the premises as part of its operation.

Industrial Discharges: industrial liquid trade waste is defined as liquid waste generated by industrial or manufacturing processes. Examples are provided in Liquid Trade Waste Management Guidelines 2021.

Liquid Trade Waste: all liquid waste other than sewage of a domestic nature discharged to the sewerage system.

Mandatory Concurrence: for the liquid waste in Classification C, councils need to obtain concurrence for approval of each discharge. The Water Utilities Branch of the Department of Climate Change, Energy, the Environment and Water provides concurrence on behalf of the department's Secretary.

Methylene Blue Active Substances (MBAS): anionic surfactants. Their presence and concentration are detected by measuring colour change in a standard solution of methylene blue dye.

Minimal Pre-treatment: for the purpose of this document this means sink strainers, basket arrestors for sink and floor waste, plaster arrestors and fixed or removable screens.

Mixed Business: a general store that sells a variety of goods and may also prepare some food.

Open Area: any unroofed process, storage, washing or transport area where rainwater potentially can be contaminated.

Pan: any moveable receptacle kept in a closet and used for the reception of human waste.

PFAS: group of manufactured chemicals, containing a component with multiple fluorine atoms, with many specialty applications. Examples are perfluoro octane sulfonate (PFOS) and perfluorooctanoic acid (PFOA). They are used in a range of products, such as textiles, leather, cosmetics, non-stick coatings in cookware, food packaging, and in some types of fire-fighting foam. These chemicals take a long time to break down in humans and the environment and their persistence and bioaccumulation potential pose concerns for the environment and for human health.

Pit latrines/long-drop toilet/pit toilet: a type of toilet that collects faeces and urine directly into a tank or a hole in the ground

Portable Toilet: toilet in which wastes are deposited into a holding tank used on construction sites, caravans, motor homes, boats, trains and at outdoor gatherings. If chemicals are used to control odours, it is referred to as a chemical toilet.

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pH: a measure of acidity or alkalinity of an aqueous solution, expressed as the logarithm of the reciprocal of the hydrogen ion (H⁺) activity in moles per litre at a given temperature; pH 7 is neutral, below 7 is acidic and above 7 is alkaline.

Premises: has the same meaning as defined in the Local Government Act Dictionary and includes any of the following:

- a building of any description or any part of it and the appurtenances to it
- land, whether built on or not
- a shed or other structure
- a tent
- a swimming pool
- a ship or vessel of any description (including a houseboat)
- a van.

Prescribed Pre-treatment Equipment: standard non-complex equipment used for pre-treatment of liquid trade waste, e.g., a grease arrestor, an oil arrestor/separator, solids arrestor, cooling pit.

Regional NSW: the areas of the state that are not serviced by the Sydney Water Corporation or the Hunter Water Corporation.

Regulation: Local Government (General) Regulation 2021 under the Local Government Act 1993.

Secretary: the head of the Department of Climate Change, Energy, the Environment and Water.

Septage: material pumped out from a septic tank during desludging; contains partly decomposed scum, sludge and liquid.

Septic Tank: wastewater treatment device that provides a preliminary form of treatment for wastewater. It provides sedimentation of settle able solids, flotation of oils and fats, and anaerobic digestion of sludge.

Septic Tank Effluent: the liquid discharged from a septic tank after treatment.

Sewage Management Facility: a human waste storage facility or a waste treatment device intended to process sewage and includes a drain connected to such a facility or device.

Sewage of a Domestic Nature: human faecal matter and urine and wastewater associated with ordinary kitchen, laundry and ablution activities of a household, but does not include waste in or from a sewage management facility.

Sewerage System: the network of sewage collection, transportation, treatment and by-products (effluent and biosolids) management facilities.

Sewage treatment works: this is the facility designed to treat sewage. The level of treatment will vary based on the expected quality of the effluent.

Ship-to-Shore Pump-out: liquid waste from a vessel that may be considered for disposal to the sewerage system. This includes on-board toilet wastes, galley wastes and dry dock cleaning wastes from maintenance activities.

Sludge: the solids that are removed from wastewater by treatment.

Stormwater Run-off: run-off resulting from rainfall.

Surfactants: the key active ingredient of detergents, soaps, emulsifiers, wetting agents and penetrants. Anionic surfactants react with a chemical called methylene blue to form a blue-chloroform-soluble complex. The intensity of colour is proportional to concentration.

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Suspended Solids (SS): the insoluble solid matter suspended in wastewater that can be separated by laboratory filtration and is retained on a filter.

Total Dissolved Solids (TDS): total amount of dissolved material in the water.

Total Recoverable Hydrocarbons (TRH): Both biological and petroleum hydrocarbons which have been extracted (recovered) from a sample. TRH are equivalent to the previously reported Total **Petroleum Hydrocarbons (TPH)**. TRH is reported in fractions with Carbon chain (C6 – C40). TRH with carbon chain C6 – C10 are flammable.

Waste Minimisation: procedures and processes implemented by industry and business to modify, change, alter or substitute work practices and products that will result in a reduction in the volume and/or strength of waste discharged to sewer.

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Appendix B – Deemed to be Approved Activities

The list of discharges exempts from obtaining of Council's approval (i.e., considered as Deemed to be approved) is shown in Table B1. Each such discharger must meet standard requirements specified in this Table.

Table 4 Discharges deemed to be approved

Activity generating waste	Requirements
Bed and Breakfast (not more than 10 persons including proprietor)	Sink strainers in food preparation areas Housekeeping practices (see Note 4)
Cooling tower <500L/h	No chromium-based products to be discharged to the sewer
Crafts ceramic, pottery, etc. (including hobby clubs) <ul style="list-style-type: none"> • flows <200 L/d • flows 200-1,000 L/d 	Nil Plaster arrestor required
Day care centre (no hot food prepared)	Sink strainers in food preparation areas Housekeeping practices (see Note 4) Nappies, wet wipes are not to be flushed into the toilet
Florist	Dry basket arrestor for floor waste outlet and sink strainer required Herbicides/pesticides are not permitted to be discharged to sewer
Fruit and vegetable – retail	Dry basket arrestor for floor waste outlet and sink strainer required (see Notes 3 and 5)
Jewellery shop <ul style="list-style-type: none"> • miniplater • ultrasonic washing • precious stone cutting 	Miniplater vessel to contain no more than 1.5 L of precious metal solution Nil If: < 1000 L/d plaster arrestor required > 1000 L/d general purpose pit required
*Medical centre/doctor surgery/physiotherapy *(Only if plaster cast are made onsite)	Plaster arrestor required, if plaster of paris casts are used
Mobile cleaning units <ul style="list-style-type: none"> • carpet cleaning • garbage bin washing 	20-micron filtration system fitted to a mobile unit Dry basket arrestor for floor waste outlet required. Discharge via grease arrestor (if available)
Nut shop	Dry basket arrestor for floor waste outlet and sink strainer required (see Note 3)
Optical service - retail	Solids settlement tank/pit required
Venetian blind cleaning	Nil (see Note 2)

Notes:

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1. **Where “required” is used, it means as required by council.**
2. **If activity is conducted outdoors, the work area is to be roofed and banded to prevent storm water ingress into the sewerage system.**
3. **Dry basket arrestors must be provided for all floor waste outlets.**
4. **Food preparation activities need to comply with sound housekeeping practices including:**
 - a. **floor must be dry swept before washing**
 - b. **pre-wiping of all utensils, plates, bowls etc. to the scrap bin before washing up**
5. **Use of a food waste disposal unit (garbage grinder) and/or a food waste processing unit (food waste digester, composter etc) is not permitted.**

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Appendix C – Prohibited or restricted substances and wastes from discharge to sewer

This Appendix provides additional information regarding substances and waste either prohibited or restricted from being discharged to sewer (as indicated in Table 2 of this Policy).

C1 Stormwater from open areas

The ingress of stormwater into the sewerage system can cause operational problems and result in sewer overflows, as the sewerage system does not have the capacity for such flows. Under clause 137A of the Regulation, the discharge of roof, rain, surface, seepage or groundwater to a sewerage system is prohibited unless specifically approved.

However, it may not be practical or feasible to totally prevent stormwater contamination and ingress into a sewerage system from some non-residential premises.

The discharge of limited quantities of stormwater (generally, 10 mm of rain) from sealed areas can be considered when roofing cannot be provided due to safety or other important considerations. In such instances, the applicant should take measures to minimise the contamination of stormwater and the volume of stormwater entering the sewerage system (e.g., first flush systems, flow separation, bunding, on-site detention, etc.). The discharge from unsealed areas is not permitted.

Refer to Liquid Trade Waste Management Guidelines 2021 for further information

C2 Contaminated groundwater

Similar to stormwater, discharge of groundwater or seepage water to a sewerage system is prohibited under clause 137A of the Regulation. Accordingly, groundwater extracted during construction activities (e.g., building/road construction activities, vacuum excavation, mining/exploration works, etc.) is not permitted to be discharged to Council's sewerage system directly or indirectly.

However, groundwater previously contaminated by human activities (e.g., service station remediation sites) may be considered for discharge to the sewerage system. Limited quantities of groundwater from remediation projects may be accepted under controlled conditions after appropriate pre-treatment for a limited period.

C3 Discharge of landfill leachate

The discharge of leachate from municipal waste landfills to the sewerage system may be considered under controlled conditions, if there is no other viable option of managing this waste and the discharge is within the Council's acceptance limits.

The proponent when seeking approval to discharge leachate to sewer needs to demonstrate that a sound stormwater management plan has been developed and implemented. The plan needs to address:

- segregation of potentially contaminated areas from uncontaminated areas
- prevention of surface runoff entering leachate collection ponds/dams and to Council sewerage system.
- appropriate pre-treatment to meet Council's acceptance limits

Only the excess leachate after on-site management within the premise will be considered for sewer discharge, if it meets Council's acceptance criteria. On-site pre-treatment to reduce ammonia levels (and other substances, e.g., PFAS) may also be required.

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C4 Discharge from float tanks

Float tanks, often referred to as floatation pods, iso-pods (isolation tank), sensory deprivation systems, or REST tanks (restricted environmental stimulation therapy tanks) are typically small, enclosed pods containing about 1,000 litres of water. This water usually contains large quantities of Epsom salts (300 - 700 kg of magnesium sulphate), resulting in total dissolved solids concentration up to 700,000 mg/L.

Discharge of such water to sewer is not permitted due to potential adverse impacts associated with the high salt content on the sewer infrastructure and treatment processes. It is also not appropriate to dispose of such waste to septic tanks or on-site soak wells.

If wastewater is proposed to be transported away for off-site management, the operator of such facilities must provide details of liquid waste transporters and written verification from the receiving facilities acknowledging and agreeing to receive such wastewater.

C5 Discharge from Service station forecourts and other refuelling points

C5.1 New premises

The discharge of wastewater from service station forecourts and other refuelling points (e.g. at bus depot, etc.) is not permitted.

Refer to NSW EPA Practice Note, titled Managing Run-off from Service Station Forecourts, June 2019, for options for managing such wastewater.

C5.2 Existing premises

The discharge from existing service stations and other refuelling areas may be permitted, provided appropriate pre-treatment and discharge control requirements are adhered to. Further information is provided in Chapter 3 and Appendix F of the Liquid Trade Waste Management Guidelines 2021.

If a refuelling area is refurbished, then the discharge from this area must be disconnected from the sewerage system.

C6 Discharges from liquefaction and/or pulverisation of solid waste by physical or chemical processes

The wastewater arising from liquefaction or pulverisation of solid waste by physical (e.g., pulping, macerating) or chemical means (e.g., dissolving solid waste in highly acidic or alkaline solutions) is not permitted to be discharged to the sewerage system.

Accordingly, discharges from the following devices/processes are not permitted.

- **Macerators** or similar devices that pulverising of solid waste. Solid waste includes, but not limited to sanitary napkin, placenta, surgical waste, disposable nappy, mache bedpan/urine containers, food waste, disposable products and animal waste (dog/cat faeces, cat litter).
- **Food waste disposal units**, also known as in-sink food waste disposers or garbage grinders in commercial premises. Discharges from existing installations in hospitals and nursing homes may be permitted, provided that wastewater is discharged through an adequately sized grease arrestor (additional charges will be applied).

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If the kitchen is refurbished, the food waste disposal unit must be removed.

- **Alkaline hydrolysis waste**, process where a human or animal tissue is broken down using alkaline solutions at elevated temperatures and pH. The process may be used in animal care facilities, veterinary premises, animal research laboratories, funeral parlours etc. The generated wastewater is of a high strength and may exhibit high loadings on the sewerage system. Accordingly, the wastewater generated by this process is **not** permitted to be discharged to the sewerage system.

C6.1 Discharge from Solid Food Waste Processing Units (digesters/ composters, etc.)

Discharge from a solid food waste processing unit (digesters/composters, etc) to a Council's sewerage system is a Concurrence Classification C discharge (ie. Charging Category 3), hence Council needs to obtain concurrence to its approval from the department for individual applications.

The quality of wastewater from this equipment depends on the type of solid waste feed into it and the effectiveness of the on-site pre-treatment, hence frequent sampling will be required for monitoring and charging purposes. Sampling needs to be undertaken by either a council officer or an independent party acceptable to council.

Appropriate on-site pre-treatment needs to be provided prior to combining with any other liquid waste stream that discharges to the Council's sewerage system.

Each application will be assessed on a case by case basis.

C7 Use of additives in pre-treatment systems

The use of bacterial, enzyme and/or odour controlling agents in pre-treatment equipment (e.g. in grease arrestors) is prohibited unless specifically approved by Council with the department's concurrence.

C8 Discharge of disposable products marketed as flushable

Any disposable solid products including those marketed as "flushable" (e.g. wet wipes, cleaning wipes, cat litter, etc.) is not permitted to flush down the sewerage system.

Contrary to manufacturers' claims, flushable wet wipes do not breakdown in the sewerage system similarly to a toilet paper and may cause blockages within the premises or in the Council's sewerage system and may cause raw sewage overflow to the environment.

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Appendix D – Non-residential sewerage and liquid trade waste fees and charges

This Appendix provides information on Council's charging criteria for liquid trade waste customers. Some guidance is also provided on the applicable non-residential sewerage charges.

The best practice pricing for non-residential sewerage and liquid trade waste services are to ensure that liquid trade waste dischargers pay a fair share of the cost of sewerage services provided by Council. Appropriate pricing is essential to provide relevant pricing signals to non-residential and liquid trade waste customers to use water and sewerage system efficiently.

D1 Non-residential sewerage pricing

A non-residential sewerage bill is based on a cost-reflective two-part tariff with an annual access charge and a uniform sewer usage charge per kL. The total discharged volume to the sewerage system can be either measured (by a flow meter) or estimated using the customer's total water consumption multiplied by a sewer discharge factor.

The sewerage bill for a non-residential customer is calculated as follows:

$$B = SDF \times (AC + C \times UC)$$

Where:

B	=	Annual non-residential sewerage bill (\$)
C	=	Customer's water annual consumption (kL)
AC	=	Annual non-residential sewerage access charge as shown below (\$)
SDF	=	Sewer discharge factor
UC	=	Sewer usage charge (\$/kL)

Access charge

The sewerage access charge is proportional to the square of the size of the water supply service connection.

$$AC = \left(AC_{20} \times \frac{D^2}{400} \right)$$

Where: AC₂₀ = Annual non-residential sewerage access charge for 20 mm water service connection (\$)

D = Water supply service connection size (mm)

Sewer Usage charge

The sewer usage charge (\$/kL) is applied for the total volume of wastewater discharged to the sewerage system.

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Discharge factors (As listed in the Trade Waste Regulation Guidelines, April 2009)

A discharge factor represents the percentage of the metered water consumption, which is discharged to the sewerage system from a non-residential property. There are two types of discharge factors:

- Sewer (SDF); and
- Liquid Trade Waste (TWDF).

Sewer discharge factor

The sewer discharge factor is the ratio of all wastewater discharged from a premises to the sewerage system to the total water consumption expressed as a percentage.

$$SDF = \left(\frac{\text{Domestic} + \text{Trade Waste}}{\text{Total Water Consumption}} \right) \times 100$$

Trade waste discharge factor

The trade waste discharge factor is the ratio of the volume of liquid trade waste discharged into the sewerage system to the total water consumption expressed as a percentage.

$$TWDF = \left(\frac{\text{Liquid Trade Waste}}{\text{Total Water Consumption}} \right) \times 100$$

Table 5 Sewer and Trade Waste Discharge factor

Discharger	Discharge Factor	
	Sewer	Trade Waste
Bakery	95	25
with a residence attached ¹	70	18
Bed and Breakfast/Guesthouse (max. 10 persons)	75	N/A ²
Boarding House	90	20
Butcher	95	90
with a residence attached ¹	70	65
Cakes/Patisserie	95	50
Car Detailing	95	90
Car Wash	75	70 ⁵
Caravan Park (with commercial kitchen)	75	15
Caravan Park (no commercial kitchen)	75	N/A ²
Chicken/poultry shop (retail fresh, no cooking)	95	90
Charcoal Chicken	95	80
Club	95	30
Cold store	7	N/A ²
Community hall (minimal food only)	95	N/A ²
Correctional Centre	90	Note 6

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<i>Discharger</i>	<i>Discharge Factor</i>	
	<i>Sewer</i>	<i>Trade Waste</i>
Craft/Stonemason	95	80
Day Care Centre	95	N/A ²
Delicatessen, mixed business (no hot food) with a residence attached ¹	95 70	N/A ²
Dental Surgery with X-ray with a residence attached ¹	95 70	80 60
Fresh Fish Outlet	95	90
Hairdresser	95	N/A ²
High School	95	25 ⁵
Hospital	95	30
Hostel	90	20
Hotel	100	25
Joinery	95	10
KFC, Red Rooster	95	80
Laundry	95	92 ⁵
Marina	90	70
McDonalds Restaurant, Burger King, Pizza Hut	95	62
Mechanical Workshop ³	95	70
Mechanical workshop with car yard	85	70
Medical Centre	95	25 ⁵
Motels small (breakfast only, no hot food)	90	N/A ²
Motel (hot food prepared)	90	20
Nursing Home	90	30
Office Building	95	N/A
Optical Service	95	N/A ²
Panel Beating/Spray Painting	95	70
Primary School	95	10 ⁵
Printer	95	85
Restaurant ⁴	95	50
Self Storage	90	N/A
Service Station	90	70
Shopping Centre	85	30
Supermarket	95	70
Swimming Pool (commercial)	85	N/A ²
Take Away Food	95	50

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<i>Discharger</i>	<i>Discharge Factor</i>	
	<i>Sewer</i>	<i>Trade Waste</i>
Technical College or University	95	Note 6
Vehicle Wash: Robo, Clean and Go, Gerni Type	95	90 ⁵
Veterinary (no X-ray), Kennels, Animal wash	80	N/A ²

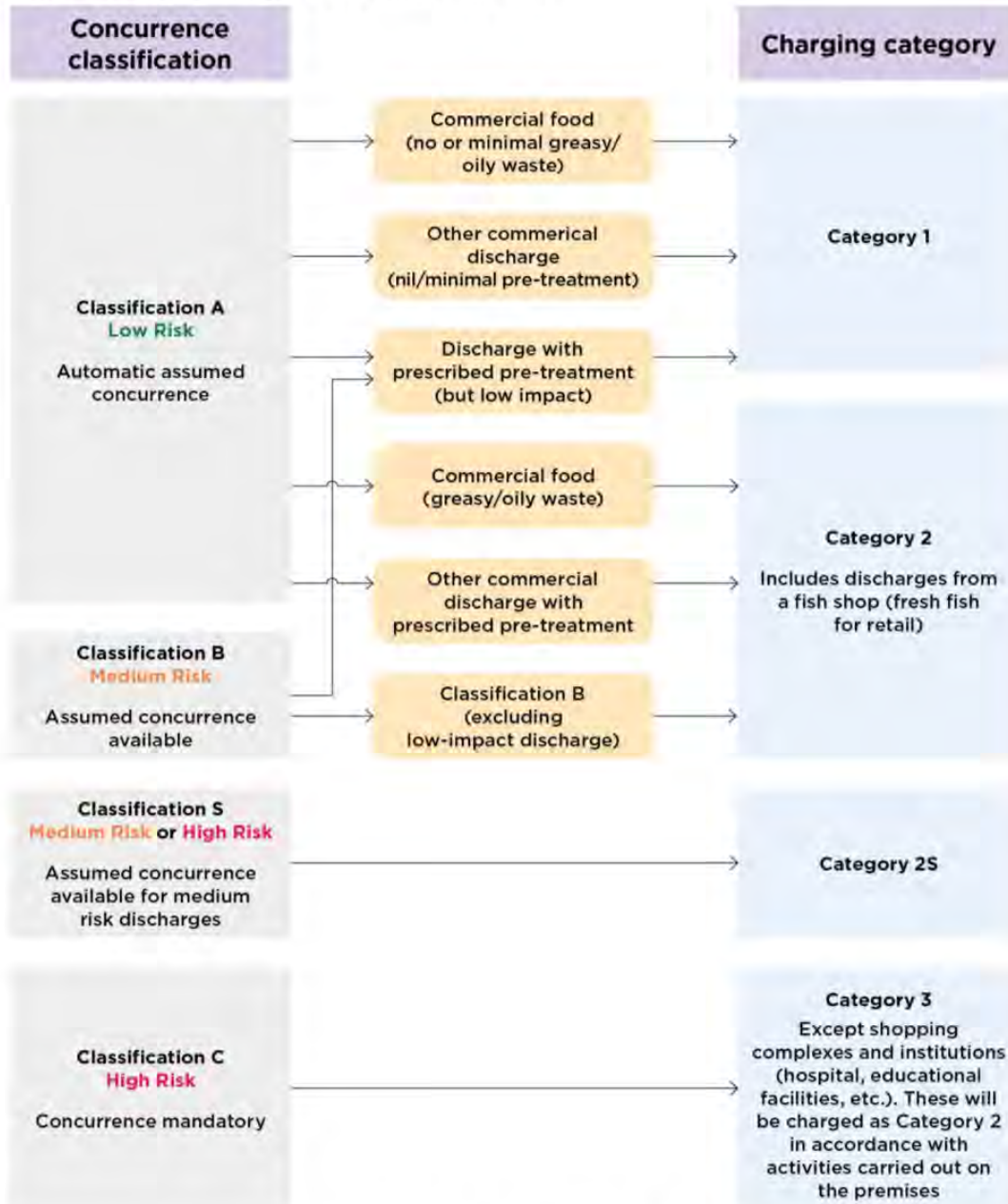
Notes:

- ¹ If a residence is attached, that has garden watering, the residential SDF should be applied.
- ² A trade waste usage charge is not applicable for this activity.
- ³ Includes lawn mower repairer, equipment hire.
- ⁴ Includes café, cantéén, bistro, etc.
- ⁵ A trade waste usage charge applies if appropriate pre-treatment equipment has not been installed or has not been properly operated or maintained.
- ⁶ A discharge factor to be applied on the basis of the relevant activity, eg. food preparation/service, mechanical workshop, optical services, etc.

D2 Liquid Trade Waste fees and charges

This section describes varies fees and charges associated with liquid trade waste and fees and charges applicable to charging categories. Figure 1 shows the relationship between concurrence classifications and charging categories.

Figure 1 Charging categories for liquid trade waste



In summary, Classification A discharges fall into Charging Category 1 or Category 2. Classification B discharges fall into Charging Category 2, except for a few discharges with low impact on the sewerage system which fall into Category 1. Classification S discharges fall into Charging Category 2S and Classification C discharges fall into Charging Category 3.

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D2.1 description of various trade waste fees and charges

Following sections describe various trade waste fees and charges and the methodology of calculating them.

D2.1.1 Application fee

The application fee recovers the costs of administration and technical services provided by Council in processing a liquid trade waste application. This fee varies for different charging categories to reflect the complexity of processing the application.

D2.1.2 Annual trade waste fee

The purpose of this fee is to recover the costs incurred by council for ongoing administration and scheduled inspections, in order to ensure that the discharge complies with the approval conditions.

As part of an inspection, Council may undertake monitoring which may include, but is not limited to, flow measurement and the sampling. In general, cost of one inspection is included in the annual fee, in particular for Category 1 and 2 discharges.

Annual liquid trade waste fee varies for different charging categories in order to reflect the complexity of their inspection and administration requirements. In particular, for Category 3 discharges, Council may opt to set the annual fee on a case by case basis to reflect the complexity of monitoring requirements and the extent of inspection.

Refer to section D8.4 with regard to annual fees applicable to premises with multiple activities.

Council may require a discharger to pay for monitoring (quantity and quality) based on full cost recovery.

D2.1.3 Inspection fee/re-inspection fee

Cost of one inspection is usually included in annual liquid trade waste fee for charging categories 1 and 2.

However, it may be required to conduct un-planned inspections or re-inspections of a premise (e.g. non-compliance with approved conditions, investigating an accident, etc.). Also, more frequent inspections may be necessary for large and industrial discharges.

Where more than one inspection is undertaken in a financial year and/or the cost of inspections is not included in the annual fee, the cost may be recovered from the discharger as the re-inspection fee.

Council may recover the cost of sample analysis from the discharger, in addition to the re-inspection fee.

D2.1.4 Renewal fee

Council will apply a renewal fee if an existing approval needs to be renewed or modified.

D2.1.5 Category specific charges

The following sections describe the charging categories and relevant fees and charges. If a discharge is not listed, council will determine (with the consultation of the department) the relevant charging category, based on the quality and the quantity of discharge.

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D3 Category 1 discharger

This charging category includes:

- Classification A discharges (both commercial retail non-oily/greasy food preparation and other commercial discharges, listed below)
- Classifications B discharges identified as low risk.

Some of the above discharges may require prescribed pre-treatment to be installed however, the treated effluent is considered to have a low impact on the sewerage system.

Classification A discharges – commercial retail food preparation activities that do not generate or generate minimal oily/greasy waste: bakery (only bread baked on-site), bistro (sandwiches, coffee only), boarding/hostel < 10 persons, café/coffee shop/coffee lounge (no hot food), canteen/cafeteria (no hot food), community hall/civic centre (minimal food), day care centre (minimal hot food), delicatessen (minimal or no hot food), fruit and vegetable shop, hotel/motel (minimal hot food), ice cream parlour (take away only), juice bar, mobile food van (no hot food), mixed business (minimal hot food), nightclub (no hot food), nut shop, pie shop (re-heating only), pizza no cooking/reheating (pizza heated and sold for consumption off-site), potato peeling (small operation), sandwich shop/salad bar/snack bar (no hot food), take away food outlet (no hot food), school canteen with minimal hot food.

Classification A discharges from other commercial activities: animal wash, beautician/tanning booths/hairdressing, crafts ≤ 1,000 L/d, dental surgery/dental technician (plaster casts), dry cleaning, florist, funeral parlour, jewellery shop, medical centre/physiotherapy (plaster casts), mobile cleaning units, morgue, optical service, pet shop, plants retail (no nursery), non-residential swimming pool/hydrotherapy, veterinary.

Classification A or B discharges with prescribed pre-treatment and low impact on the sewerage system: boiler blowdown, cooling tower, industrial boilers, laboratory (analytical/pathology/tertiary institution), laundry/laundromat, primary and secondary school¹¹, vehicle washing/detailing (excluding truck washing).

D3.1 Category 1 discharger - Liquid trade waste charges

D3.1.1 “Deemed to be approved” discharges

For a discharger in “Deemed to be approved discharges” (refer to Appendix B), following charges will be applicable. The current sewerage and liquid trade waste fees and charges are provided on Council’s website.

D3.1.2 Category 1 discharger, other than “deemed to be approved”

Category 1 discharger who installs recommended appropriate pre-treatment equipment and maintains them regularly will be required to pay only the annual fee nominated for Category 1. Liquid trade waste bill for Category 1 discharger (TW1)

$$TW_1 = A_1$$

A1 = Annual liquid trade waste fee (\$) for Category 1

¹¹ If significant hot food preparation is carried out, Category 2 charges may be levied by council.

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D4 Category 2 discharger

Category 2 liquid trade waste dischargers are those discharging waste generated by an activity listed below:

Classification A discharges – commercial retail food preparation/serving activities that generate oily/greasy waste: bakery (pies, sausage rolls, quiches, cakes, pastries with creams or custards), bistro, boarding house/hostel kitchen (exceeding 10 persons), butcher, café/coffee shop/coffee lounge (with hot food), cafeteria/ canteen (with hot food), chicken/poultry shop – fresh/roast, retail BBQ/charcoal chicken, day care centre with hot food, club, civic centre/community hall¹², commercial kitchen/caterer, delicatessen with hot food, fast food outlet, fish shop (retail and cooking on-site), function centre, hotel, ice cream parlour, mixed business (hot food), mobile food van (base), motel, nightclub, nursing home, patisserie, pizza cooking, restaurant, sandwich shop/salad bar/snack bar (with hot food), supermarket, take away food outlet with hot food, school canteen with hot food.

Classification A discharges – other commercial discharges: car detailing, craft activities > 1000 L/d, lawnmower repairs, mechanical workshop, stone working, surfboard manufacture (wet process only).

Classification B discharges: auto dismantler, bus/coach depot, bakery (wholesale), butcher (wholesale) construction equipment maintenance and cleaning, boutique or artisan foods, engine reconditioning, equipment hire, maintenance and cleaning, fish co-op, graphic arts, hospital, micro-brewery, oyster processing – shucking, panel beating, radiator repairer, screen printing, service station forecourt, shopping complex, truck washing (platforms/flat beds) and truck washing (external).

D4.1 Category 2 discharger - Liquid trade waste charges

Category 2 discharger who installs appropriate pre-treatment equipment and maintains them will pay annual fee nominated for Category 2 plus the trade waste usage charge.

Liquid trade waste bill for Category 2 discharger (TW₂),

$$TW_2 = A_2 + Q_{TW} \times C_2$$

A₂ = Annual liquid trade waste fee (\$) for Category 2

Q_{TW} = Total liquid trade waste discharge volume (kL)

C₂ = Trade waste usage charge (\$/kL)

The liquid trade waste discharge volume is generally estimated by applying a Trade Waste Discharge Factor (TWDF) to the total water consumption unless a discharge meter is installed.

D5 Category 2S discharger

Category 2S dischargers include:

■ **transporters who tanker human waste** to council's STWs - septic tank waste (effluent and septage), ablution block waste (blackwater and greywater), portable toilet waste, sludge from on-site aerated wastewater treatment systems (AWTS) for single households, waste from pit toilets, night soil.

■ **owners/operators of 'dump points'** directly connected to the sewer for disposal toilet waste and/or grey water from a bus or a recreation vehicle (RV), e.g., caravan, motor home.

¹² If the type and size of kitchen fixtures installed enable catering for large functions.

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D5.1 Category 2S discharger - Liquid trade waste charges

D5.1.1 Transported human waste

The transporters of human waste will be required to pay waste disposal charge (\$/kL).

Liquid trade waste bill for Category 2S waste transporter (TWTW),

$$TW_{TW} = A_{TW} + Q_{TW} \times C_{TW}$$

ATW = Annual fee (\$) for transported waste

Q_{TW} = Transported human waste volume (kL)

CTW = Charging rate (\$/kL) for the transported waste (may vary based on the type of waste transported)

D5.1.2 Waste dump points

Dump points are often located in public places (roadside), hence the monitoring of discharge volumes is not practical. Accordingly, only an annual fee is applied for stand-alone dump points.

Liquid trade waste bill for dump point operator (TWDP) (if applicable),

$$TW_{DP} = A_{DP}$$

ADP = Annual fee for dump point (\$)

D6 Category 3 discharger

Category 3 liquid trade waste dischargers are those conducting an activity which is of an industrial nature and/or which results in the discharge of large volumes of liquid trade waste to the sewerage system. Any Category 1 or 2 discharger whose volume exceeds the limits shown below becomes a Category 3 discharger (excluding shopping centres and institutions):

Classification A discharge > 20 kL/d

Classification B discharge – as shown in Chapter 5 of the Guidelines.

Classification C discharges include: abattoir, acid pickling, adhesive/latex manufacture, agricultural and veterinary drugs, anodising, bitumen and tar, bottle washing, brewery, cardboard and carton manufacture, carpet manufacture, caustic degreasing, chemicals manufacture and repackaging, contaminated site treatment, cooling towers, cosmetics/perfumes manufacture, cyanide hardening, dairy processing* (milk/cheese/yoghurt/ice cream, etc.), detergent/soaps manufacture, drum washing, egg processing, electroplating, extrusion and moulding (plastic/metal), feather washing, fellmonger, felt manufacture, fertilisers manufacture, fibreglass manufacture, filter cleaning, foundry, food processing* (cereals/cannery/condiments/confectionary/edible oils/fats/essence/flavours/fish/fruit juice/gelatine/honey/meat/pickles/smallgoods/tea and coffee/vinegar/yeast manufacture, etc.), food waste processing unit (digester/composter), fruit and vegetable processing, flour milling, galvanising, glass manufacture, glue manufacturer, ink manufacture, laboratories (excluding those in Category 1 & 2), liquid wastewater treatment facility (grease trap receipt depot and other pump-out waste depot), metal finishing, metal processing (refining/rumbling/non-cyanide heat treatment/phosphating/photo engraving/printed circuit etching/sheet metal fabrication etc.), mirrors manufacture, oil recycling (petrochemical) and refinery, paint stripping, paint manufacture, paper manufacture, pet food processing, plants nursery (open areas), pharmaceuticals manufacture, plaster manufacture, powder coating, potato processing, poultry processing, printing (newspaper, lithographic), saleyards, sandblasting, seafood processing, slipway, soft drink/cordial manufacture, starch manufacture, sugar refinery, tanker washing, tannery, timber processing (joinery and furniture/plywood/hardwood), textile manufacture (wool dyeing/spinning/scouring), tip leachate,

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transport depot/ terminal, truck washing (internal), waxes and polishes, water treatment backwash, wholesale meat processing, winery, distillery, wine/spirit bottling.

* Excluding small boutique, craft or artisan food industries not exceeding the discharge volume shown in the Liquid Trade Waste Management Guidelines, 2021.

D6.1 Category 3 discharger - Liquid trade waste charges

D6.1.1 Excess mass charges

Category 3 discharger will be required to pay the annual liquid trade waste fee plus excess mass charges.

Liquid trade waste bill for Category 3 discharger (TW3),

$$TW_3 = A_3 + EMC$$

A3 = Annual liquid trade waste fee (\$) **

EMC = Excess mass charges (\$)

Note: **Annual fee may vary for different business activities, depending on the complexity and time taken for inspection.

How excess mass charges are calculated

Excess mass charges will be applicable for substances discharged in excess of the 'Deemed Concentrations' in domestic sewage. For the purpose of excess mass charge calculation, the deemed concentrations of substances in domestic sewage are listed in Table D1.

Table 6 Deemed Concentration of substances in domestic sewage

Substance	Concentration (mg/L)
Biochemical Oxygen Demand (BOD5)	300
Suspended Solids	300
Total Oil and Grease	50
Ammonia (as Nitrogen)	35
Total Kjeldahl Nitrogen	50
Total Phosphorus	10
Total Dissolved Solids	1000
Sulphate (SO4)	50#

The concentration in the potable water supply to be used if it is higher than 50 mg/L.

NB. Substances not listed above are deemed not to be present in domestic sewage.

For excess mass charge calculation, equation (1) below will be applied for all parameters including for BOD5 up to 600 mg/L (but excluding COD and pH).

$$EMC (\$) = \frac{(S - D) \times Q_{TW} \times U}{1,000} \quad (1)$$

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- Where: S = Concentration (mg/L) of substance in sample
- D = Concentration (mg/L) of substance deemed to be present in domestic sewage
- Q_{TW} = Volume (kL) of liquid trade waste discharged to the sewerage system
- U = Unit charging rate (\$/kg) for the substance (note that this rate varies from substance to substance. Refer to council’s annual Management Plan for charging rates for various substances)

D6.1.2 Excess mass charges for BOD

BOD up to 600 mg/L

Equation (1) applies for BOD5 up to 600 mg/L. Note that there are no excess mass charges if the BOD does not exceed 300 mg/L (deemed concentration of BOD in domestic sewage).

Excess mass charges for BOD exceeding 600mg/L

If council approves the acceptance limits for BOD5 higher than 600mg/L, an exponential type of equation will be used for calculation of the charging rate Ue (\$/kg) as shown in equation (2). This provides a strong incentive for dischargers to reduce the strength of waste. Note that equation (5) will be used where the discharger has failed to meet their approved BOD limit on more than two instances in a financial year.

Ue is the excess mass charging rate Ue (\$/kg) for BOD is calculated as:

$$U_e = 2C \times \frac{(\text{Actual BOD} - 300\text{mg/L})}{600\text{mg/L}} \times 1.05^{\frac{(\text{Actual BOD} - 600\text{mg/L})}{600\text{mg/L}}} \quad (2)$$

- Where: C = Charging rate (\$/kg) for BOD5 600mg/L
- Actual BOD = Concentration of BOD5 as measured in a sample

D7 Non-compliance liquid trade waste charges

Non-compliance charges for Category 1 and 2 dischargers

If the discharger has not installed or maintained appropriate pre-treatment equipment, the following non-compliance trade waste usage charges will be applied for the relevant billing period:

D7.1 Category 1 discharger - non-compliance charges

The trade waste usage charge (\$/kL) as per Council’s Management Plan will be applied.

D7.2 Category 2 discharger – non-compliance charges

For Category 2 discharger, a non-compliance charge will be “applied pursuant to Councils adopted Fees and charges” as outlined in the Council’s Management Plan.

Dischargers who have an undersized grease arrestor and improved the effluent quality by other means (e.g. increased pump-outs, installing additional pre-treatment equipment, etc.) will pay a trade waste usage charge in accordance with a Category 2 discharger.

Dischargers who cannot install a grease arrestor or those who have an arrestor with capacity significantly less than the required size and are unable to improve the effluent quality by means described above will have to pay non-compliance trade waste usage charges, be “applied pursuant to Councils adopted Fees and charges”.

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D7.3 Non-compliance charges for Category 3 discharger

If a discharger in charging Category 3 fails to comply with the acceptance limits specified in council’s approval conditions, following non-compliance charges will be applicable.

D7.3.1 Non-compliance pH charge

If the pH of the waste discharge by Category 3 discharger is outside the approved range, equation (3) is used for the calculation of non-compliance pH charges. This equation provides an incentive for dischargers to install and properly maintain a pH correction system, so their waste remains within the approved pH limits.

Charging rate for pH, if outside the approved range =

$$K \times | \text{actual pH} - \text{approved pH} | \# \times 2 | \text{actual pH} - \text{approved pH} | \# \quad (3)$$

Absolute value to be used.

K = pH coefficient in \$

Example:

Council has approved the pH range 7.0 to 9.0 for a large discharger. pH coefficient (K) listed in council’s Management Plan is \$0.45

Case 1: pH measured 6.0

$$\text{Charging rate for pH (\$/kL)} = 0.45 \times | 6 - 7 | \# \times 2 | 6 - 7 | \# = \$0.90/\text{kL}$$

Case 2: pH measured 11.0

$$\text{Charging rate for pH (\$/kL)} = 0.45 \times | 11 - 9 | \# \times 2 | 11 - 9 | \# = \$3.60/\text{kL}$$

Absolute value to be used.

D7.3.2 Non-compliance excess mass charges

Equation (4) shall apply for non-compliance excess mass charges for various substances, except for BOD5 where equation (5) shall apply to calculate the charging rate.

$$\text{Non-compliance Excess Mass Charges (\$)} = \frac{(S - A) \times Q \times 2U}{1000} + \frac{(S - D) \times Q \times U}{1000} \quad (4)$$

Where: S = Concentration (mg/L) of a substance in sample

A = Approved maximum concentration (mg/L) of pollutant as specified in council’s approval (or liquid trade waste policy)

Q = Volume (kL) of liquid trade waste discharged for the period of non-compliance

U = Excess mass charging rate (\$/kg) for the substance, as shown in council’s annual Management Plan

D = Concentration (mg/L) of the substance deemed to be present in domestic sewage

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D7.3.3 Non-compliance excess mass charges for BOD

The non-compliance excess mass charging rate (U_n) for BOD5 is calculated by using equation (5):

U_n is the BOD5 non-compliance excess mass charging rate in (\$/kg).

$$U_n = 2C \times \frac{(A - 300\text{mg/L})}{600\text{mg/L}} \times 1.05^{\frac{(A - 600\text{mg/L})}{600\text{mg/L}}} + 4C \times \frac{(\text{Actual BOD} - A)}{600 \text{ mg/L}} \times 1.05^{\frac{(\text{Actual BOD} - A)}{600\text{mg/L}}} \quad (5)$$

D8 Other applicable liquid trade waste charges

D8.1 Garbage grinders - Food waste disposal charge¹³

Additional charges will apply for a food waste disposal unit (in-sink food waste disposers/garbage grinders) in an existing hospital, nursing home or other eligible facility where council has permitted such installation.

These charges are in addition to category specific liquid trade waste fees and charges (e.g. Category 2 charges plus UF).as shown below:

Food waste disposal charge (\$) = B x UF

Where: B = Number of beds in hospital or nursing home.

UF = Annual charging rate (\$/bed) for a food waste disposal unit at a hospital or nursing home.

D8.2 Solid food waste processing unit

Discharge of waste from a solid food waste processing unit (digester/composter) is classified as Concurrence Classification C and is in charging Category 3.

Excess mass charges for all parameters in excess of the deemed concentrations in domestic sewage and non-compliance charges, above the council's acceptance limits, will be applicable to the waste stream from such equipment (refer s. D6.1.for further information).

In addition, the discharger needs to bear the cost of frequent sampling as the quality of wastewater dependent on the solid waste input to the processing unit and the effectiveness of the on-site pre-treatment equipment.

D8.3 Discharge of stormwater from large open areas or large quantities of groundwater to the sewerage system

The discharge of roof, rain, surface, seepage or ground water to the sewerage system is prohibited under clause 137A of the Local Government (General) Regulation 2021 and this policy. Consideration will be given to the acceptance of limited quantities of contaminated stormwater (first flush stormwater) based on a case-by-case assessment.

If stormwater run-off from a large areas or groundwater is approved for discharge to sewer for a Category 3 discharger (e.g. saleyards), a volume based charge similar to the non-compliance usage charging rate (\$/kL) for Category 2 will be applied (e.g. 5 to 10 times of Usage charging rate listed in council's Management Plan. Excess mass charges may be also applied to such discharges.

¹³ For existing installations of garbage grinders only. New installations are not permitted.

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D8.4 Charges for premises with multiple liquid trade waste streams

Examples of premises with multiple waste streams include:

- shopping centres
- commercial strata units
- institutions, e.g. hospitals, tertiary educational facilities and correctional centres
- other premises with multiple waste streams, e.g. premises comprising food cooking/serving activities and “Boutique/artisan food” businesses. For example, a liquid trade waste application may include a restaurant or a hotel, a microbrewery, a chocolate making and/or a cheese making shops, all located on the same site.

D8.4.1 Shopping centre

Council will apply trade waste usage charge based on the estimated trade waste discharge volume.

D8.4.2 Commercial strata title units

Councils will issue individual liquid trade waste bills to each owner of the strata title unit

D8.4.3 Hospitals, tertiary educational facilities and correctional centres

Council will generally issue a liquid trade waste bill to the management of the above premises.

Council will apply trade waste usage charge based on the estimated trade waste discharge volume.

If food preparation activities are carried out by an outside contractor, e.g. take away food outlets in the educational facilities. Council may issue a separate liquid trade waste bill to such individual shops, where practical. It may require an individual water meter or a check meter to be installed at the relevant service line.

D8.4.4 Other premises with multiple waste streams

There are some premises where various “boutique type” businesses are located on the same site as restaurants, café, etc. For example, a premise may include a restaurant, a microbrewery, a chocolate making shop and a cheese making business, all owned by the same owner. When a liquid trade waste application includes a few different activities on the same site, council will assess the application and determine the relevant charging categories and applicable fees and charges.

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Appendix E – List of discharges Council may approve

E1 Classification A

Discharges from activities that Council can process without seeking Department concurrence, subject to complying with certain requirements.

Table 7 Liquid trade waste discharges with automatic assumed concurrence

Food preparation/serving, generating liquid waste, up to 16 kL/day	Other Activities generating liquid waste, up to 5 kL/day
Bakery (retail)	Animal wash (pound, stables, racecourse, kennels, mobile animal wash)
Bed and Breakfast (<10 persons)	Beautician
Bistro	Boiler blowdown
Boarding house/hostel kitchen	Car detailing
Butcher (retail)	Cooling towers
Café/coffee shop/coffee lounge	Craft activities (pottery, ceramics, cutting and polishing of gemstones or making of jewellery)
Canteen	Dental surgery
Cafeteria	Dental technician
Chicken/poultry shop (fresh chicken/game, retail, barbecue/roast chicken)	Dry-cleaning (separator water, boiler)
Club (kitchen wastes)	Florist
Commercial kitchen/caterer	Funeral parlour/morgue
Community hall/civic centre/function centre (kitchen waste)	Hairdressing
Day care centre	Jewellery shop
Delicatessen	Laboratory (pathology/analytical)
Doughnut shops	Laundry or laundromat (coin operated)
Fast food outlets (McDonalds, KFC, Burger King, Hungry Jack, Pizza Hut, Red Rooster, etc.)	Lawnmower repairs
Fish shop (retail—fresh and/or cooked)	Mechanical repairs/workshop
Fruit and vegetable shop (retail)	Medical centre/doctor surgery/physiotherapy—plaster of paris casts, laboratory
Hotel	Mobile cleaning units
Ice-cream parlour	Nursing home (other than food-related activities)
Juice bar	Optical services

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Food preparation/serving, generating liquid waste, up to 16 kL/day	Other Activities generating liquid waste, up to 5 kL/day
Mixed business	Pet shop (retail)
Mobile food van	Photographic tray work/manual development
Motel	Plants retail (no nursery or open space)
Nightclub	School (other than kitchen waste)
Nursing home kitchen	Stone working
Nut shop	Surfboard manufacturing (wet process only)
Patisserie	Swimming pools/spas/hydrotherapy pools
Pie shop	Vehicle (car) washing (by hand/wand, automatic car wash/bus wash/external truck wash or underbody/engine degrease only)
Pizza shop	Venetian blind cleaning
Restaurant	Veterinary surgery
Salad bar	
Sandwich shop	
School – canteen, home science	
Snack bar	
Supermarket (with butcher/bakery/delicatessen/seafood or roasted chicken)	
Take away food shop	

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Appendix F – Legislative provisions

Provisions in the Local Government (General) Regulation 2021 in regard to acceptance of liquid trade waste into the sewerage system

Clause 25 Matters to accompany applications relating to discharge into sewers

An application for approval to discharge trade waste into a sewer under the control of a Council or that connects with such a sewer must be accompanied by the information required by Table 1 of the Liquid Trade Waste Management Guidelines#.

Clause 28 Approval to discharge waste into sewers: concurrence required

A council must not grant an approval under section 68 of the Act to discharge trade waste (whether treated or not) into a sewer of the council unless the Secretary (or the Secretary's nominee) has concurred with the approval.

Note: Section 90 (2) of the Act permits any person or authority whose concurrence is required before an approval may be granted to give the council notice that the concurrence may be assumed (with such qualifications or conditions as are specified in the notice).

Clause 32 Disposal of trade waste

- (1) An approval to dispose of trade waste into a sewer of the council is subject to such conditions (if any) as the council specifies in the approval.
- (2) In imposing any such conditions, the council is to have regard to the matter set out in Table 5 of the Liquid Trade Waste Management Guidelines#.

Clause 159 Prevention of waste and misuse of water

The owner, occupier or manager of premises to which water is supplied by the council must:

- (a) prevent waste of water by taking prompt action to repair leaking taps, pipes or fittings located on the premises
- (b) take any other action that is reasonable to prevent waste and misuse of water.

137A Substances prohibited from being discharged into public sewers

- (1) For the purposes of section 638 of the Act (Discharge of prohibited matter into sewer or drain), roof, rain, surface, seepage or ground water is prescribed as prohibited matter.
- (2) This clause does not apply in relation to:
 - (a) a discharge that is specifically approved under section 68 of the Act, or
 - (b) a discharge into a public drain or a gutter of a council, or
 - (c) a discharge in an area of operations within the meaning of the Sydney Water Act 1994 or the Hunter Water Act 1991 .

143 Inspection of pipes and drains and measurement of water and sewage

- (1) The council may, at any reasonable time:
 - (a) inspect any service pipe connected to a water main, and
 - (b) inspect any drain connected to a sewer main, and
 - (c) install meters or other devices for measuring the quantity of water supplied to, or the quality and quantity of sewage discharged from, premises, and
 - (d) measure the quantity of water supplied to, or the quality and quantity of sewage discharged from, premises, and
 - (e) inspect any pre-treatment devices connected to the council's sewerage system.

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- (2) The occupier of the relevant premises must provide to the council such information as it requires to enable it to estimate the quantity of water actually supplied to, or the quality and quantity of sewage actually discharged from, the premises.
- (3) In this clause,
 "pre-treatment device" means any device used to reduce or eliminate contaminants in trade waste, or to alter the waste's nature, before it is discharged into a sewer.

Table 8 Schedule 12 Penalty notice of offences

Column 1	Column 2
Offence under Local Government Act 1993	Penalty
Section 626 (3)-carry out without prior approval of council an activity specified in item 4 of Part C (Management of waste) of the Table to section 68	\$330
Section 627 (3)-having obtained the council's approval to the carrying out of an activity specified in item 4 of Part C (Management of waste) of the Table to section 68, carry out the activity otherwise than in accordance with the terms of that approval	\$330

"Liquid Trade Waste Management Guidelines" means the Guidelines of that name produced by the Department of Energy, Utilities and Sustainability in March 2005, as in force from time to time. The 2005 Guidelines have now been superseded by Liquid Trade Waste Management Guidelines, 2021.



AUDIT RISK AND
IMPROVEMENT
COMMITTEE
PERFORMANCE
REVIEW 2023/2024

SELF-EVALUATION
QUESTIONNAIRE FINDINGS

10 JULY 2024

MID-WESTERN REGIONAL COUNCIL
COMMUNITY



COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE PERFORMANCE REVIEW 2023/2024

THIS DOCUMENT HAS BEEN PREPARED BY RACHEL GILL - ACTING DIRECTOR COMMUNITY & INTERNAL AUDIT COORDINATOR, FOR MID-WESTERN REGIONAL COUNCIL.

ANY QUESTIONS IN RELATION TO THE CONTENT OF THIS DOCUMENT SHOULD BE DIRECTED TO:
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DATE OF PUBLICATION: 10 JULY 2024

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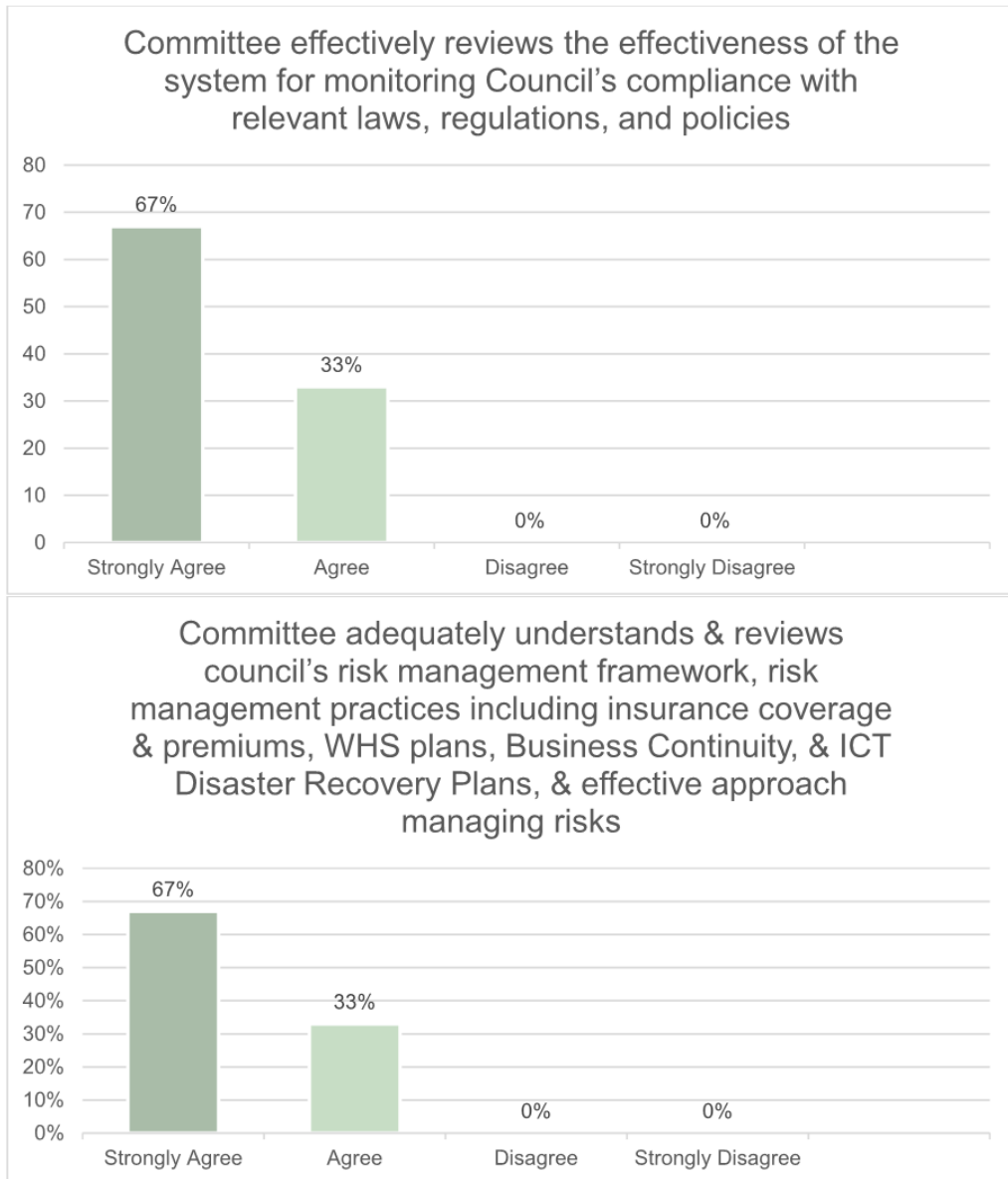
APPENDIX 20

ARIC SELF-EVALUATION QUESTIONNAIRE FINDINGS

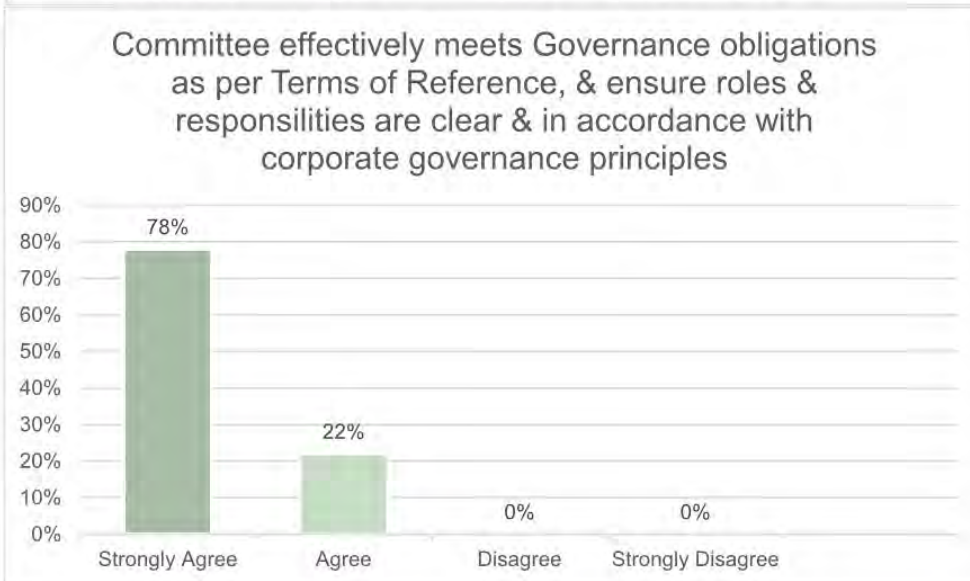
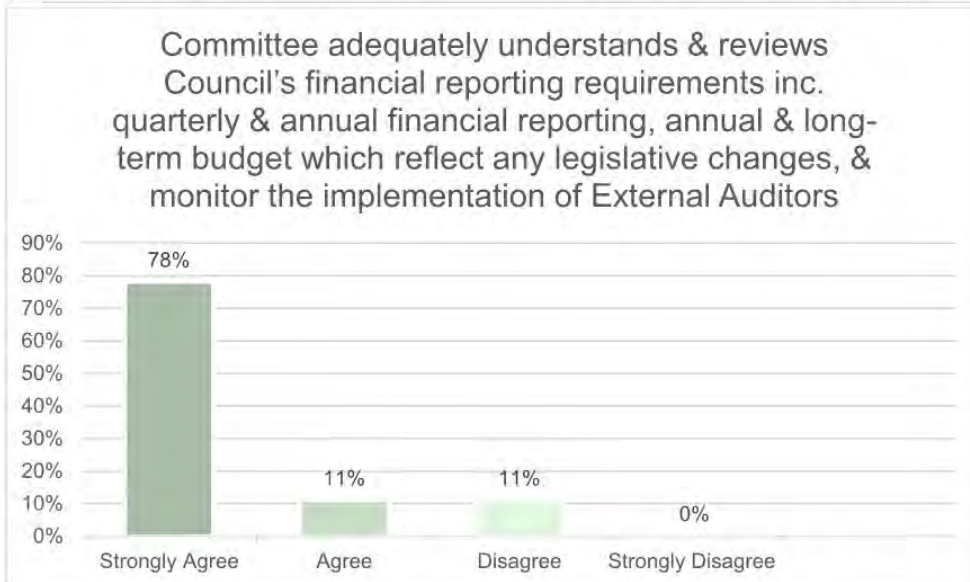
A review of the Audit Risk and Improvement Committee’s performance is required under the Terms of Reference and the Guidelines for Risk Management and Internal Audit for Local Government in NSW.

The following findings were obtained from a self-evaluation questionnaire completed by the Audit Risk and Improvement Committee members and senior Council management who are involved in the committee. Senior Council management included the General Manager, Director Community & Internal Audit Coordinator, Director Corporate Services, Chief Financial Officer, Governance Coordinator, Business Improvement Officer, and Executive Assistant – Community & ARIC Secretariat.

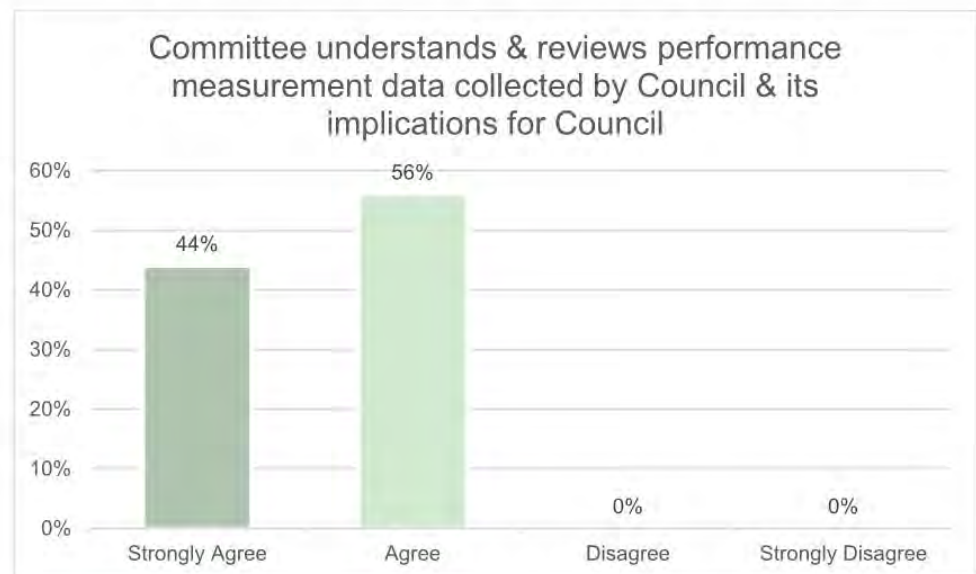
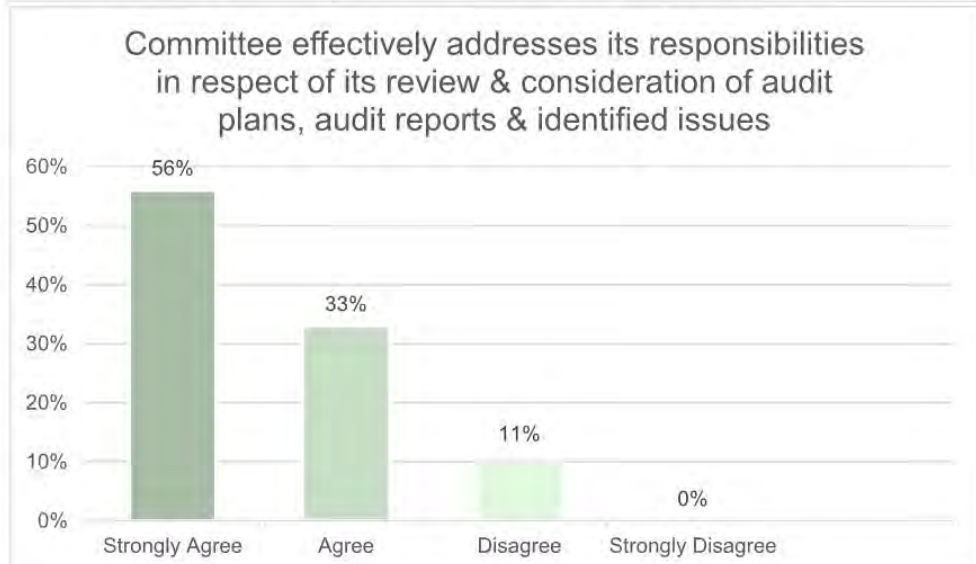
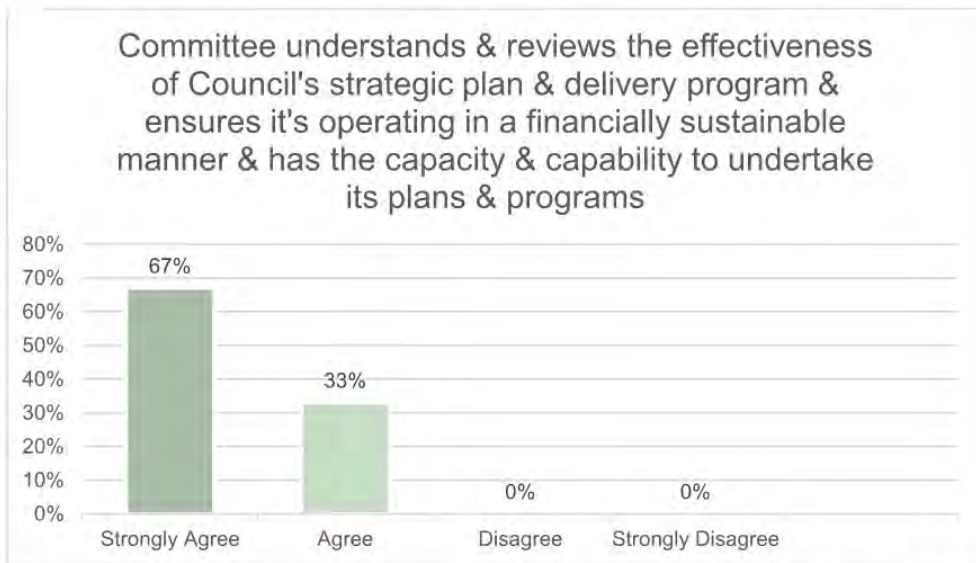
In terms of the **Audit Risk and Improvement Committee’s role** under section 428A of the Local Government Act to **review and provide independent advice on Council’s operation in the following areas:**



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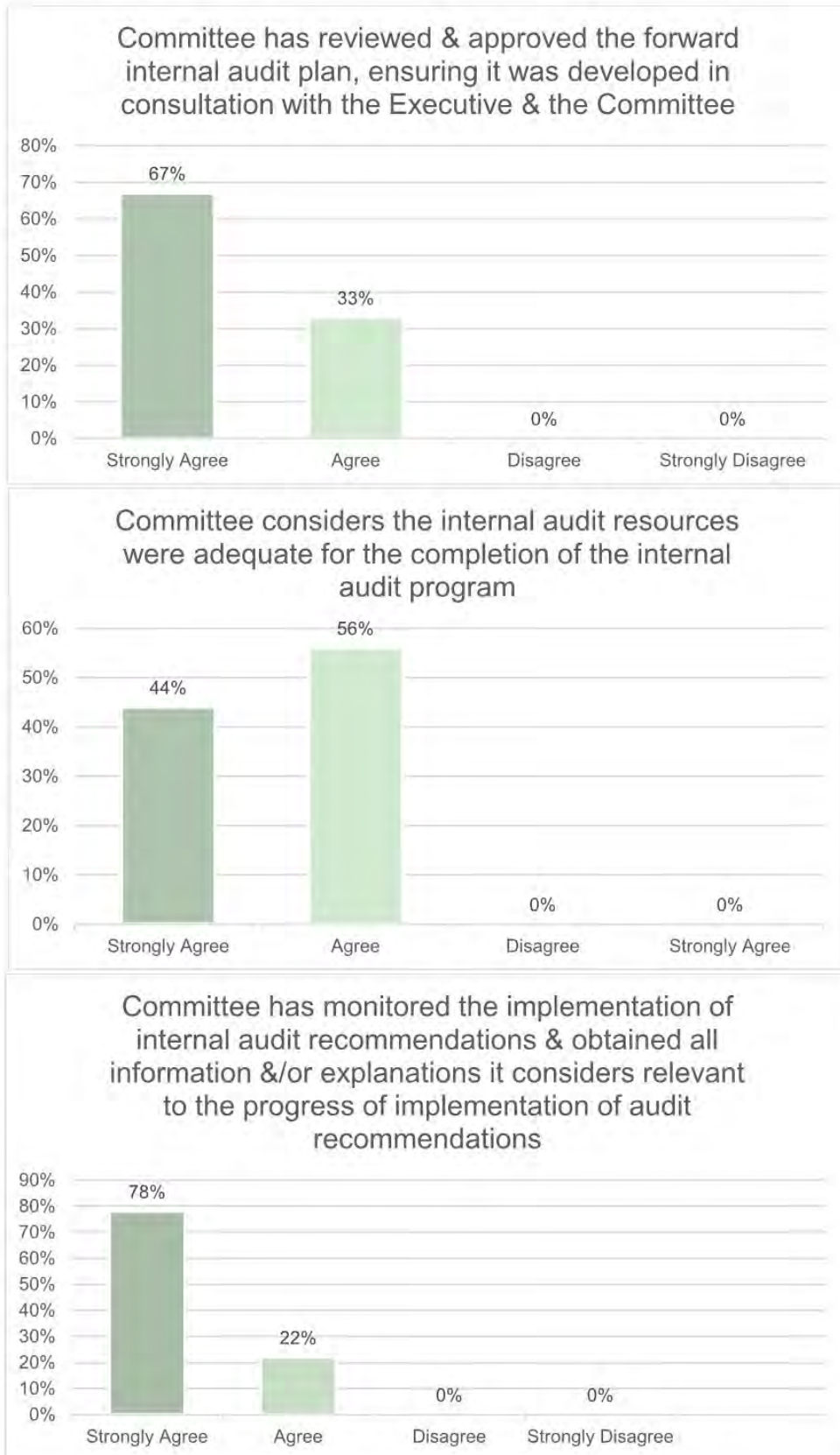


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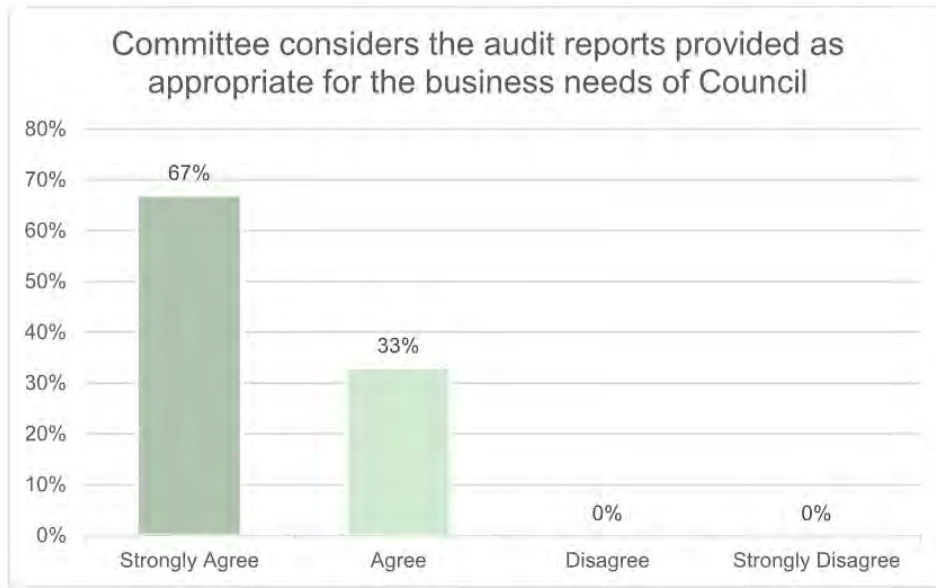


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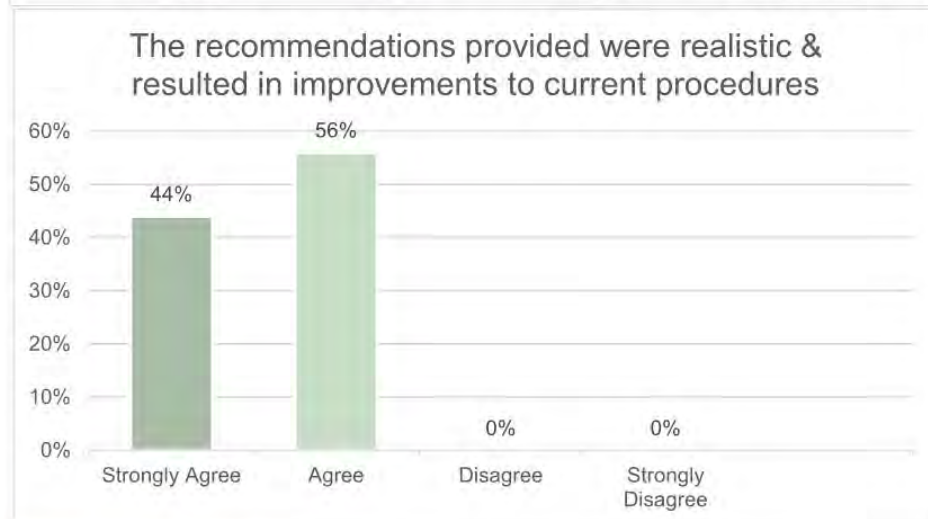
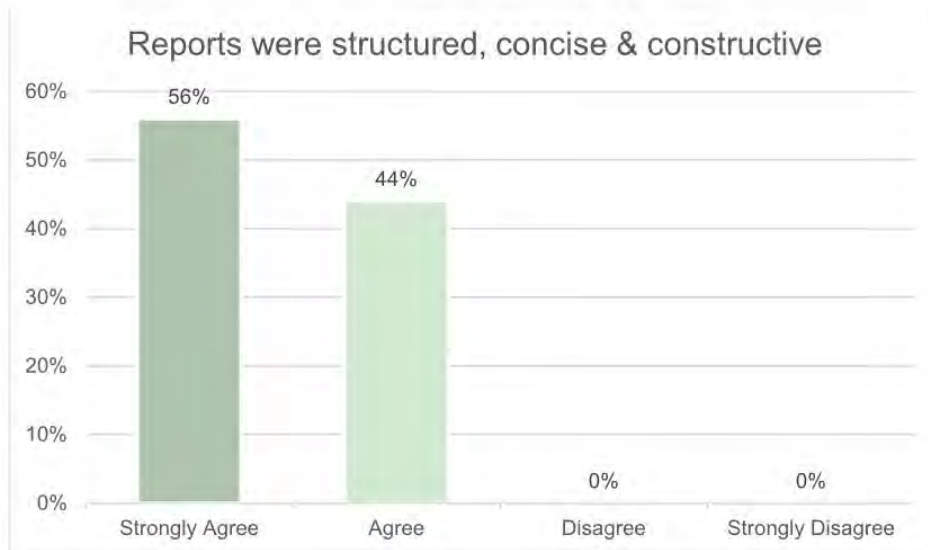
In terms of **Internal Audit Assessment**:



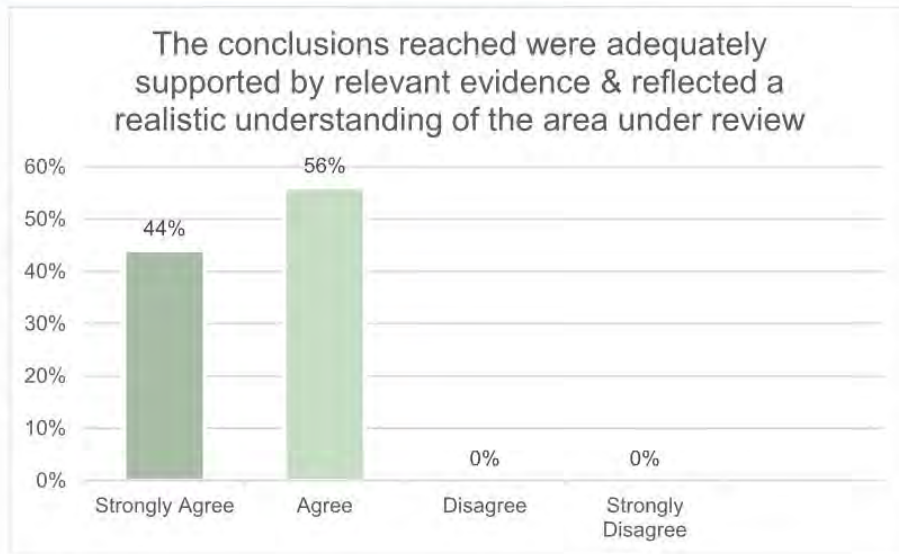
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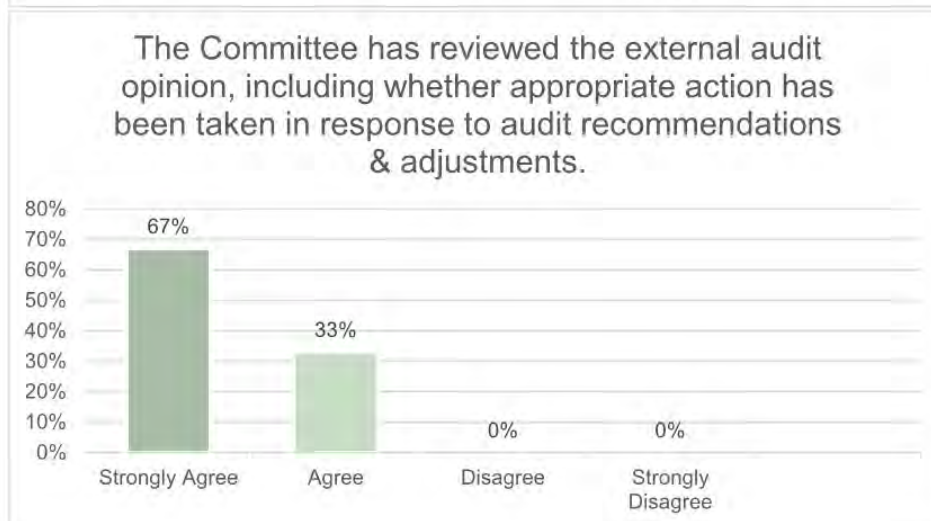
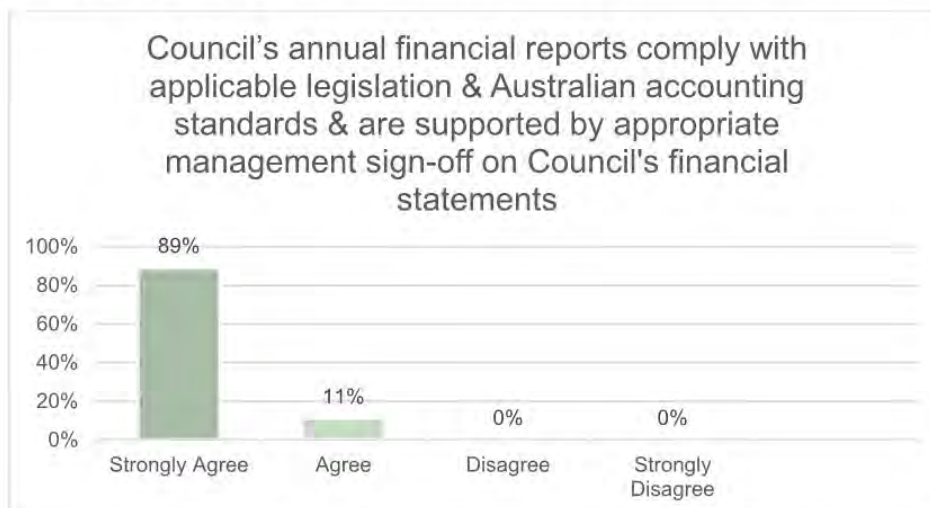
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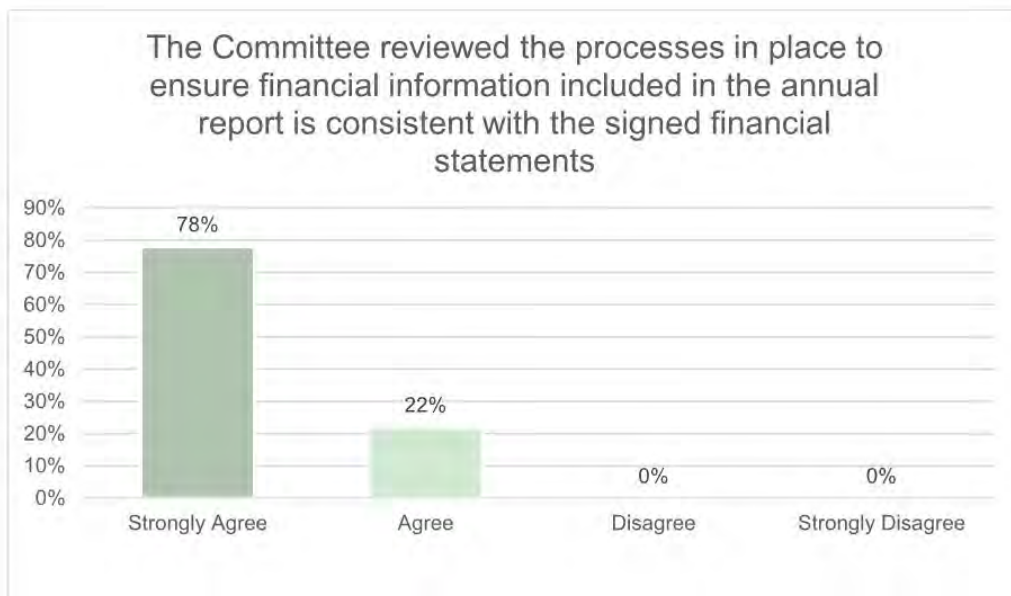
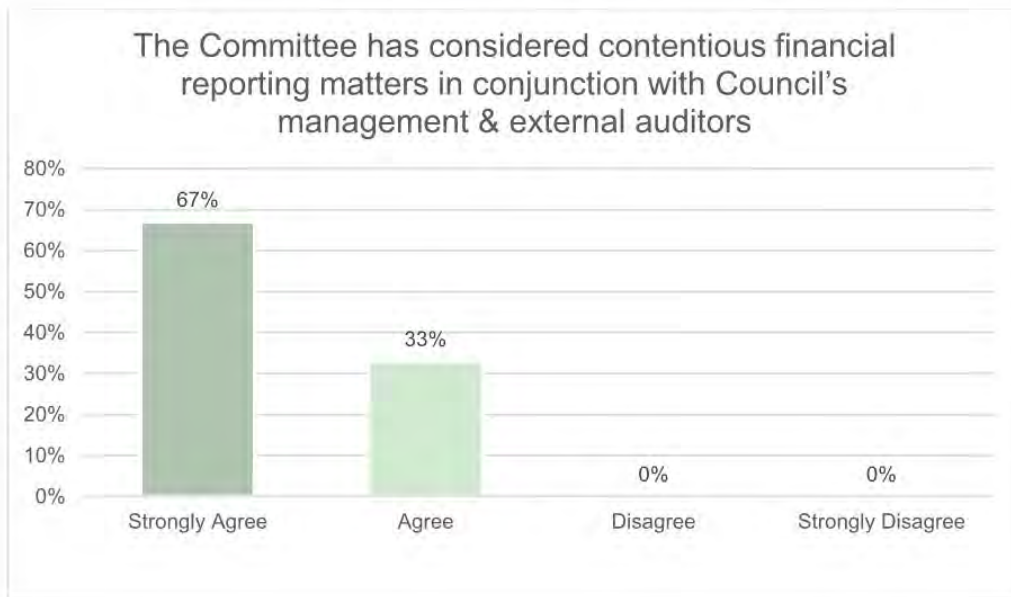
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In terms of **External Audit Assessment:**

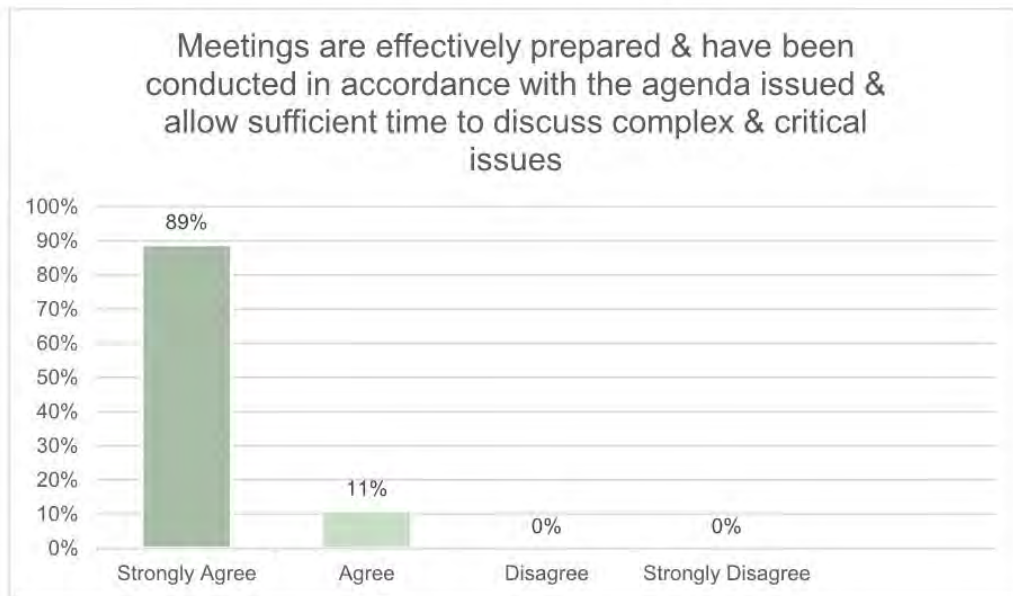
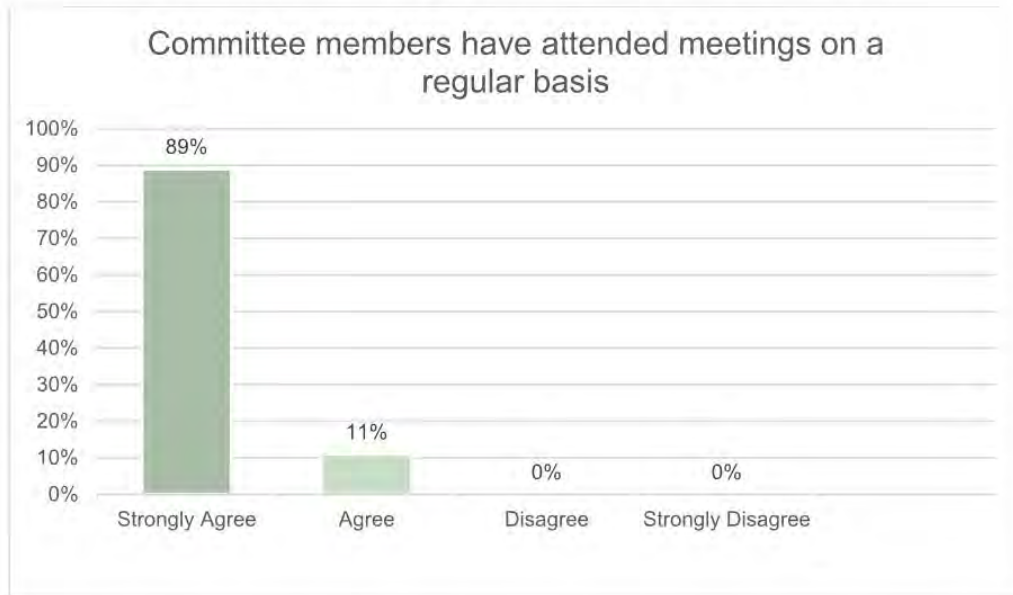


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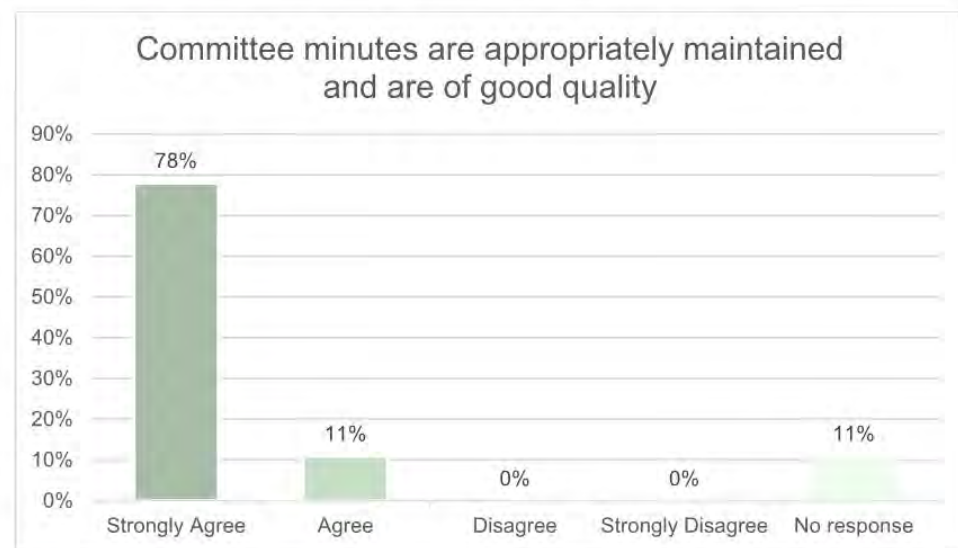
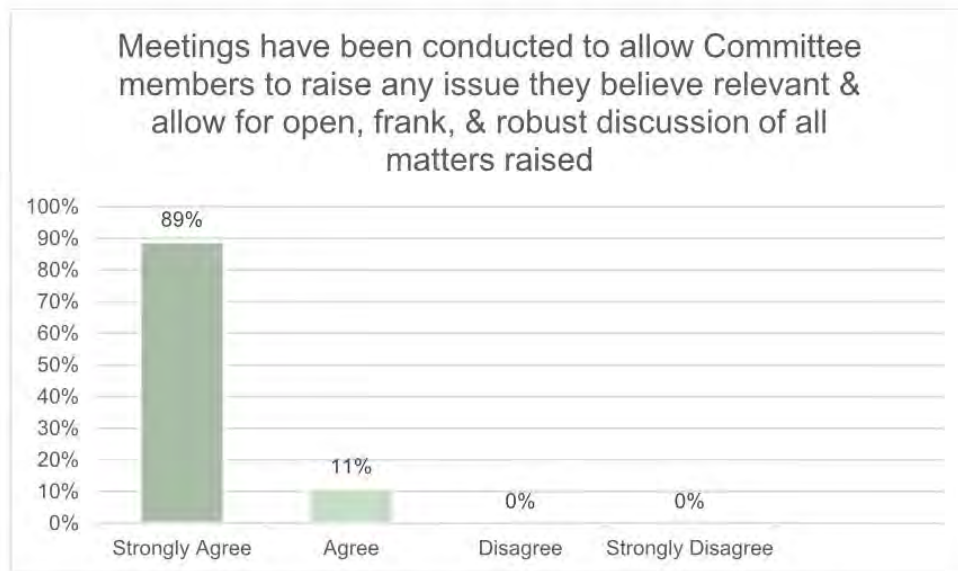
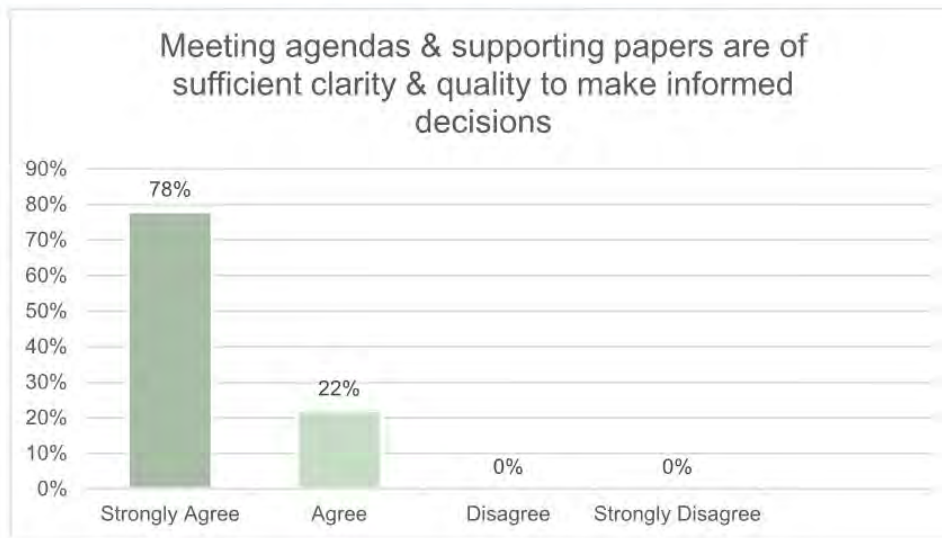


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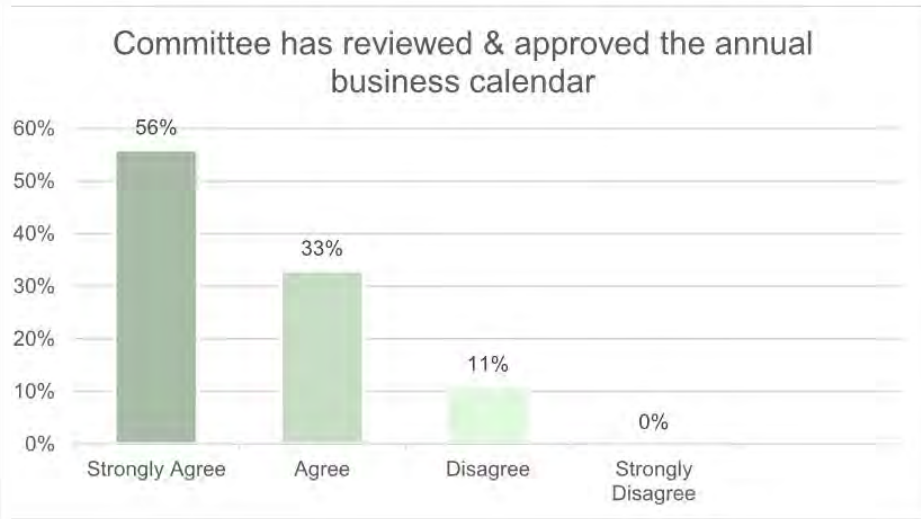
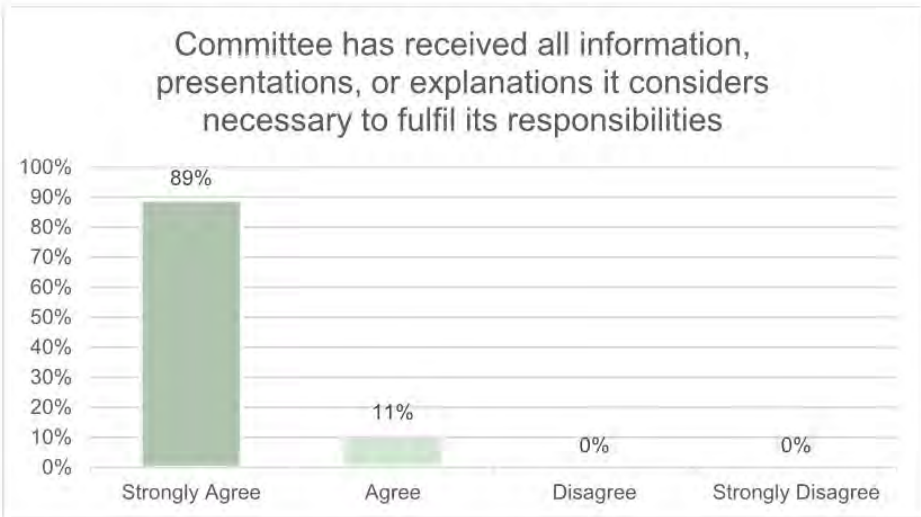
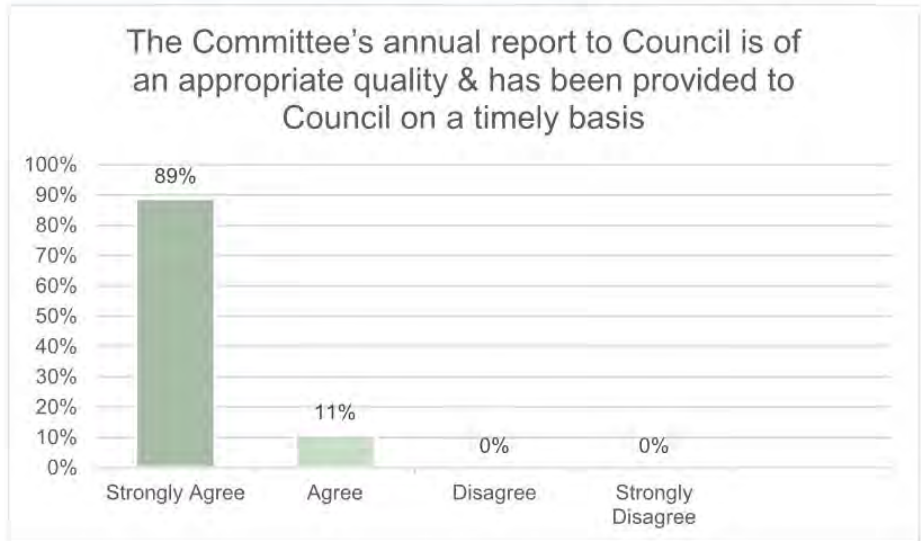
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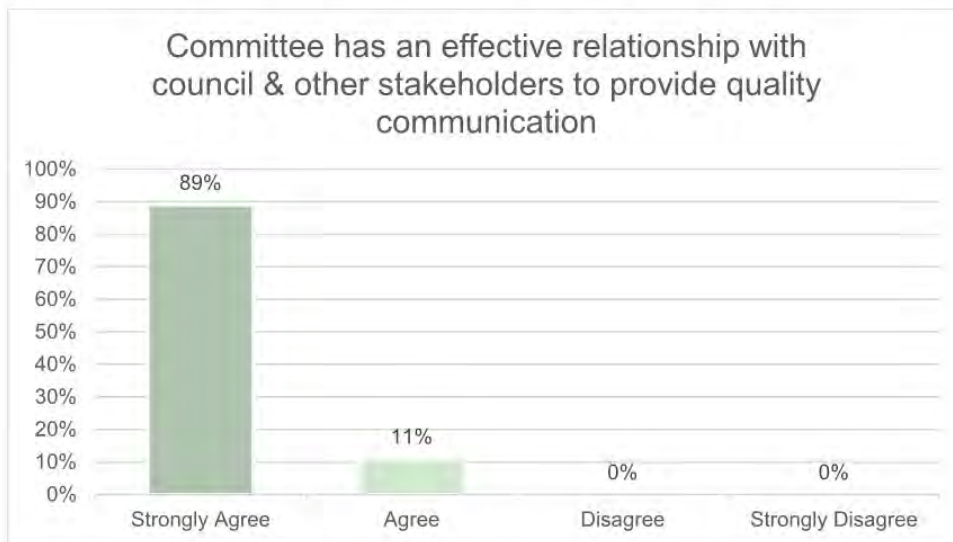
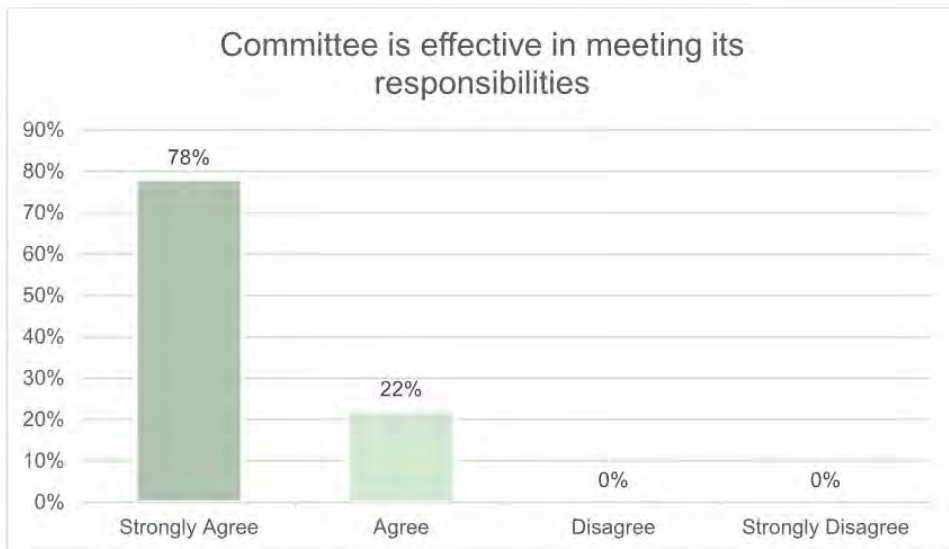
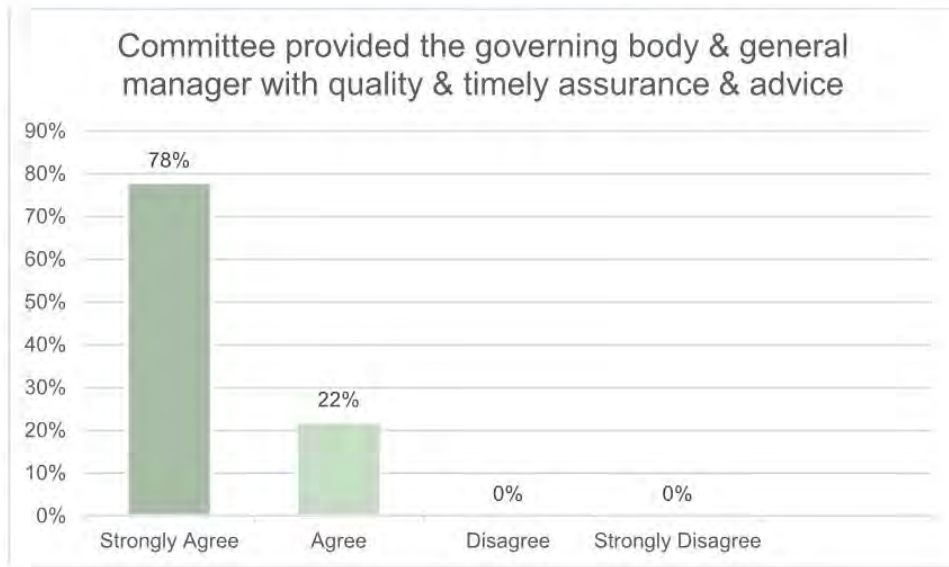
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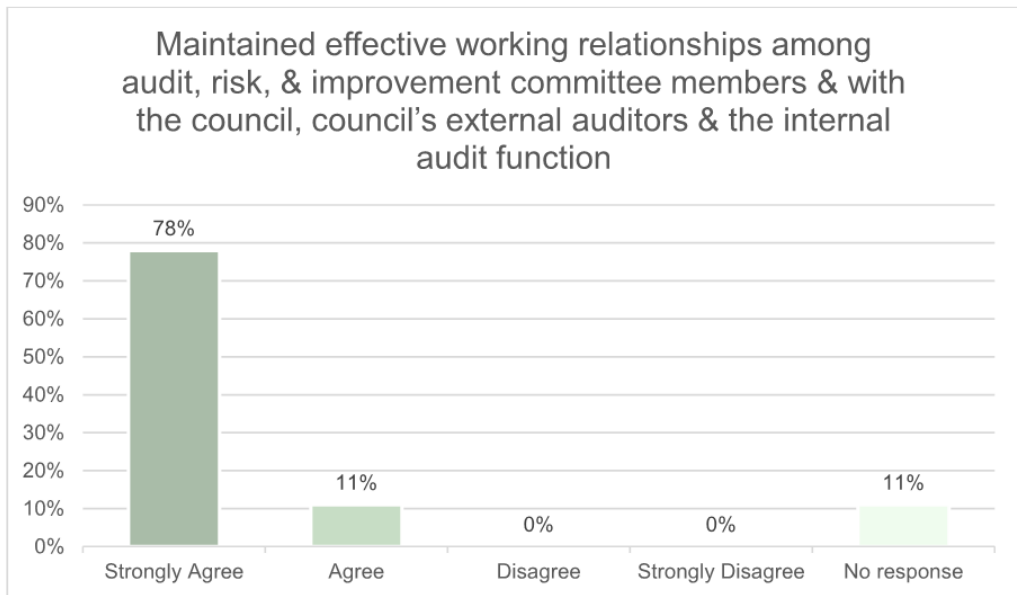
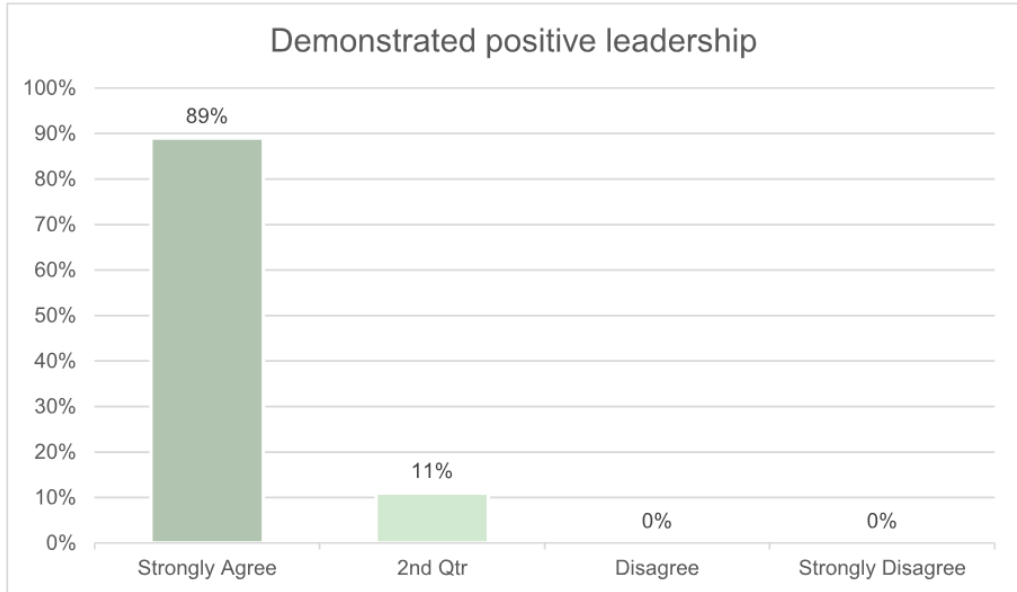


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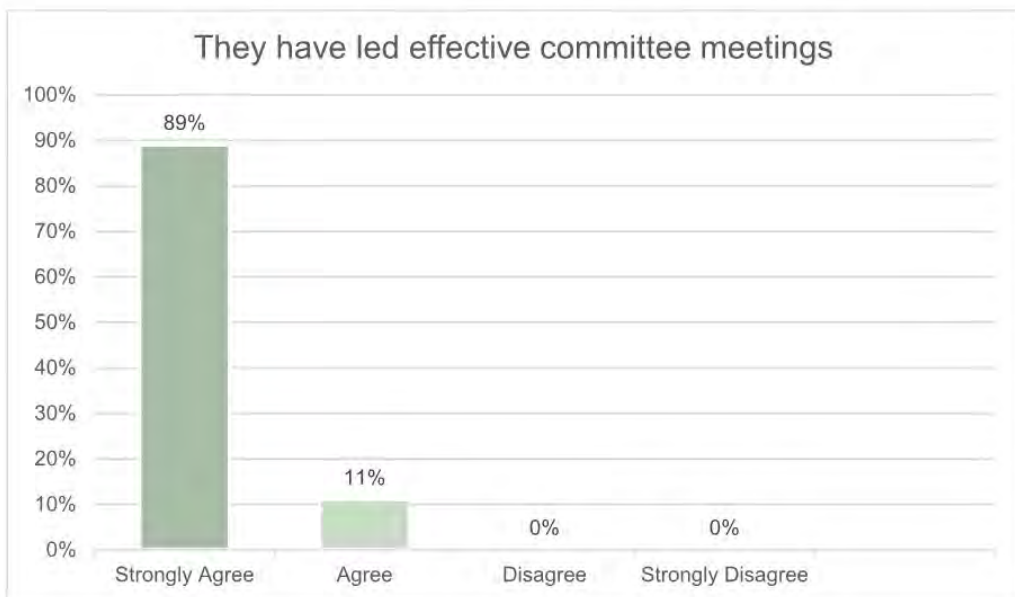
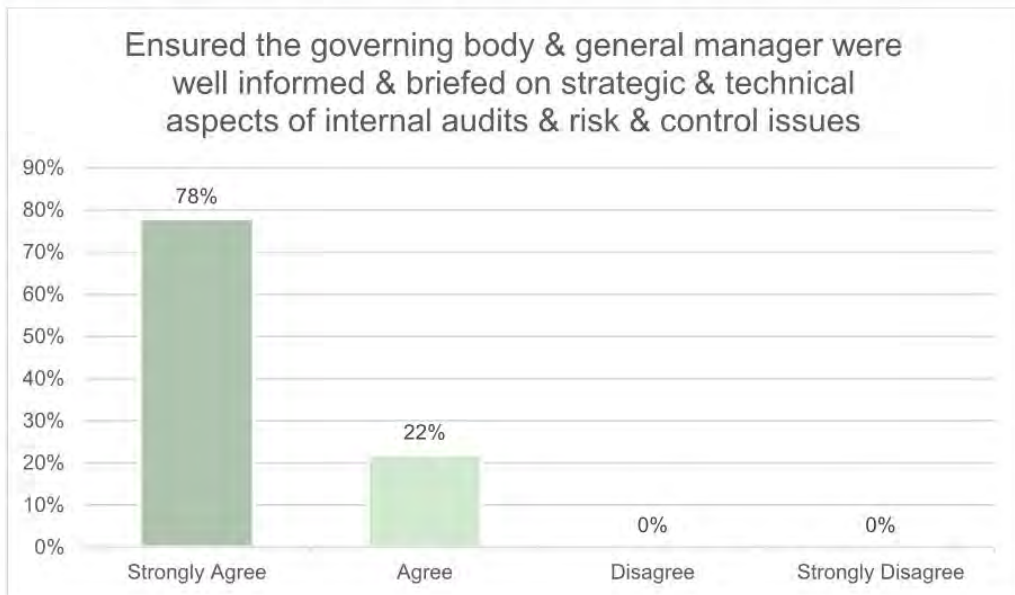


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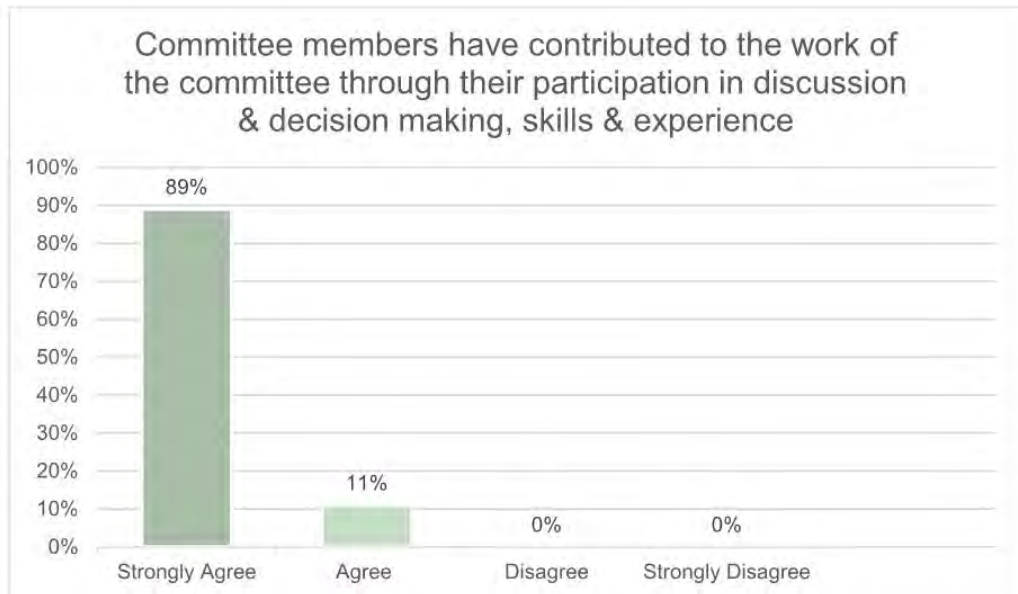
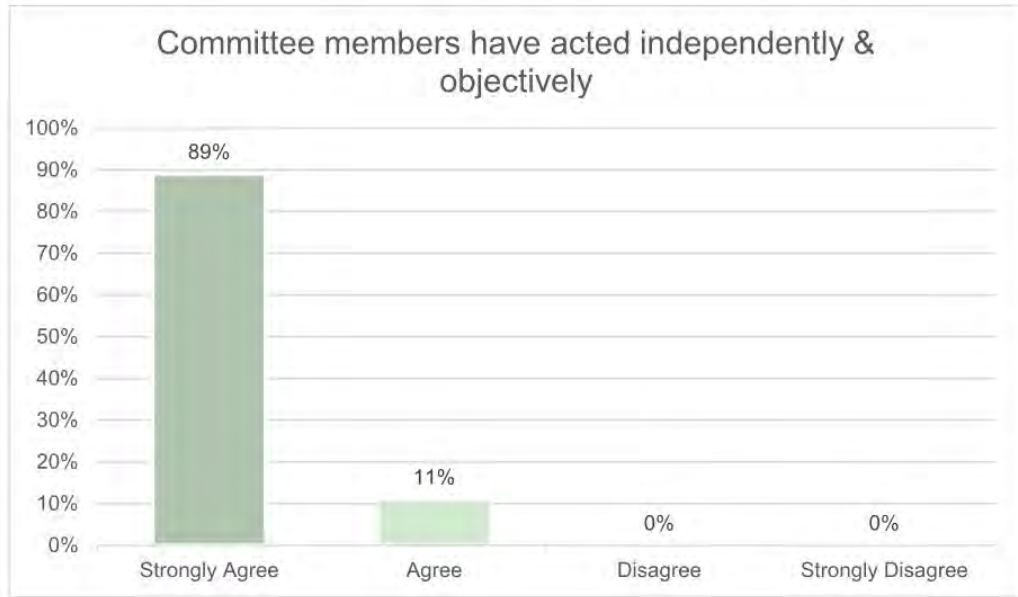
- In terms of the **Chairperson’s performance**, they have (in addition to their performance as a member of the committee):



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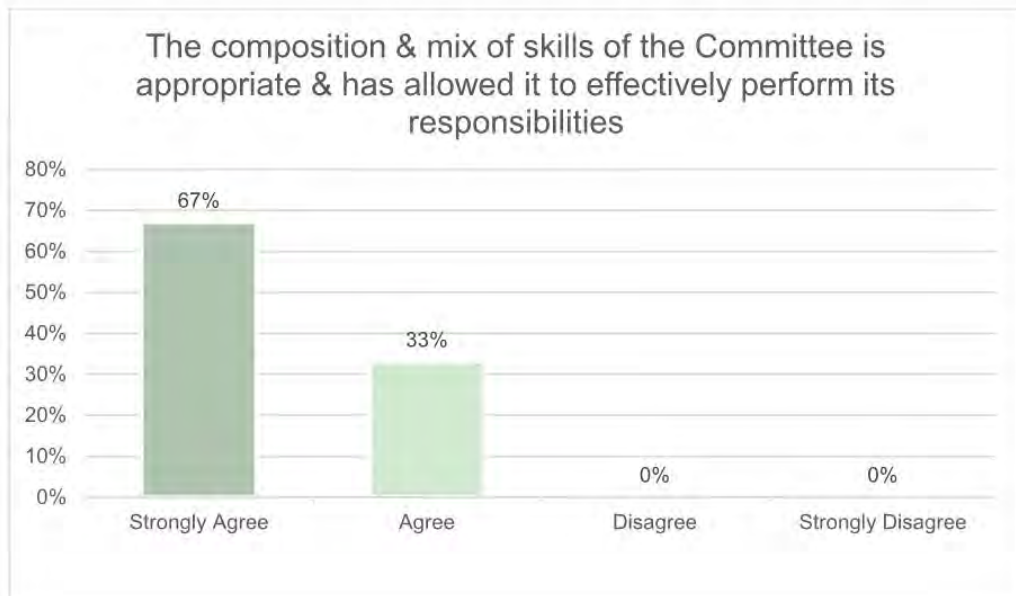
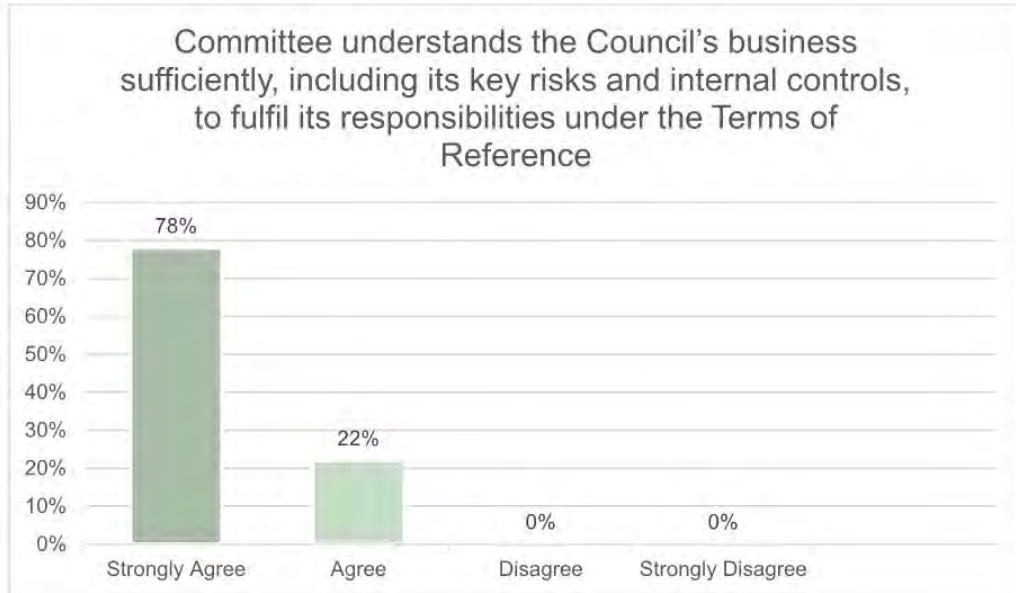


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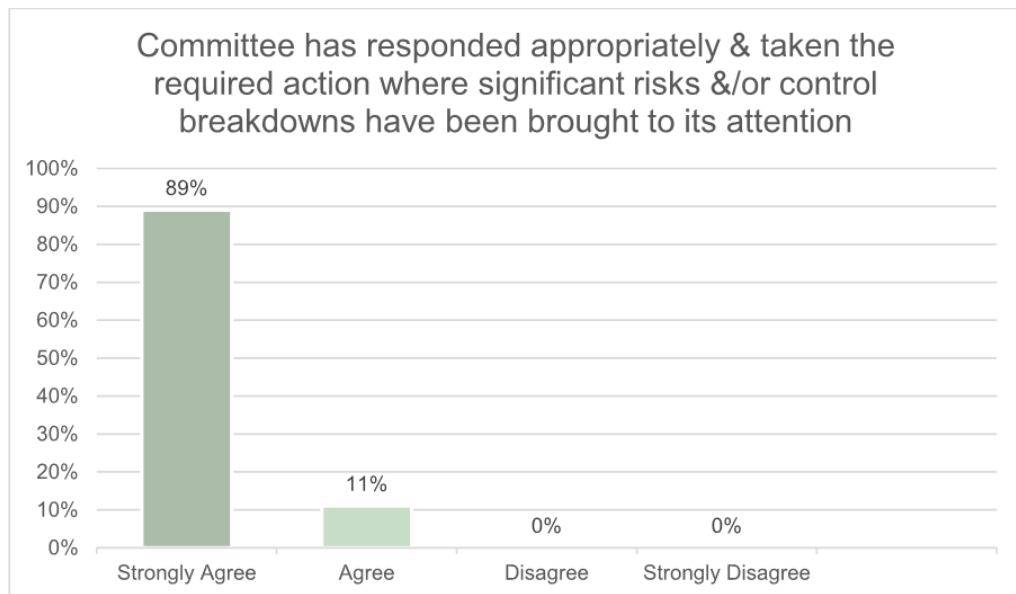
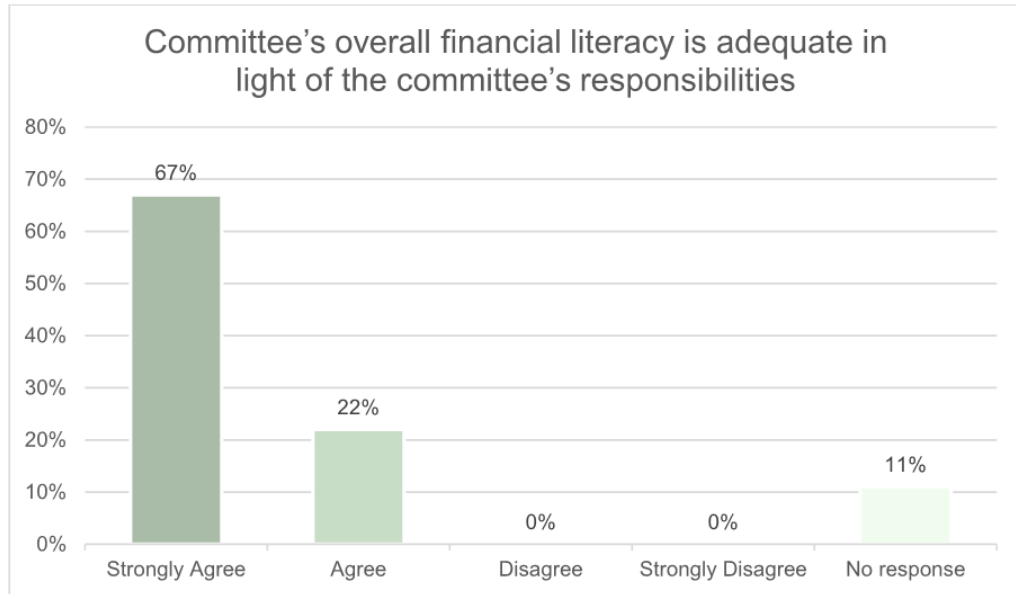


COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE PERFORMANCE REVIEW 2023/2024

In terms of the **committee’s skills and understanding:**



COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE PERFORMANCE REVIEW 2023/2024



There was also a comment that the functioning of this Audit Risk and Improvement Committee is marked by open and honest relationships between senior Council staff and committee members.

APPENDIX

SELF EVALUATION QUESTIONNAIRE

Review of Audit Risk and Improvement Committee Performance

This questionnaire is designed to assist in assessing the Audit and Risk Committee's performance which is required under the Charter every Council term. The questionnaire is intended to be completed by each committee member and senior Council management who are involved with the committee. The questionnaire statements are aligned to the Roles and Responsibilities set out in the Audit Risk and Improvement Committee Charter.

1. <i>The Committee's role under section 428A of the Local Government Act to review and provide independent advice regarding the following areas of council's operation:</i>	Strongly Disagree	Disagree	Agree	Strongly Agree
(a) Compliance The Committee effectively reviews the effectiveness of the system for monitoring Council's compliance with relevant laws, regulations, and policies.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(b) Risk Management The Committee adequately understands and reviews the council's risk management framework, risk management practices including insurance coverage and premiums, WHS plans, Business Continuity, and ICT Disaster Recovery Plans, and whether an effective approach is being followed in managing Council's major risks.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c) Fraud Control The Committee understands and reviews the effectiveness of Council's Fraud Control framework including the Fraud Control Plan and policy, Fraud Incident & Procurement Breach Reports.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(d) Financial Management The Committee adequately understands and reviews Council's financial reporting requirements including quarterly financial reporting, annual and long-term budget, annual financial report, and that they reflect any legislative changes, and monitor the implementation of recommendations made by the External Auditor.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(e) Governance - The Committee effectively meets its Governance obligations as per the Terms of Reference/Charter: <ul style="list-style-type: none"> • minutes of each meeting are formally provided to Council for adoption, • The Committee meets privately without management with the external auditors, • the Chair prepares an annual report to the council on the committee's activities, • Committee roles/responsibilities are clear and in accordance with recognised corporate governance principles. 	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE PERFORMANCE REVIEW 2023/2024

(f)	Implementation of the Strategic Plan, delivery program and strategies The Committee understands and reviews the effectiveness of Council's strategic plan and delivery program and ensures that it is operating in a financially sustainable manner and has the capacity and capability to undertake its plans and programs.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(g)	Service Reviews The Committee effectively addresses its responsibilities in respect of its review and consideration of audit plans, audit reports and identified issues.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(h)	Performance Reporting The Committee understands and reviews performance measurement data collected by Council and its implications for council.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2.	Internal Audit Assessment	Strongly Disagree	Disagree	Agree	Strongly Agree
(a)	The Committee has reviewed and approved the forward internal audit plan, ensuring it was developed in consultation with the Executive and the Committee.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(b)	The Committee considers the internal audit resources were adequate for the completion of the internal audit program.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c)	The Committee has monitored the implementation of internal audit recommendations and obtained all information and or explanations it considers relevant to the progress of implementation of audit recommendations.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(d)	The Committee considers the audit reports provided as appropriate for the business needs of Council; and	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(i) The reports were structured, concise and constructive.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(ii) The recommendations provided were realistic and resulted in improvements to current procedures.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(iii) The conclusions reached were adequately supported by relevant evidence and reflected a realistic understanding of the area under review.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3.	External Audit - Audit Risk and Improvement Committee:	Strongly Disagree	Disagree	Agree	Strongly Agree
(a)	is satisfied that Council's annual financial reports comply with applicable legislation and Australian accounting standards and are supported by appropriate management sign-off on Council's financial statements.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE PERFORMANCE REVIEW 2023/2024

(b)	has reviewed the external audit opinion, including whether appropriate action has been taken in response to audit recommendations and adjustments.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c)	has considered contentious financial reporting matters in conjunction with Council's management and external auditors.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(d)	reviewed the processes in place to ensure financial information included in the annual report is consistent with the signed financial statements.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4.	<i>Audit Risk and Improvement Committee Members (External and Councillors) and Meetings</i>	Strongly Disagree	Disagree	Agree	Strongly Agree
(a)	Committee members have attended meetings on a regular basis.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(b)	Meetings are effectively prepared and have been conducted in accordance with the agenda issued and allow sufficient time to discuss complex and critical issues.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c)	Meeting agendas and supporting papers are of sufficient clarity and quality to make informed decisions.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(d)	Meetings have been conducted to allow Committee members to raise any issue they believe relevant and allow for open, frank, and robust discussion of all matters raised.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(e)	Committee minutes are appropriately maintained and are of good quality.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(f)	The Committee's annual report to Council is of an appropriate quality and has been provided to Council on a timely basis.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(g)	The Committee has received all information, presentations, or explanations it considers necessary to fulfil its responsibilities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(h)	The Committee has reviewed and approved the annual business calendar.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(i)	The Committee provided the governing body and general manager with quality and timely assurance and advice.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(j)	The Committee is effective in meeting its responsibilities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(k)	The Committee has an effective relationship with council and other stakeholders to provide quality communication.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE PERFORMANCE REVIEW 2023/2024

(l)	The Chairperson has (in addition to their performance as a member of the committee):	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(i) demonstrated positive leadership;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(ii) maintained effective working relationships among audit, risk, and improvement committee members and with the council, council's external auditors and the internal audit function;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(iii) ensure the governing body and general manager were well informed and briefed on strategic and technical aspects of internal audits and risk and control issues; and	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	(iv) lead effective committee meetings.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(m)	Committee members have acted independently and objectively.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(n)	Committee members have contributed to the work of the committee through their participation in discussion and decision making, skills and experience.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5.	<i>Audit Risk and Improvement Committee - Skills and Understanding</i>	Strongly Disagree	Disagree	Agree	Strongly Agree
(a)	The Committee understands the Council's business sufficiently, including its key risks and internal controls, to fulfil its responsibilities under the Charter.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(b)	The composition and mix of skills of the Committee is appropriate and has allowed it to effectively perform its responsibilities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c)	The Committee's overall financial literacy is adequate in light of the committee's responsibilities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(d)	The Committee has responded appropriately and taken the required action where significant risks and/or control breakdowns have been brought to its attention.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:



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12 September 2024

Rachel Gill
Director (Acting), Community
Mid-Western Regional Council
86 Market Street
Mudgee, NSW, 2850

Dear Rachel,

Mid-Western Regional Council – ARIC Performance Evaluation Review

In accordance with a request from management, an independent evaluation of the Audit, Risk and Improvement Committee (ARIC) self-assessment has been undertaken for Mid-Western Regional Council (MWRC).

The objective of the engagement was to independently evaluate findings of the ARIC Performance Review 2023/2024. This included:

- Validate summarised results;
- Review against the Risk Management and Internal Audit for Local Government in NSW Guidelines; and
- Identifying any improvement opportunities.



Background

Review of Committee Performance.

As per the Risk Management and Internal Audit for local government in NSW Guidelines (November 2023) the ARIC is accountable for its performance and the work of the ARIC is to be regularly assessed. At least once every four years, the council must review the committee's effectiveness in line with the International Professional Practice Framework. The review can be conducted by engaging a qualified external assessor/peer or by the council itself with an independent evaluation.

Review Criteria:

The review of the ARIC's performance must consider:

- The appropriateness of the committee's terms of reference and whether these have been complied with.
- The processes and procedures undertaken by the committee.
- The collective performance of the committee.
- The individual performance of each member.
- The performance of the chairperson.
- How effectively the committee, external auditor, council, and internal audit function work together to manage risk and support the council.
- Whether the committee has effectively reviewed the matters identified in section 428A of the Local Government Act and contributed to improvements in these areas.
- Whether the composition of the committee is appropriate.

When conducting the review, the council is to consider feedback on each member's performance from the chairperson, councillor member of the committee, and the general manager. Self-assessments by the chairperson and members of the ARIC can also be used. The council can request the chairperson of the committee to address the council and answer any questions about the committee's operations.

The chairperson of the ARIC is to develop an action plan to address any issues identified in the performance review and present it to the council at the four-yearly assessment meeting.



Summary of Findings

The following issues have been noted during the review:

Ref #	Description of findings and recommendations	Risk Rating		
		High	Medium	Low
1	Update the ARIC Performance Review Report with Corrected Calculations.			
2	Uplift the Presentation and Consistency of results			
3	Self-assessments were not completed by all of the Committee members			
4	Action Plan to be Developed			

Key to Significance of Risk Rating

Internal Audit uses a risk-based audit methodology for assessing and responding to audit findings. Our findings are categorised and prioritised according to the risk they represent to MWRC.

Risk Rating	Description	Action Required
High	High risk within the audit area due to some serious control weaknesses.	Action to be taken within 3 months.
Medium	Moderate risk within the audit area due to existing controls that need improvement to ensure soundness.	Action to be taken within 6 months.
Low	Low risk within the audit area – some opportunity for control improvement exists.	Action to be taken within 12 months.

Positive Points

	ARIC Terms of Reference adopted 19 June 2024 comply with the NSW Risk Management and Internal Audit for Local Government Guidelines.
	Self-Assessment questionnaires adequately covered the NSW Risk Management and Internal Audit for Local Government Guidelines for review of committee performance.
	ARIC Charter adopted February 2022 is current and up to date.



Observations and Recommendations

1. Update the ARIC Performance Review Report with Corrected Calculations

Current Situation

Recommendation 1

Risk Rating: Medium

Crowe conducted a reconciliation between the individual self-assessments provided by MWRC and the results recorded in MWRCs ARIC Performance Review Report. This reconciliation noted a variance in the following 3 areas:

Risk Area	MWRC's ARIC Performance Review Report	Crowe Calculations	Variance
1e	Agreed 78%	Strongly Agreed 78%	Should be Strongly Agreed
4l	Strongly Agreed 78%	Strongly Agreed 88%	10%
5c	Strongly Agreed 67%	Strongly Agreed 75%	8%

It is important the results on the self-evaluation accurately represent the individual responses from the evaluators to ensure free from bias and accuracy in the report.

It is recommended the results be updated to accurately reflect all responses of the self-evaluation.

Management Comments:

Agree

We will make corrections.

Responsible Position:

Executive Assistant – Community

Target Date:

1 January 2025

2. Uplift the Presentation and Consistency of Results

Current Situation

Recommendation 2

Risk Rating: Medium

Crowe noted that the ARIC Performance Review 2023/2024 inconsistently reported results. Inconsistencies occurred in the following manner:

- Use of Agree verse Strongly Agree for percentage response.
- When Agree percentages were listed they only included responses with Agree, not Agree and Strongly Agree

The inconsistency of wording on results made it difficult to interpret results.

Overall results are currently presented using dot points with a percentage or results against them. There is potential for MWRC to create simple visualisation of results to better assist with interpretation. Visualisation can help assist in identifying areas of strength and areas requiring improvement.

If results are not displayed in a way that is easy and understandable to everyone, there is an increased risk they may not be interpreted accurately and necessary actions may not be taken.

It is recommended that a consistent approach is taken on how results are reported and summarised.

It is also recommended that MWRC consider visual representation of the evaluation results.

Management Comments:

Agree

This can be improved to be a more visual presentation of review findings and consistent approach on how results reported and summarised.

Responsible Position:

Executive Assistant – Community

Target Date:

1 January 2025



Observations and Recommendations

3. Self-assessments were not completed by all of the Committee members

Current Situation

Recommendation 3

Risk Rating: High

It was noted through the review that only two of the three voting committee members completed the ARIC self-assessment, with majority of the responses coming from management, representing a lack of self-evaluation from the committees' voting members.

The ARIC performance self-assessment were completed as follows:

Title	Voting Member	Completed
Chair (Independent Member) – Voting Member	Yes	Yes
Deputy Chair (Independent Member)	Yes	Yes
Councillor Member	Yes	No
General Manager	No	Yes
Chief Financial Officer	No	Yes
Director Corporate Services	No	Yes
Director of Community and Internal Audit Coordinator	No	Yes
Business Improvement Officer	No	Yes
Governance Coordinator	No	Yes
Executive Assistant Community	No	Yes

If there is a lack of self-assessments from committee members, there is an increased risk that the evaluation represents an inaccurate measurement of the ARIC's performance.

It is recommended that all individual voting committee members complete the self-evaluation to ensure there is a healthy split between committee members and management.

Management Comments:

Partially Agree

The only ARIC member who did not complete was Councillor Dicker who is a Councillor member and not independent. The only other 2 independent members completed the self-assessment. The new independent member Emma Thomas could not complete it as they commenced 1 July 2024.

We also had management complete self-assessments as they are involved in the ARIC regularly.

Responsible Position:

Executive Assistant – Community

Target Date:

1 January 2025



Observations and Recommendations

4. Action Plan to be Developed

Current Situation

Recommendation 4

Risk Rating: Medium

As part of the review of committee performance, any areas where self evaluation results have returned potential issues or areas for improvement need to be addressed.

The summarised results as currently presented may not clearly identify individual criteria that received a disagree or strongly disagree and need to be actioned. A review of individual self evaluation sheets to identify potential improvements may be required.

It is recommended that the chairperson of the ARIC develop an action plan to address any issues identified in the performance review.

We also recommended that these be tracked via Council open issues report until they have been resolved.

Management Comments:

Agree

Note action plan for issues identified is required by the chair of the ARIC and this is noted from the guidelines as needing to be presented to Council (governing body) in the strategic assurance meeting to be scheduled in the new council term.

Responsible Position:

Executive Assistant – Community

Target Date:

1 January 2025

Mid-Western Regional Council
ARIC Performance Evaluation Review



We would like to acknowledge our appreciation for the support we have been provided from Mid-Western Regional Council management.

Please contact me on telephone 02 60 21 1111 or email jason.gilbert@crowe.com.au if you would like to discuss further the content of this ARIC Performance Evaluation Review.

Yours faithfully

A handwritten signature in blue ink that reads "Jason Gilbert".

CROWE ALBURY

A handwritten signature in blue ink that reads "Jason Gilbert".

Jason Gilbert
Associate Partner

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AUDIT RISK AND
IMPROVEMENT
COMMITTEE ANNUAL
PERFORMANCE
REVIEW

CHAIR'S ACTION PLAN FOR
INDEPENDENT EVALUATION
RECOMMENDATIONS

11 OCTOBER 2024

COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE ANNUAL PERFORMANCE REVIEW

THIS DOCUMENT HAS BEEN PREPARED BY RACHEL GILL, ACTING DIRECTOR COMMUNITY/INTERNAL AUDIT COORDINATOR FOR MID-WESTERN REGIONAL COUNCIL.

ANY QUESTIONS IN RELATION TO THE CONTENT OF THIS DOCUMENT SHOULD BE DIRECTED TO:
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DATE OF PUBLICATION: 11 OCTOBER 2024

COMMUNITY | AUDIT RISK AND IMPROVEMENT COMMITTEE ANNUAL PERFORMANCE REVIEW

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ACTION PLAN FOR INDEPENDENT EVALUATION RECOMMENDATIONS

RECOMMENDATION 1

Update the ARIC Performance Review Report with corrected calculations.

Action – ARIC Secretariat/Executive Assistant Community to update the ARIC Performance Review Report.

Target Date – 1 January 2025

Status – Complete 17 September 2024.

RECOMMENDATION 2

Uplift the Presentation and Consistency of Results

Action – ARIC Secretariat/Executive Assistant Community to update the ARIC Performance Review Report so that a consistent approach is taken on how results are reported and summarised and amend the visual representation of the evaluation results.

Target Date – 1 January 2025

Status – Complete 18 September 2024.

RECOMMENDATION 3

That all individual voting committee members complete the self-evaluation to ensure there is a healthy split between committee members and management.

Action – ARIC Secretariat/Executive Assistant Community to ask the Councillor member to complete the self-evaluation and update the report with findings including all responses.

Target Date – 1 January 2025

Status – Complete 11 October 2024.

RECOMMENDATION 4

That the Chairperson develop an action plan to address any issues identified in the performance review.

Target Date – 1 January 2025

Status – Complete 18 September 2024 - The ARIC Secretariat/Executive Assistant Community has created an action plan for the Chairperson to review.

Mid-Western Regional Council

Date: 22 November 2024

Minutes of the Audit, Risk and Improvement Committee

Held at the Council Chambers, 86 Market Street, Mudgee
on 22 November 2024, commencing at 9:37am and concluding at 11:16am

COMMITTEE MEMBERS PRESENT ARIC Chair J Stuart, Councillor Member K Dicker, Deputy Chair/Independent Member J Bentley, Member E Thomas.

COUNCIL OFFICIALS PRESENT General Manager (Brad Cam) – via TEAMS, Director Corporate Services (Leonie Van Oosterum), Director Development (Alina Azar) – for item 8.2 presentation only, Chief Financial Officer (Neil Bungate), Manager Information Technology (Ian Blake), Business Improvement Officer (Erin Reid), Governance Coordinator (Ashleigh Marshall), Acting Director Community (Rachel Gill), and Executive Assistant - Community (Christie Gray).

EXTERNAL PARTIES PRESENT Audit Leader – External Audit, NSW Audit Office (Cassie Malone), Internal Auditor – Crowe (Amir Mousa).

Item 1: Apologies

Council Officials - Director Operations (Julian Geddes), Manager People and Performance (Sharna Ross), WHS and Risk Coordinator (Veronika Barry).

External Parties - External Audit, NSW Audit Office (Desmond Quach), Internal Auditor – Crowe (Jason Gilbert), Internal Auditor – Crowe (Brenton Maddock).

Item 2: Disclosure of Interest

There were no disclosures of interest.

Item 3: Confirmation of Minutes

58/24 MOTION: Bentley / Thomas

That the Minutes of the previous ARIC Meeting held on 23 August 2024 be taken as read and confirmed.

The motion was carried with the Committee Members voting unanimously.

Item 4: Matters in Progress

SUBJECT	MEETING DATE	RESOLUTION & NO.	ACTION
Legislative Compliance Breaches	23/02/2024	08/24 MOTION: Bentley / Dicker	28 Feb 2024 After discussion on the legislative compliance

Page 1 of the Minutes of the Audit, Risk and Improvement Committee held on 22 November 2024

Chair

		<p>That the Audit, Risk, and Improvement Committee note:</p> <ol style="list-style-type: none"> 1. two legislative breaches have been added to the register; and 2. six legislative breaches previously reported remain open. <p>The Director of Community noted since the report was written two of the breaches have since closed – the Public Interest Disclosure policy is now available on the intranet; and the privacy breach – the action to write to the members of the public affected has been completed. Discussion also took place regarding the requirement for Council to have a performance review panel for the General Manager in place, and the requirement for Council to have a register for development consents and certificates resulting in the following action.</p> <p>Action: Staff will bring more information regarding the register for development consents and certificates from the Development department back to the committee.</p>	<p>breaches in item 6.3 and the requirement for Council to have a register for development consents and certificates it was requested that Council staff bring more information regarding this from the Development Department back to the committee. Ashleigh Marshall has been emailed 28.2.24 to follow up with the relevant Development staff and bring back the information requested to the committee at the next ARIC meeting in May.</p> <p>22 Apr 2024 Email sent to Ashleigh Marshall to get an update on her follow up with Development staff for information requested by the Committee.</p> <p>22 Apr 2024 Ashleigh has requested an update from Director of Development, waiting on response. Lindsay Dunston has met with IT to reopen the DA register, but the last meeting was cancelled. She will attempt to follow up again with staff.</p> <p>03 May 2024 Council's Planning team are currently in discussion with the IT Team and are looking to establish a DA register utilising TechnologyOne and the existing online DA</p>
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			<p>tracker. TechnologyOne will need to be engaged to enable the upload of documents as part of the DA process rather than as a separate process. Staff will also need to ensure that they are redacting any personal or copyrighted information.</p> <p>27 May 2024 At the ARIC Meeting 24 May 2024 the Chief Financial Officer provided an update that each Council is unique and TechOne needs to be customised, technical consultants have come to help, and updates have been made after staff testing was done and is now back with planning staff for more testing but there is conflict issues for time for staff at the moment.</p>
Amendments to the regulation supporting the new Guidelines for Risk Management and Internal Audit in Local Governments in NSW	23/02/2024	<p>16/24 MOTION: Dicker / Bentley</p> <p>That the Audit, Risk, and Improvement Committee note the <i>Local Government (General) Amendment (Audit, Risk and Improvement Committees) Regulation 2023 supporting the new Guidelines for risk management and internal audit for local governments in NSW;</i></p> <p>The Director of Community mentioned the need for a second independent member by July and this member will</p>	<p>28 Feb 2024 A committee performance report is required, Simon Jones and Christie Holt will be in touch with committee prior to the next ARIC meeting in May for self-evaluation and the report will be presented at the next ARIC meeting in May after going to the Executive team for review.</p> <p>22 Apr 2024 A self-evaluation performance review questionnaire has been created and Simon Jones will talk with Chair John Stuart</p>

		<p>be at the August ARIC meeting, and noted the restrictions regarding the length of term – no more than eight years. A report on how the committee has performed is also required and we will be in touch with the committee before the next ARIC meeting in May. The Chair noted that his and the Deputy Chair's six year membership will end November 2026 and they are both available for the next two years and are happy to assist in anyway they can looking towards a transition for changeover in the future, noting that in September after the election a new Council may want a new committee. The Deputy Chair seconded these comments.</p>	<p>about how the review will be done.</p> <p>29 Apr 2024 Chairperson has reviewed the self-assessment template, and this will be presented at 24 May meeting for members to complete and then a report on the review will be presented at the 23 August meeting</p> <p>27 May 2024 The self-assessment questionnaire was presented at the 24 May 2024 ARIC meeting and then sent to Committee members and council staff today to be completed and return so results can be collated.</p> <p>22 Jul 2024 The responses to the self-evaluation questionnaires received back have been collated and a brief report on the findings has been presented to the internal auditors Crowe to conduct on independent evaluation of the findings and report back.</p> <p>28 Aug 2024 23 August 2024 ARIC Meeting, Internal Auditor - Jason Gilbert (Crowe) advised that the report on the self-assessment is currently going through management and they will have for Council in the next week or two.</p> <p>30 Oct 2024 ARIC Self-Assessment report complete and</p>
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Mid-Western Regional Council

Date: 22 November 2024

			report on agenda for 22 November meeting
Enterprise Risk Management Update	24/05/2024	<p>27/24 MOTION: Bentley / Dicker</p> <p>That the Audit, Risk, and Improvement Committee note the Enterprise Risk Management update.</p> <p>The WHS and Risk Coordinator noted the good progress with risk management reviews and at the time of reporting 89% of critical functions were complete. The Deputy Chair noted this has been a three year project, he also asked if a visual of the plan can be presented at the next meeting in August.</p> <p>Action: Enterprise Risk Visual presentation for the August ARIC meeting.</p>	<p>27 May 2024 The deputy chair requested a visual of the Enterprise Risk Management plan be presented at the next ARIC meeting on 23 August 2024.</p> <p>17 Jun 2024 The deputy chair requested a visual of the Enterprise Risk Management plan be presented at the next ARIC meeting on 23 August 2024.</p> <p>20 Jun 2024 WHS & Risk Coordinator confirmed will present a slideshow at 23 August ARIC meeting.</p> <p>28 Aug 2024 The WHS & Risk Coordinator gave an Enterprise Risk visual presentation at the 23 August 2024 meeting.</p> <p>RECOMMENDED FOR COMPLETION</p>
Work Health and Safety Reports	24/05/2024	<p>31/24 MOTION: Bentley / Dicker</p> <p>That the Audit, Risk, and Improvement Committee note the WHS Reports for February 2024, March 2024, and April 2024.</p> <p>Councillor Dicker asked for some clarification regarding one of the incidents in the March report and the WHS and</p>	<p>27 May 2024 WHS incidents to be reported year on end - WHS and Risk Coordinator.</p> <p>17 Jun 2024 WHS incidents to be reported year on end - WHS and Risk Coordinator.</p> <p>20 Jun 2024 Director Community suggested to WHS & Risk Coordinator that she start collecting the data from July 1st to</p>

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Chair

		<p>Risk Coordinator explained the Community Services staff member had reported this incident. The observer Emma Thomas asked if there was capacity to compare trends over a year. The WHS and Risk Coordinator commented that this is planned for the future and is part of Work Cover Insurance.</p> <p>Action: WHS incidents to be reported year on end.</p>	<p>give some time over the next 12 months to tally up the data from 2023/24 ready to be able to compare at the end of the 2024/25 year as the Committee requested this information to be able to compare year on year.</p> <p>28 Aug 2024 The WHS & Risk Coordinator confirmed at the 23 August 2024 meeting that she had noted from last meeting and year on reporting for WHS incidents will start from July 2024.</p>
Business Improvement Update	24/05/2024	<p>33/24 MOTION: Bentley / Dicker</p> <p>That the Audit, Risk, and Improvement Committee note the progress of the Business Improvement program.</p> <p>The Business Improvement Officer noted that a review will be presented to Council in June and will be brought to ARIC at the August meeting, just waiting on one Manager’s service statement. It was noted that a new Delivery Program and Operational Plan template is going to Executive to review, reporting by service instead of accounting code, and thanked Finance for their help. The Deputy Chair asked if at the November meeting a presentation could be made with visual and</p>	<p>27 May 2024 Visual and explanation of Service Statements to be presented at the November ARIC meeting.</p> <p>17 Jun 2024 Visual and explanation of Service Statements to be presented at the November ARIC meeting.</p> <p>28 Aug 2024 The Business Improvement Officer gave a visual and explanation of the Service Statements to the Committee at the 23 August 2024 meeting.</p> <p>RECOMMENDED FOR COMPLETION</p>

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		<p>explanation on Service Statements.</p> <p>Action: Visual and explanation of Service Statements to be presented at November meeting.</p>	
Update on External Audit Action Items	23/08/2024	<p>40/24 MOTION: Bentley / Dicker</p> <p>That the Audit, Risk and Improvement Committee note the progress on the external action items.</p> <p>The Chair commented that it will be good to get some of those items closed out and the Deputy Chair agreed with the Chair's comment. The Audit Leader noted that these will be reviewed as part of the end of year letter and anything that can be closed will be closed in the end of year letter in November.</p>	<p>28 Aug 2024 23 August 2024 - Director Corporate Services noted that the CSB is being closed out by the Economic Development team and will be brought to the 22 November meeting to show how Council is going to meet guidelines. The Business Improvement Officer also commented that at the 22 November meeting she can set out the timeframes for the DPOP for the Committee.</p>
Enterprise Risk Management Update	23/08/2024	<p>45/24 MOTION: Thomas / Dicker</p> <p>That the Audit, Risk, and Improvement Committee note the Enterprise Risk Management update.</p> <p>The WHS & Risk Coordinator noted that the Risk Officer is off again on Maternity leave and they are looking to fill this role but being a specialist role it is difficult to fill. Before going on Maternity leave progress was made on BIA and identifying</p>	<p>28 Aug 2024 The WHS & Risk Coordinator noted that the complete BCP will be brought to the next ARIC meeting on 22 November 2024.</p>

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		<p>services with high criticality and areas most robust can use resources. Councillor Dicker asked when the Maternity leave will cease.</p> <p>The WHS & Risk Coordinator confirmed in March. She noted that the BCP was presented to Executive team on Tuesday and that Water services are difficult to mould into other areas as it is more complex and they are looking at more higher level scenarios to put us in a better position and they are making good progress using an alternate version of BIA.</p> <p>The Deputy Chair asked if the Committee will see the draft BCP at the next meeting.</p> <p>The WHS & Risk Coordinator confirmed the Committee will see the complete BCP at the next meeting in November.</p>	
<p>Work Health and Safety Reports</p>	<p>23/08/2024</p>	<p>46/24 MOTION: Dicker / Bentley</p> <p>That the Audit, Risk, and Improvement Committee note the WHS Reports for May 2024, June 2024, and July 2024.</p> <p>The independent Committee member, Emma, commented that last meeting it was noted about getting year reporting to compare against last year and trends.</p> <p>The Executive Assistant Community/ARIC Secretariat noted that after</p>	<p>28 Aug 2024 Acting General Manager requested corrective actions be split in the reporting into proactive and reactive actions (as a result of internal inspections).</p>

		<p>the last meeting this has been added to Matters In Progress.</p> <p>The WHS & Risk Coordinator commented that she did note this after the last meeting and will look at moving forward. She also noted seasonal injuries included in the reports, and that site risk is at the forefront.</p> <p>The Chair asked about the 29 new corrective actions on page 79 of the agenda and if these were a result of inspections.</p> <p>The WHS & Risk Coordinator confirmed yes, and the Acting General Manager added and asked that these can be split for future reporting into proactive and reactive actions as a result of internal inspections.</p>	
Cyber Security Report	23/08/2024	<p>49/24</p> <p>MOTION: Bentley / Dicker</p> <p>That the Audit, Risk, and Improvement Committee receive the report from the IT Cyber Security Engineer on the cyber improvement program.</p> <p>The Deputy Chair commented on the phishing spike and that it is a scary scenario we will never get ahead of and is a herendous area to get around, and noted that the report is very detailed and commended the Manager Information Technology and Cyber Security Engineer for trying to get ahead and the quality work.</p>	<p>28 Aug 2024</p> <p>23 August 2024 ARIC meeting - The Director Corporate Services suggested that the notable incidents be moved to the top of the report for next reporting period. It was also agreed that this report will be brought to ARIC annually moving forward with key indicators to reflect how we are going with risk</p>

	<p>The Cyber Security Engineer commented that it is a difficult report and would welcome feedback. The Director Corporate Services suggested moving the notable items to the top of the report. Councillor Dicker noted that she can see more moving to green, and asked whether more budget is required or manpower.</p> <p>The Manager Information Technology commented that it is mostly around processes and procedures and overheads. The IT Department has increased by two staff last financial year and notes we have our head above water to provide a level of service to all areas of Council and administration overheads are noted to make IT layout of staff more efficient.</p> <p>The Chair asked how much impact the Crowd Strike incident had.</p> <p>The Cyber Security Engineer commented that he was on leave when the incident occurred, but noted specific incidents in Water and Sewer.</p> <p>The Manager Information Technology commented that three of his direct reports were on leave at the time and had only himself and two service staff and that the impact was very quick and within 15-20 minutes had identified it was a result of the Crowd Strike update. They notified the Director Corporate Services for communications, and used resources to problem</p>	
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	<p>solve to get communications back, e.g. reservoir levels and sewage pumping stations, and ensure were up and running as priority. Approximately 1 in 3 council devices were affected and had to individually go into each to fix.</p> <p>Councillor Dicker asked if processes and procedures came into affect. The Director Corporate Services confirmed that the incident response procedure flagged to have conversations with the WHS & Risk Coordinator re BCP hence why it has come to Executive before it is complete – ticking off what came up from this event especially water and sewer, and does it address catastrophic outages of non-critical areas.</p> <p>The independent Committee member, Emma, asked if the incident resulted in any amendments to the draft. The WHS & Risk Coordinator confirmed that it did not as they had already added incidents with multiple area outages. The Chair noted that in the notables that IntraMaps went down twice.</p> <p>The Manager Information Technology commented that this is now a cloud application and have noted with the service delivery manager that the TechOne app since moved to a cloud app reliability and availability has severely decreased and have escalated to the</p>	
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	<p>service provider that the intercommunications processes changes to the portal having a negative impact and this is a technical issue on their end.</p> <p>The independent Committee member, Emma, asked if the 1000 in May or 31 August was an anomaly.</p> <p>The Cyber Security Engineer commented that this was aligned with the EOFY due to Council email addresses and vendors trying to sell and shows that filtering is working, and if in the next reporting it increases it means the filtering is continuing to work.</p> <p>The Chair asked if in the report if the text colour can be changed for the red background to make it easier to read.</p> <p>The independent Committee member, Emma, asked how we feel about the numbers in the vulnerability trends.</p> <p>The Cyber Security Engineer commented that water and sewer is impacting these critical vulnerabilities and that key assets in the service delivery statements highlighted vulnerable critical functions of the business.</p> <p>The Deputy Chair asked the Manager Information Technology if he has enough resources.</p> <p>The Manager Information Technology commented that where there is a skills gap is industrial cybersecurity, and that critical services are</p>	
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		<p>significant risk to Council and are ones generally targeted more. The Cyber Security Engineer has certification and training in software and looking at now what the gap looks like and cybersecurity recomunications and most responsive solutions and shortcomings with scope he can look at as part of his role.</p>	
<p>Annual Report by the Committee Chair</p>	<p>23/08/2024</p>	<p>53/24 MOTION: Bentley / Dicker</p> <p>That the Audit Risk and Improvement Committee receive the Annual Report by the Chair and recommend that the report be presented to the October Council meeting.</p> <p>The Chair thanked Council for the support received for this report, and noted that when the new Council is elected he would like to arrange for the Committee to met them. The Deputy Chair commented that in 2023/24 as a Committee the increased confidence in questioning and responses and guiding Council in management and that the Committee is fortunate to have the leaders we do and the staff; noting they are impressive and he is fortunate to be able to work with them. He also wished Councillor Dicker good luck for the upcoming Local Government elections.</p>	<p>28 Aug 2024 At the 23 August 2024 meeting the Chair requested a meeting be arranged to meet the new Council once elected.</p> <p>30 Oct 2024 A meeting with ARIC and Council to be arranged before the Councillor briefing session prior to the Council meeting on Wednesday 11 December 2024.</p>

		<p>The Acting General Manager thanked the Deputy Chair, and thanked the Committee for the collaborative nature we have; and also thanked the Director of Corporate Services and her team and the amount of work that goes into the Committee. The Chair also endorsed these comments.</p>	
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Matters In Progress

Mover - Stuart / Seconder - Bentley

COR400236

RECOMMENDATION

That Minute no. [27/24](#) , and [33/24](#) be noted as completed.

The Committee Members voting unanimously.

Item 5: Audit

5.1 FINANCIAL STATEMENTS 2023/2024

COR400236, FIN300446

59/24

MOTION: Stuart / Bentley

That the Audit, Risk, and Improvement Committee receive the Financial Statements for the financial year ended 30 June 2024.

The Chair noted that after the Committee's discussions with the External Auditor regarding items being removed they are happy with the outcome and will discuss with management in the new year regarding items that could come back in the financials that were considered to have valuable information. It was noted that the Committee are happy qualifications have been removed and understand a lot of work was required by management and the auditors to remove.

The external auditor noted the uncorrected adjustments in the appendix to the closing report are subject to ongoing committee discussions in parliament.

The Chair and Deputy Chair congratulated the Committee especially the Chief Financial Officer on the great effort and achievement.

It was noted that the external auditors will send out the draft management letter next week.

The motion was carried with the Committee Members voting unanimously.

Items brought forward:**Item 6.3 Legislative Compliance was brought forward.**

6.3 LEGISLATIVE COMPLIANCE

COR400236, GOV400047

60/24

MOTION: Stuart / Bentley**That the Audit, Risk, and Improvement Committee note:****Five legislative breaches previously reported remain open.**

The Governance Coordinator noted an update since the report date, the Cemeteries Administration Officer now has a licence and has the conditions we need to abide by and has been working on new contracts using the model contract to resolve the breaches. Advice was sought from the Committee regarding the Cemeteries register, the Cemeteries Officer would like the Electronic Records Management system to be classified as our register, information will be captured on forms and filed in ELO, and currently carbon copy books are used for cemetery permits.

The Chair, Independent Member, and Director Corporate Services all agreed that all needs to be recorded in one register to be compliant and for access efficiency.

It was noted that we are making progress on the other breaches and the register of contributions can be published very soon, and the last round of testing for water meter connections will be complete by the end of the calendar year.

Actions:

- 1. Cemeteries Register to be updated by Cemeteries Administration Officer to ensure compliance.**
- 2. Management to determine if action of TechOne is beneficial.**

The motion was carried with the Committee Members voting unanimously.

5.2 INTERNAL AUDIT PROGRAM STATUS REPORT

COR400236

61/24

MOTION: Bentley / Thomas**That the Audit, Risk, and Improvement Committee receive the Crowe Internal Audit Program Status Report.**

The internal auditor gave an update on the internal audit program, and commented on the Curious Eyes Publication of Interest shared, and noted the Fair Work and the right to disconnect and how to implement.

The motion was carried with the Committee Members voting unanimously.

5.3 INTERNAL AUDIT - FOLLOW UP REVIEW

COR400236

62/24

MOTION: Bentley / Dicker

That the Audit, Risk, and Improvement Committee note:

1. **the final report by the internal auditors on Follow Up Review; and**
2. **the actions to be undertaken.**

The Deputy Chair commented on the Follow Up review and how it has value in continuing. The internal auditor added that reviews from previous years and areas were chosen based on high risk items and that 13 out of 17 were now closed and they have received sufficient documentation to close. 4 are still open, some relating to updating Procurement Framework, WHS documentation, uplifting TechOne for Development Application contributions.

The motion was carried with the Committee Members voting unanimously.

Item 6:

Risk

6.1 RISK MANAGEMENT UPDATE

COR400236

63/24

MOTION: Stuart / Bentley

That the Audit, Risk, and Improvement Committee note the Enterprise Risk Management update.

The Chair commended Council on a very good BCP and is happy it has progressed and thanked all involved which was reiterated by the independent member who asked if a testing schedule was in place and linked to relevant staff member/s.

The Director Corporate Services confirmed the Manager People and Performance is the BCP Officer and will ensure it gets tested and will be linked to the Risk Coordinator. The Deputy Chair asked if there was a timeline for water and sewer. The Director Corporate Services said by the end of the year.

The General Manager agreed it was a good document, and confirmed will ensure we have regular testing and it does not just sit on the shelf.

The motion was carried with the Committee Members voting unanimously.

6.2 WORK HEALTH AND SAFETY REPORTS

COR400236

64/24

MOTION: Bentley / Thomas**That the Audit, Risk, and Improvement Committee note the WHS Reports for August 2024, September 2024, and October 2024.**

Clarification was given for a few incidents in the report.

The Independent member commented that it would be nice to see a trend over a year.

The Director Corporate Services noted we would be happy to share with the committee a report which was done for the EOFY for the insurance company, and noted that we are below the benchmark and have been for multiple years. And we can look at collating time estimate moving forward for time spent on WHS training.

Actions:

- 1. Send EOFY report used for insurers to Committee.**
- 2. Look at collating time estimate for amount of time spent on WHS training moving forward.**

The motion was carried with the Committee Members voting unanimously.

Item - 6.3 Legislative Compliance - has been moved to another part of the document.

6.4 FRAUD INCIDENT & PROCUREMENT BREACH REGISTERS

COR400236

65/24

MOTION: Bentley / Thomas**That the Audit, Risk, and Improvement Committee note that:**

- 1. there were alleged fraud/corruption incidents since the last ARIC meeting; and**
- 2. there was one identified Procurement Breach incident since the last ARIC meeting.**

The Director of Corporate Services and Governance Coordinator are working together to come to the end of the investigation and noted that we have not found any intent of corruption.

The Chair added that hopefully by the next meeting it will be closed out.

The motion was carried with the Committee Members voting unanimously.

Item 7: Improvement

7.1 INTEGRATED PLANNING AND REPORTING UPDATE

COR400236

66/24

MOTION: Stuart / Bentley

That the Audit, Risk and Improvement Committee:

1. **receive the Integrated Planning and Reporting Update report; and**
2. **note the IP&R timeline documents**

The Business Improvement Officer noted that it has been presented externally to Council, internally for when documents are due, at the Executive team strategic day where it was endorsed, and it will inform out community strategic plan.

The Chair commented that it is well and truly underway, it is a big task, and noted the community consultations have been well publicised so no one can say they did not have the opportunity to contribute.

The motion was carried with the Committee Members voting unanimously.

7.2 BUSINESS IMPROVEMENT UPDATE

COR400236

67/24

MOTION: Bentley / Stuart

That the Audit, Risk, and Improvement Committee note the progress of the Business Improvement program.

The Business Improvement Officer noted that a line of sight document is being developed and will be rolled out internally in June 2025; and alignment of project codes with services is being worked on.

The motion was carried with the Committee Members voting unanimously.

10:40am The Director Development entered the meeting.

Item 8: General Business

8.1 AUDIT, RISK, AND IMPROVEMENT COMMITTEE
PERFORMANCE REVIEW

COR400236

68/24

MOTION: Stuart / Bentley

That the Audit, Risk, and Improvement Committee:

1. **receive the report from the Director of Community on the Audit, Risk, and Improvement Committee Performance Review, and Evaluation report from Crowe; and**
2. **endorse the Action Plan for recommendations from the Independent Evaluation of the ARIC Performance Review Report.**

The Acting Director Community noted that the internal auditors have reviewed and given recommendations.

The internal auditor added that it is good to complete as per the Guidelines and noted that any action items should be tracked.

The Chair added that all actions items have now been complete.

The motion was carried with the Committee Members voting unanimously.

8.2 COMMUNITY ENGAGEMENT PLAN 2024-2025

COR400236, COR400811

69/24

MOTION: Stuart / Bentley

That Council receive the report by the Manager Economic Development on the Community Engagement Plan 2024-2025.

The Director Development commented that we have had face-to-face engagement in Mudgee, Gulgong, and Kandos, averaging 30-40 participants per session. Focusing on diversity/demographic and outreach by different methods – face-to-face, community news, and capturing long-term goals of the community, and information collected will be taken back to the community.

The Chair noted the local radio interview, and long period the community has to contribute.

The Deputy Chair made a suggestion to have a stall at local weekend markets. The Director Development confirmed we had a housing strategy stall recently at the markets and that we may be able to use postcards or QR codes in future.

The motion was carried with the Committee Members voting unanimously.

The Director Development left the meeting.

8.3 DRAFT IT STRATEGIC PLAN 2024-28

COR400236, INT800010

70/24

MOTION: Thomas / Dicker

That Council receive the report by the Manager, Information Technology on the Draft IT Strategic Plan 2024-28, which has been placed on public exhibition for 28 days and received no submissions.

The Manager Information Technology noted the major difference from the last community strategy is the focus on safe and resilient IT services regarding cybersercurity, a roadmap is underway with a proposal to come

this budget period, and the cybersecurity policy is going to Executive and Council. There was discussions around trialling works requests, looking at other Councils, and TechOne.

The Deputy Chair noted the plan was four years.

The Manager Information Technology commented that any longer than 4 years the sector changes.

The motion was carried with the Committee Members voting unanimously.

8.4 ANNUAL REPORT 2023/24

COR400236

71/24

MOTION: Stuart / Bentley

That the Audit, Risk, and Improvement Committee note the Annual Report for the year ending 2023/24.

The Deputy Chair congratulated the Chief Financial Officer and team.

The Chair noted that Council is very compliant with how information is provided.

There was discussion around mining companies contributions vs renewable energy company contributions.

The motion was carried with the Committee Members voting unanimously.

8.5 ARIC ANNUAL WORKPLAN AND FOUR YEAR STRATEGIC PLAN

COR400236

72/24

MOTION: Stuart / Bentley

That the Audit, Risk and Improvement Committee:

- **Note the report on the ARIC Annual Workplan and Four Year Strategic Plan.**

The Deputy Chair suggested the checklist included in the strategic plan would be useful to use for induction of new ARIC members when the Chair and Deputy Chair finish their term on the committee.

The Chair noted a transition plan is needed in 2025 prior to their end of term in 2026.

The Independent member noted the importance of making sure the checklist aligns with discussions.

The Deputy Chair was happy with the plans and the highlighted sections can be reviewed by the Chair before finalising.

The Committee were in agreeance and were happy with the plans.

The motion was carried with the Committee Members voting unanimously.

Item 9: Closure

There being no further business the meeting concluded at 11:16am.

The next Audit, Risk and Improvement Committee will be held on the Friday, 21 February 2025 at Council Chambers, 86 Market Street, Mudgee.