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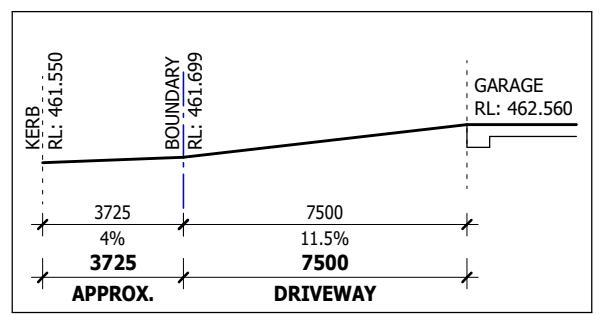
SITE NOTES:

- BEFORE STARTING WORK ON SITE CHECK FOLLOWING:
- SERVICE LOCATIONS
 - SEWER CONNECTION POSITION
 - DRIVEWAY ALIGNMENT & LEVELS
 - SEWER CONNECTION TO AUTHORITIES REQUIREMENTS MAIN AS PER TENDER.
 - WATER CONNECTION TO SUPPLY AUTHORITIES MAIN AS PER TENDER.
 - 'N2 WIND CATEGORY'

DP ○ INDICATES DOWNPIPE LOCATION

80m² (min = 5m) PRIVATE OPEN SPACE.

NOTE: DRIVEWAY TO COMPLY WITH AS2890.1:2004;



LEGEND

DT - DENOTES DEAD TREE	PP - POWER POLE
EB - ELECTRICAL BOX	SMH - SEWER MAN HOLE
EM - ELECTRICAL METER	SIO - SEWER INSPECTION OPENING
G - GAS METER	SV - SEWER VENT PIPE STOP VALVE
H - HYDRANT	S - DENOTES TREE STUMP
R - HYDRANT RECYCLED	SWO - DENOTES STORM WATER PIT
KO - DENOTES KERB OUTLET	T - DENOTES TREE
LP - LIGHT POLE	TP - TELESTRAP PIT
LH - LAMP POLE	WT - WATER TAG
MH - MAN HOLE	WM - WATER METER
△ - BENCH MANR	- GULLY PIT
① - PHOTO POINT	- VEHICULAR CROSSING

FRONT SETBACK
 NEIGHBOUR 1 : xxx mm
 NEIGHBOUR 2 : xxx mm
 AVERAGE : 6500mm

GENERAL SITTING NOTES

- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENTS SUBJECT TO CONFORMATION UPON COMPLETION OF ARCHITECTURAL PLANS.
- ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFORMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.
- ALL AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.
- NO ALLOWANCE HAS BEEN MADE FOR RETAINING WALLS, BY OWNER AFTER HANDOVER IF REQUIRED

EXISTING TREES GREATER THAN 8m IN HEIGHT WITHIN 3m OF THE PROPOSED BUILDING OR ANY TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

GENERAL SURVEY NOTES

- CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
- DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY NSW LAND REGISTRY SERVICES PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED. BUILDINGS AND FENCES ARE SHOWN IN APPROXIMATE POSITIONS ONLY AND COULD VARY + OR - 100MM.
- SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.
- DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

SITE CALCULATIONS DA

GROUND FLOOR (MAIN DWELLING & GRANNY FLAT)	198.53	m ²
GARAGE AREA (MAIN DWELLING)	33.05	m ²
TOTAL LIVING AREA (MAIN DWELLING & GRANNY FLAT)	198.53	m ²
SITE AREA		
SITE AREA	910.00	m ²
BUILDING FOOTPRINT (INCLUDING UNENCLOSED AREA)	253.23	m ²
DRIVEWAY & PATH	42.56	m ²
CROSSOVER	13.04	m ²
TOTAL FRONT AREA		
TOTAL FRONT AREA	182.20	m ²
FRONT LANDSCAPE AREA	76.64	%
TOTAL LANDSCAPE AREA	614.21	m ²
LANDSCAPE AREA (%)	67.50	%
TOTAL BUILT UPON AREA		
TOTAL BUILT UPON AREA	30.13	%
FLOOR SPACE RATIO	0.22	:1
SITE COVERAGE	27.83	%

FLOOR AREAS

GROUND FLOOR	142.03 m ²
GARAGE	33.05 m ²
ALFRESCO	9.60 m ²
PORCH	2.08 m ²
TOTAL	186.76 m²

GRANNY FLAT AREAS

GROUND FLOOR	56.50 m ²
ALFRESCO	8.24 m ²
PORCH	1.73 m ²
TOTAL	66.47 m²



RAWSON HOMES
 LEVEL 7, 5 RIDER BOULEVARD,
 RHODES NSW 2138
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 Builder's licence No. 33493C

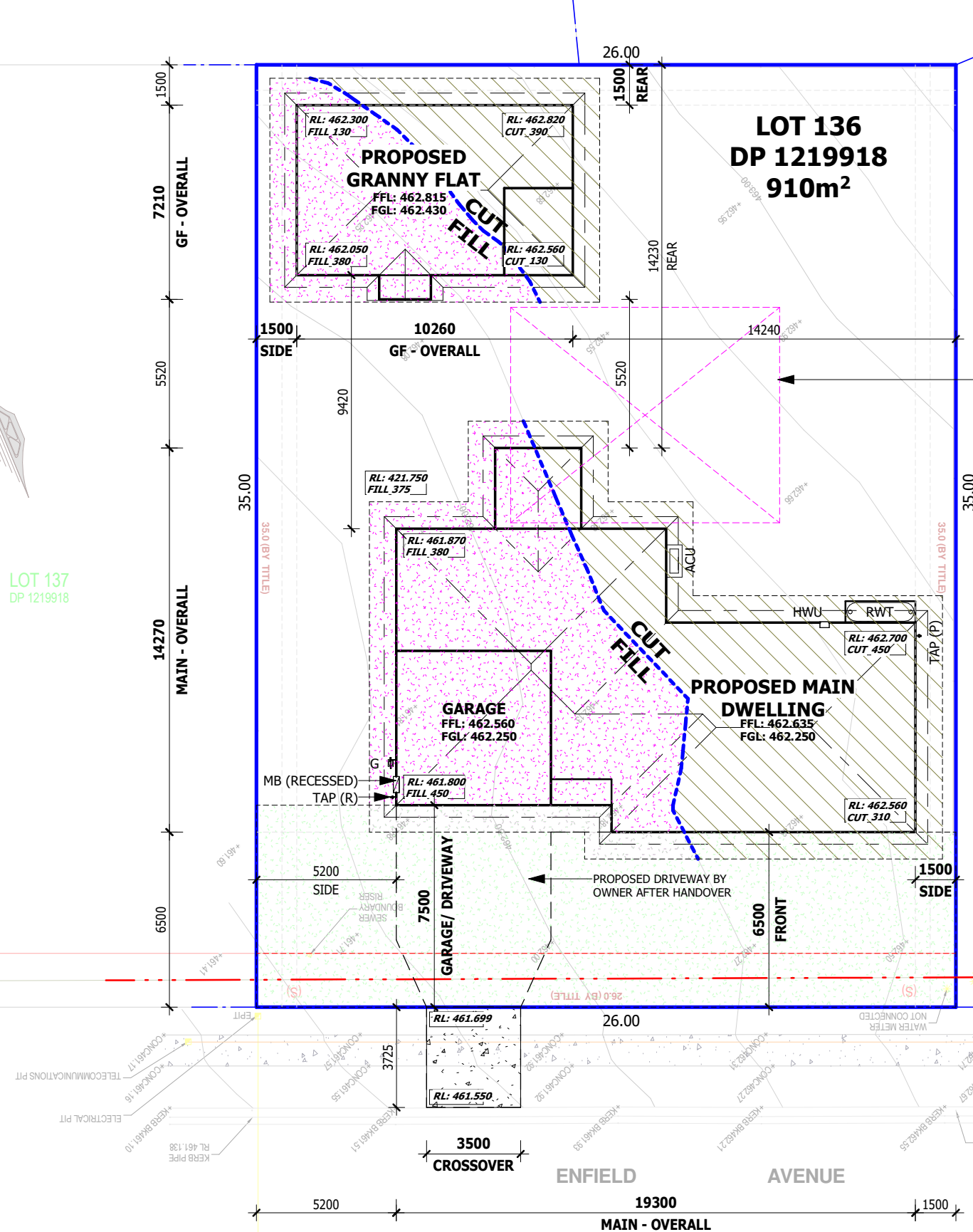


CLIENT:
MR VINCENZO DOMENICO DEBELLIS
 SITE ADDRESS:
 LOT 136 (DP1219918)
 (No.6) ENFIELD AVENUE
 CAERLEON, NSW 2850
 (CAERLEON MUDGE ESTATE)

CLIENT INITIALS: 1. _____ 2. _____

HOUSE TYPE
 MODEL: **BOWEN 20 MKI & GRANNY FLAT**
 FACADE: **TRADITIONAL**
 TYPE: **DOUBLE GARAGE**
 SPECIFICATION: **CORE SPECIFICATION V2**
 DRAWING TITLE:
SITE PLAN

DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION:
DH	06.03.24	GD	
COUNCIL AREA:		SCALE:	
MID WESTERN REGIONAL		1 : 200	
JOB No:	DRWG No:	ISSUE:	
A000475	02	B	

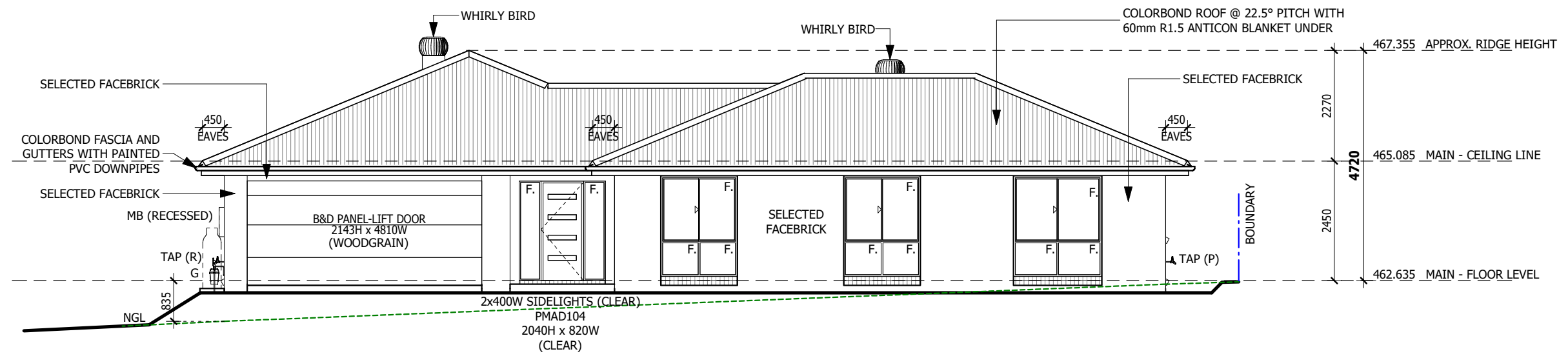


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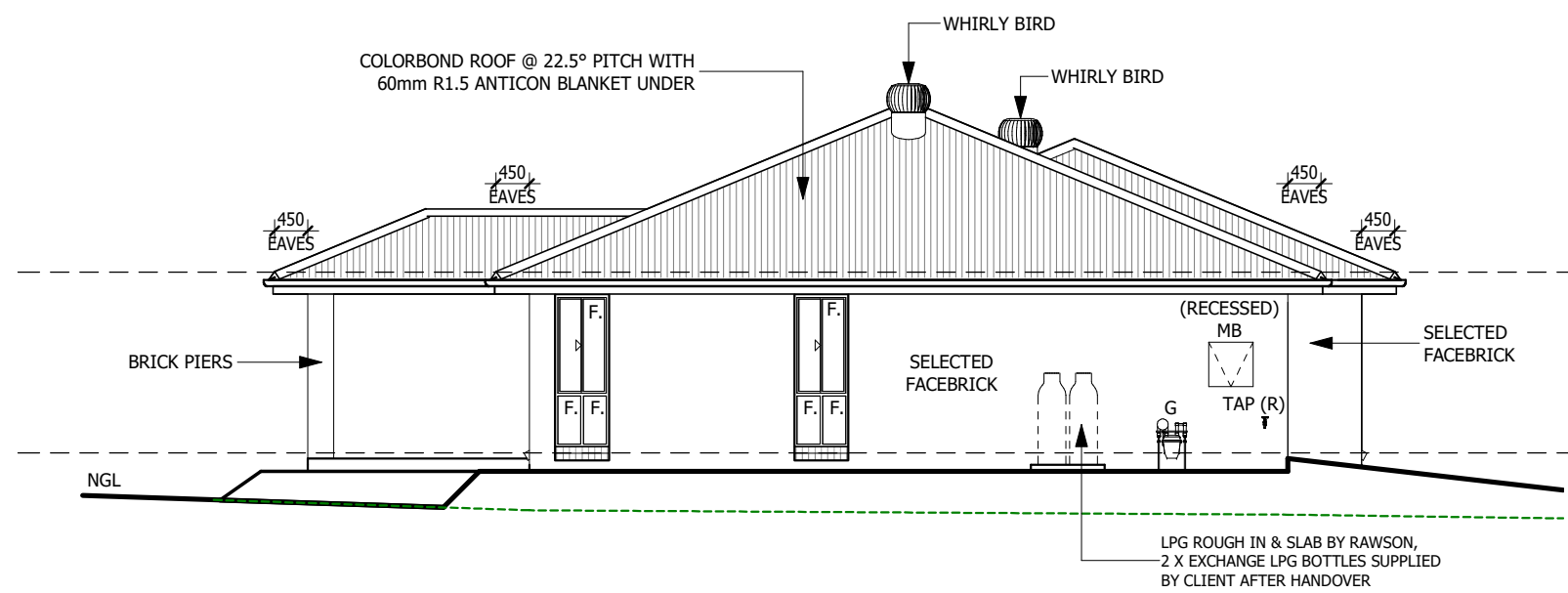
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NYLON MESH FLYSCREENS TO ALL OPENING WINDOWS, SLIDING AND STACKER DOORS (EXCLUDING HINGED DOORS)

CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



ELEVATION 1



ELEVATION 2

CLIENT INITIALS: 1. _____ 2. _____

NOTES:
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ELEVATIONS 1-2

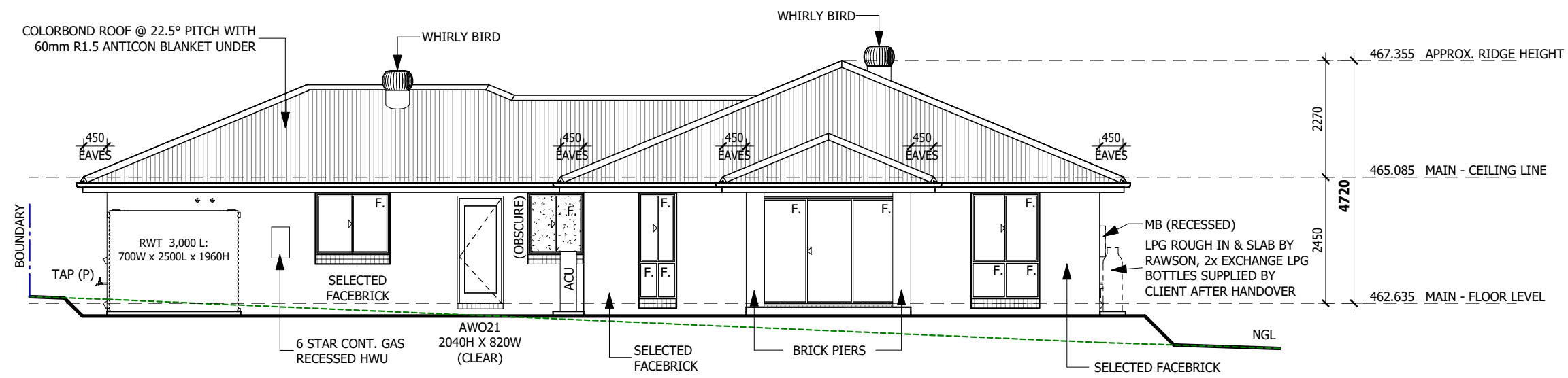
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COUNCIL AREA: MID WESTERN REGIONAL		SCALE: 1 : 100	
JOB No: A000475	DRWG No: 05	ISSUE: B	

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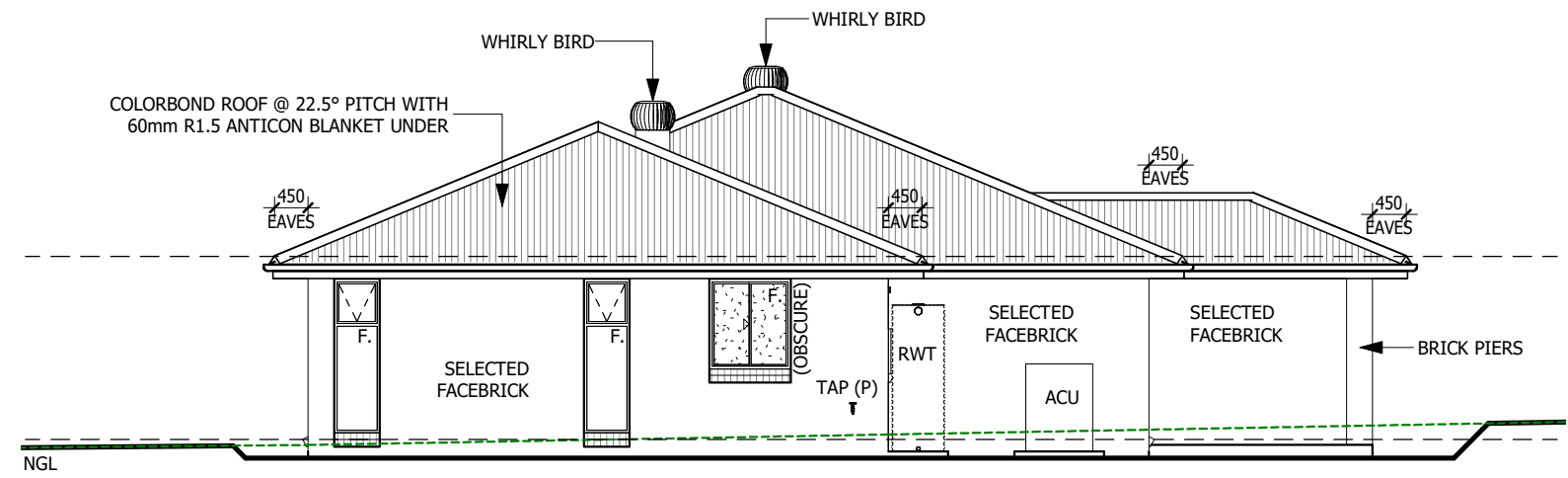
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CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



ELEVATION 3



ELEVATION 4

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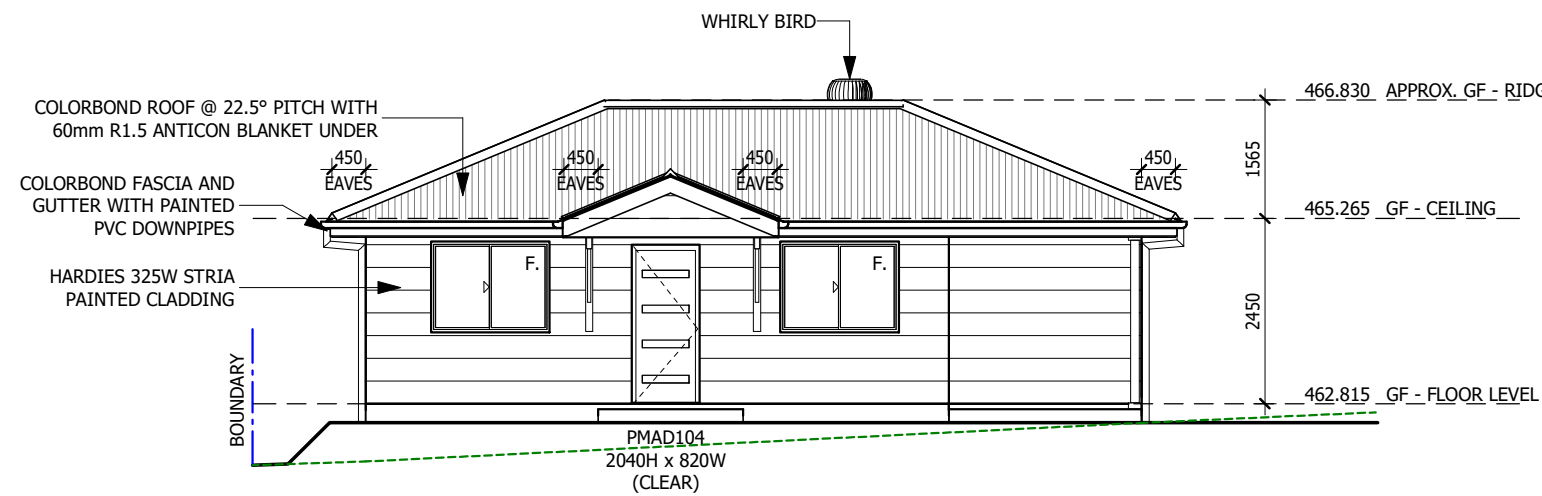
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FACADE: **TRADITIONAL**
TYPE: **DOUBLE GARAGE**
SPECIFICATION: **CORE SPECIFICATION V2**
DRAWING TITLE:
ELEVATIONS 3-4

DRAWN BY: DH	DATE DRAWN: 06.03.24	CHECKED BY: GD	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: MID WESTERN REGIONAL		SCALE: 1 : 100	
JOB No: A000475	DRWG No: 06	ISSUE: B	

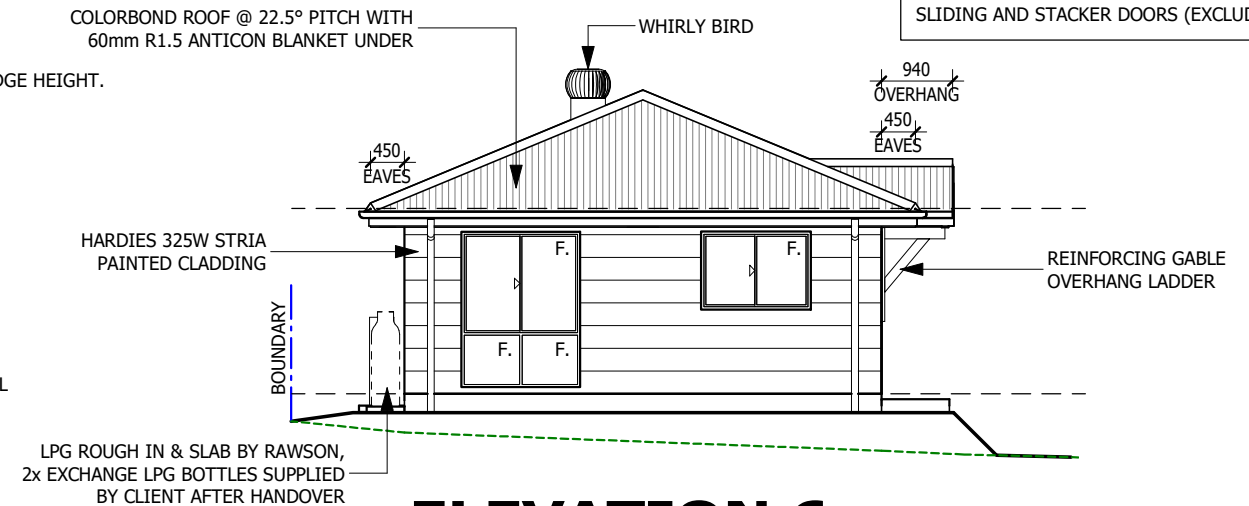
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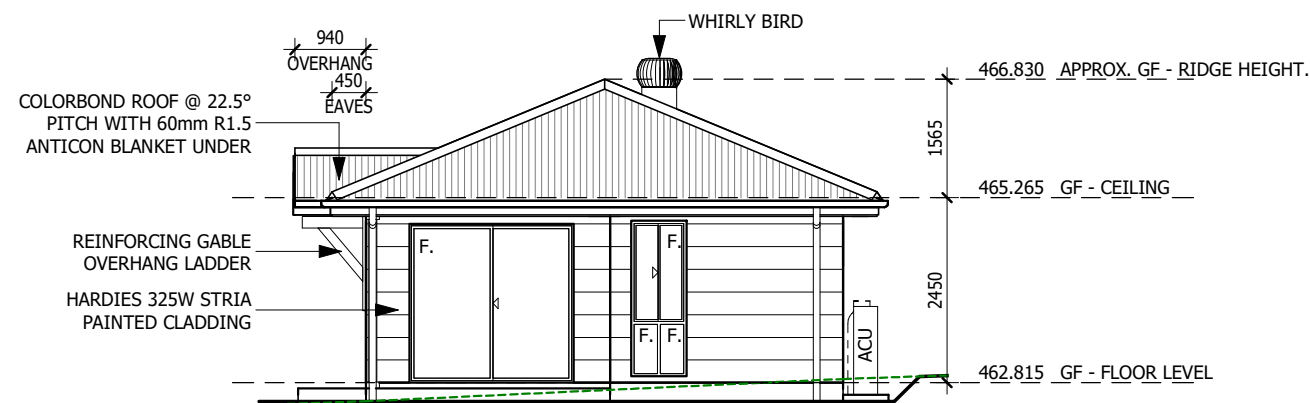
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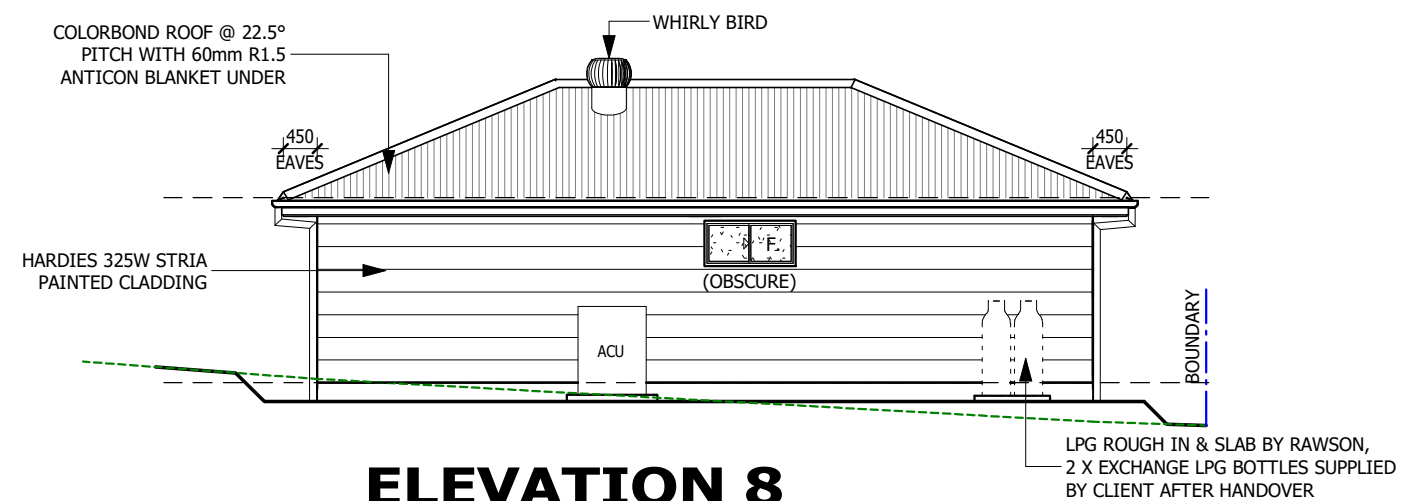
ELEVATION 5



ELEVATION 6



ELEVATION 7



ELEVATION 8

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DRAWING TITLE:
GRANNY FLAT - ELEVATIONS & SECTION

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DH	06.03.24	GD	

COUNCIL AREA:	SCALE:
MID WESTERN REGIONAL	1 : 100

JOB No:	DRWG No:	ISSUE:
A000475	11	B