

PROPOSED NEW TIMBER FRAMED DWELLING  
WITH ATTACHED GRANNY FLAT

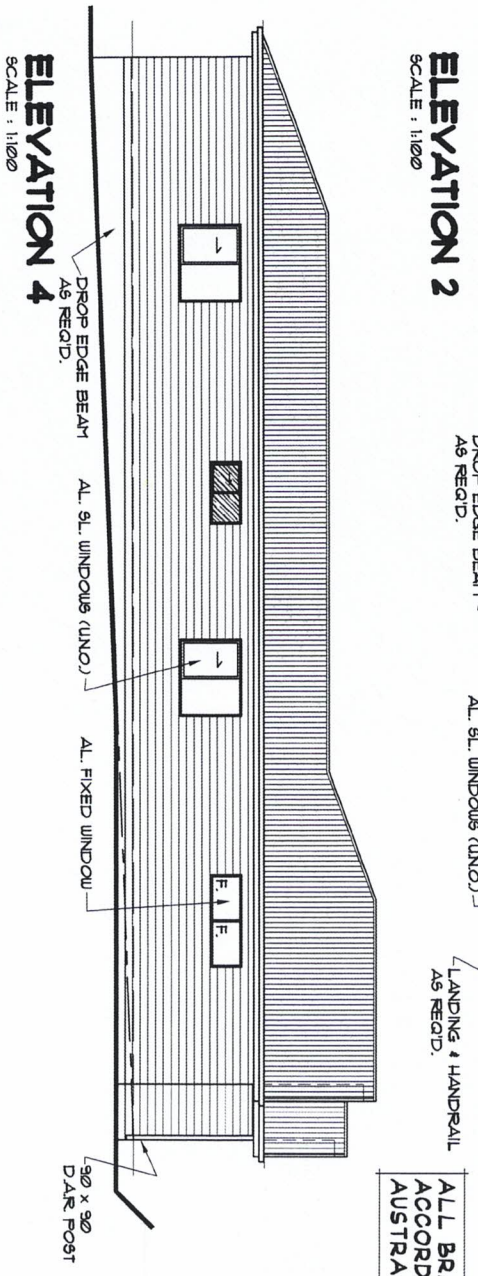
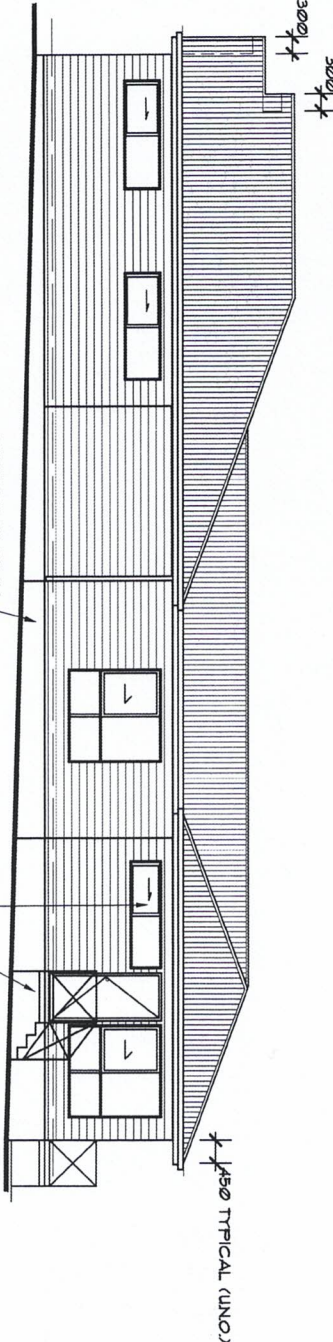
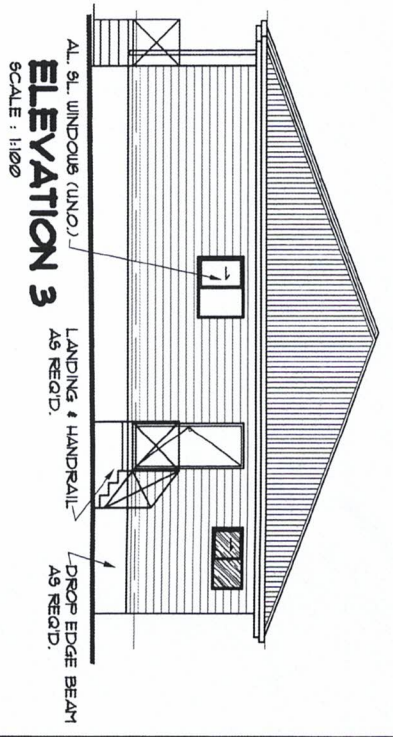
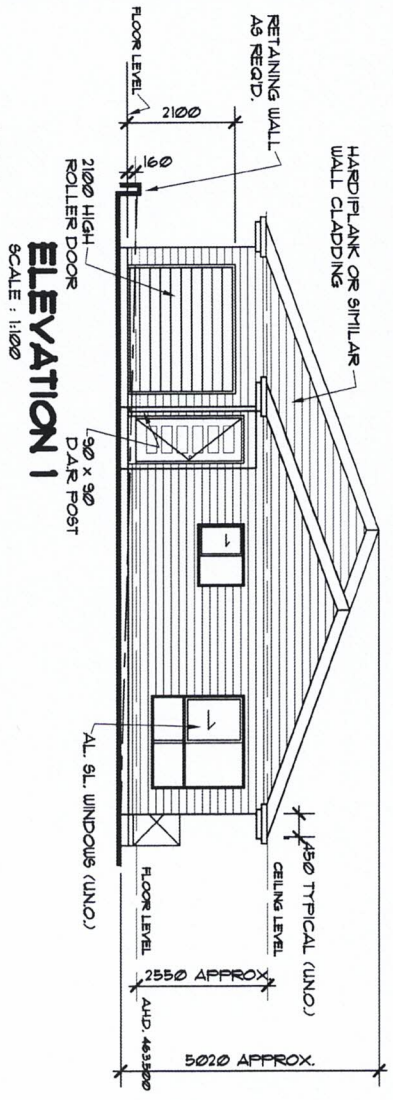
FOR: GREG TOOLE  
CONSTRUCTIONS

AT: LOT 3 (NO.66)  
COX STREET  
MUDGEEE

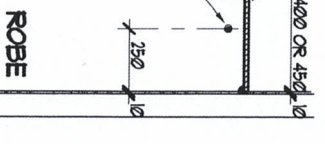
**GENERAL NOTES:**

- DO NOT SCALE WORK TO DIMENSIONS SHOWN.
- OBTAIN WATER BOARD CLEARANCES AND APPROVAL FROM THE POWER SUPPLY AUTHORITY
- ALL WORKS TO BE IN ACCORDANCE WITH THE "BUILDING CODE OF AUSTRALIA"
- ALL LOCAL COUNCIL CONDITIONS
- ALL DIMENSIONS TO BE CHECKED BY BUILDER ON SITE PRIOR TO ANY CONSTRUCTION WORKS
- ALL WORKS NOT SHOWN ON THIS PLAN WHICH IS OBVIOUS TO COMPLETE SOUND AND PROFESSIONAL CONSTRUCTION, IS THEREFORE DEEMED AS NECESSARY

 <b>DRAFTING &amp; DESIGN</b> AUSTRALIA	<b>JOB No.</b>
	10242023
<b>SHEET</b>	
10 OF 5	



ALL BRACING TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 1094.2



**GENERAL NOTES:**

- DO NOT SCALE WORK TO DIMENSIONS SHOWN.
- ALL ELECTRICAL AND PLUMBING WORKS TO BE CONNECTED TO EXISTING AND CARRIED OUT BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE RELEVANT AUTHORITIES AS REQUIRED.
- OBTAIN WATER BOARD CLEARANCES AND APPROVAL FROM THE POWER SUPPLY AUTHORITY AND LOCAL COUNCIL CONDITIONS.
- ALL DIMENSIONS TO BE CHECKED BY BUILDER ON SITE PRIOR TO ANY CONSTRUCTION WORKS AND PROVISIONAL DIMENSIONS TO BE INDICATED AS NECESSARY.

**DRAFTING & DESIGN**

**AUSTRALIA**



PROPOSED NEW TYPED FRAMED DWELLING + ATTACHED GRANNY FLAT  
 FOR: GREG TOOLE CONSTRUCTIONS  
 AT: LOT 3 (NO66)  
 COX STREET  
 MUDGEE

ISSUE	DATE	REVISIONS
B	9-12-23	CLIENT CHECK CHANGES
C	25-2-24	CLIENT CHECK CHANGES

ISSUE	DATE	REVISIONS
DP	10/09/24	DP
VOL.		DDA
FOL.		DDA

DATE	SCALE
21-9-2023	AS SHEET
10/24/2023	1:100 / 1:20

JOB NO.	SHEET
1024/2023	3C OF 5

**FIXTURES & SYSTEMS**

**LIGHTING**

- LIGHTING TO ALL ROOMS TO BE EITHER FLUORESCENT, COMPACT FLUORESCENT OR LIGHT EMITTING DIODE (LED) LAMPS.

**VENTILATION**

- BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF LIGHT ACTIVATED ON/OFF SWITCH
- KITCHEN: INDIVIDUAL FAN NOT DUCTED TO FACADE OR ROOF LIGHT ACTIVATED ON/OFF SWITCH
- LAUNDRY: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF LIGHT ACTIVATED ON/OFF SWITCH

**HEATING & COOLING**

- PROVIDE A 6 STAR (OR HIGHER) SINGLE PHASE REVERSE CYCLE AIR CONDITIONER TO AT LEAST 1 LIVING AREA NOT INCLUDING BEDROOMS. PROVIDE CEILING FANS WHERE SHOWN ON FLOOR PLAN.

**HOT WATER**

- PROVIDE A GAS INSTANTANEOUS HOT WATER SYSTEM

**FIXTURES**

- ALL SQUERRELES ARE TO HAVE A MINIMUM 4 STAR (GREATER THAN 4.5 BUT LESS THAN 6.0) MINU WATER RATING.
- ALL TOILETS IN KITCHEN TO HAVE A MINIMUM 5 STAR WATER RATING.
- ALL TOILETS IN BATHROOMS TO HAVE A MINIMUM 5 STAR WATER RATING.
- ALL TOILETS IN BATHROOMS TO HAVE A MINIMUM 5 STAR WATER RATING.

**ALTERNATIVE WATER**

- A RAINWATER TANK OF AT LEAST 3000 LITRES (MINIMUM) TO BE INSTALLED ON SITE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. TANKS MUST BE CONFIGURED TO COLLECT RAIN RUN OFF FROM AT LEAST 10% OF THE ROOF AREA TO THE PRIMARY DWELLING. THE TANK MUST BE CONNECTED TO ALL TOILETS & AT LEAST ONE OUTDOOR TAP.
- A RAINWATER TANK OF AT LEAST 3000 LITRES (MINIMUM) TO BE INSTALLED ON SITE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE TANK MUST BE CONFIGURED TO COLLECT RAIN RUN OFF FROM AT LEAST 10% OF THE ROOF AREA TO THE GRANNY FLAT. THE TANK MUST BE CONNECTED TO ALL TOILETS & AT LEAST ONE OUTDOOR TAP.

**OTHER**

- APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN KITCHEN.
- APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE SO THAT IT IS WELL VENTILATED.

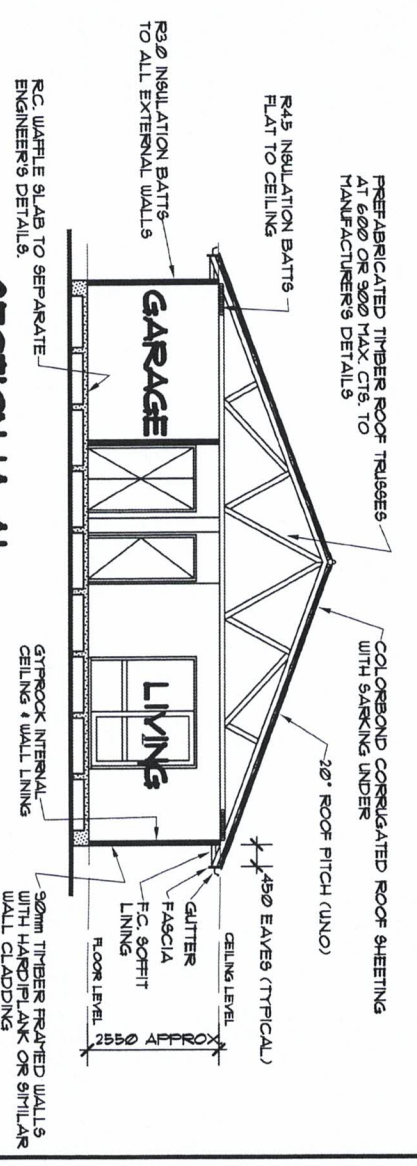
**CONSTRUCTION**

- INSULATION REQUIREMENTS
- PROVIDE THERMALLY RATED WINDOW FRAME OR SHILLAR CLAD EXTERNAL WALLS WITH A MINIMUM OF R2.0 INSULATION TO CEILING & PARALLEL TO UNDERSIDE OF ROOF SHEETING.
- PROVIDE THERMALLY RATED ROOF WITH A MINIMUM OF R2.0 INSULATION TO CEILING & PARALLEL TO UNDERSIDE OF ROOF SHEETING.
- PROVIDE THERMALLY RATED FLOORS WITH A MINIMUM OF R1.5 INSULATION TO INTERNAL DWELLING WITH A MINIMUM OF R1.5 INSULATION.
- PROVIDE REINFORCED CONCRETE FLOOR SLABS.

**GLAZING REQUIREMENTS**

**WINDOWS & GLAZED DOORS**

UICNO	ORIENTATION	WINDOW SIZE	FRAME & GLASS TYPE	SHADING DEVICE	OVERSHADOWING	WINDOW TYPE (REFER PLANS)
U1	E	3000 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 350mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U2	E	1800 H x 1800 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 350mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U3	N	100 H x 2100 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U4	N	100 H x 2100 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U5	W	2100 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 350mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U6	N	1800 H x 1800 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U7	E	600 H x 2100 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U8	N	600 H x 2100 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U9	N	1800 H x 1800 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U10	W	3000 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW (OBSCURED)
U11	W	600 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW (OBSCURED)
U12	W	1200 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U13	S	600 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW (OBSCURED)
U14	S	1200 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM SLIDING WINDOW
U15	S	600 H x 1200 W	ALUMINIUM SINGLE GLAZED (OR U-V-GLASS 650 SGGC-014)	EAVE 475mm OVER ABOVE HEAD OF WINDOW OR GLAZED DOOR	NOT OVERSHADOWED	ALUMINIUM FIXED WINDOW

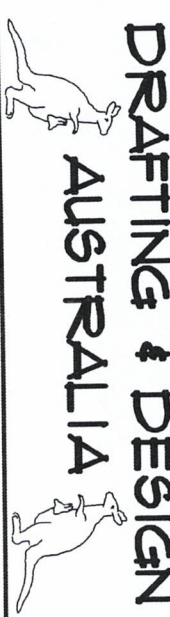


**SECTION 'A-A'**  
SCALE : 1:100

AREAS	
PRIMARY DWELLING TOTAL AREA	= 130.11 m <sup>2</sup>
PRIMARY DWELLING LIVING AREA	= 100.11 m <sup>2</sup>
PRIMARY DWELLING GARAGE AREA	= 13.56 m <sup>2</sup>
PRIMARY DWELLING ALFRESCO AREA	= 11.09 m <sup>2</sup>
PRIMARY DWELLING PORCH AREA	= 13.0 m <sup>2</sup>
AREA 'A' P.O.S.	= 94.75 m <sup>2</sup>
AREA 'B' P.O.S.	= 41.25 m <sup>2</sup>
AREA 'C' P.O.S.	= 33.09 m <sup>2</sup>
GRANNY FLAT TOTAL EXTERNAL AREA	= 67.92 m <sup>2</sup>
GRANNY FLAT TOTAL INTERNAL (LIVING) AREA	= 59.96 m <sup>2</sup>
TOTAL FOOTPRINT (PRIME + GRANNY)	= 220.181 m <sup>2</sup>
SITE	= 492.41 m <sup>2</sup>

**GENERAL NOTES:**

- DO NOT SCALE WORK TO DIMENSIONS SHOWN.
- ALL ELECTRICAL AND PLUMBING WORKS TO BE CONNECTED TO EXISTING AND CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
- OBTAIN WATER BOUND CLEARANCES AND APPROVAL FROM THE POWER SUPPLY AUTHORITY.
- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
- ALL LOCAL COUNCIL CONDITIONS BY BILL BEING ON SITE REFER TO ANY CONSTRUCTION WORKS.
- ALL WORKS NOT SHOWN ON THIS PLAN WHICH IS DEEMED TO COMPLETE THE WORK AND PROFESSIONAL CONTRIBUTION IS THEREFORE DEEMED AS NECESSARY.



**DRAFTING & DESIGN**  
**AUSTRALIA**

FOR: GREG TOOLE CONSTRUCTIONS  
AT: LOT 3 (NO.66)  
COX STREET  
MUDGEEO

ISSUE	DATE	REVISIONS	DRAWN	CHECKED BY:
B	9-12-23	CLIENT CHECK CHANGES	DDA	
C	25-2-24	CLIENT CHECK CHANGES	DDA	

DATE	JOB NO.	SHEET
21-9-2023	10242023	4C OF 5

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**A** PRIVATE OPEN SPACE  
(15.24m x 12.2m (180.05 m<sup>2</sup>))

PROVIDE A SEDIMENT FENCE  
WHERE REQUIRED

CLOTHES LINE  
WHERE REQ'D.

LAUN AREA  
DP. 1099214  
(SITE AREA = 492.41 m<sup>2</sup>)

3000 LITRE (MIN)  
RAINWATER TANK  
APPROX. POS'N

**GRANNY FLAT**  
THE RAINWATER TANK IS TO  
COLLECT RAIN FROM THE  
102.5 M<sup>2</sup> OF ROOF AREA AS PER  
BASIN. (AS PER HATCHED AREA)

**- ATTACHED GRANNY FLAT -**  
(F.F.L. = 4635 AHD)

**B** PRIVATE OPEN SPACE  
(8.25m x 5.000m (41.25 m<sup>2</sup>))

3000 LITRE (MIN)  
RAINWATER TANK  
APPROX. POS'N

**PRIMARY DWELLING**  
THE RAINWATER TANK IS TO  
COLLECT RAIN FROM THE  
102.5 M<sup>2</sup> OF ROOF AREA AS PER  
BASIN. (AS PER HATCHED AREA)

**C** PRIVATE OPEN SPACE  
(3.24m x 10.21m (33.08 m<sup>2</sup>))

**- PRIMARY DWELLING -**  
(F.F.L. = 4635 AHD)

PROVIDE ALL WEATHER  
ACCESS TO PREVENT  
TRACKING OF SEDIMENT

**COX STREET**

**SITE PLAN**

SCALE : 1:200

AREAS	
PRIMARY DWELLING TOTAL AREA	= 138.71 m <sup>2</sup>
PRIMARY DWELLING LIVING AREA	= 100.77 m <sup>2</sup>
PRIMARY DWELLING GARAGE AREA	= 19.56 m <sup>2</sup>
PRIMARY DWELLING ALFRESCO AREA	= 17.08 m <sup>2</sup>
PRIMARY DWELLING PORCH AREA	= 13.0 m <sup>2</sup>
AREA 'A' POS.	= 180.03 m <sup>2</sup>
AREA 'B' POS.	= 41.25 m <sup>2</sup>
AREA 'C' POS.	= 33.08 m <sup>2</sup>
GRANNY FLAT TOTAL INTERNAL AREA	= 61.92 m <sup>2</sup>
GRANNY FLAT TOTAL INTERNAL (LIVING) AREA	= 59.96 m <sup>2</sup>
TOTAL FOOTPRINT (PRIME + GRANNY)	= 201.81 m <sup>2</sup>
SITE	= 492.41 m <sup>2</sup>



**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING VEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF NEW WORK.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. CONSIDERING THE SLOPE OF THE SITE, ALL DRAINAGE WORKS SHALL BE INSTALLED AS EARLY AS POSSIBLE.
4. ALL SEDIMENT BANS AND TRENCHES SHALL BE CLEARED WHEN THE SITES ARE TO BE REVEALED.
5. ALL SEDIMENT BANS AND TRENCHES SHALL BE REVEALED AS SOON AS THE BANS AND TRENCHES ARE COMPLETE.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM THE PERIMETER OF THE SITE.
7. FILTER SHALL BE CONSTRUCTED BY STRUTTING A FILTER MESH TO A FRAMEWORK OR APPROVED EQUIVALENT BETWEEN POSTS AT 2000mm SPACING. MESH SHALL BE COVERED WITH A 100mm SAND AND 100mm GRAVEL.

STORMWATER TO BE  
CONNECTED TO EXISTING

SEWAGE TO BE  
CONNECTED TO EXISTING

GAS APPLIANCES  
(ELECTRIC WALL OVEN)

**GENERAL NOTES:**

- ALL ELECTRICAL AND PLUMBING WORKS TO BE CONNECTED TO EXISTING AND CARRIED OUT BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE RELEVANT AUTHORITIES AS REQUIRED BY THE LOCAL COUNCIL.
- ALL WORKS TO BE ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (B.C.A.) AND LOCAL COUNCIL ORDINANCES BY STATES OR TERRITORIES TO ANY CONSTRUCTION WORKS.
- ALL WORKS NOT SHOWN ON THIS PLAN SHALL BE OBTAINED TO COMPLETE SOUND AND PROFESSIONAL CONSTRUCTION THEREFORE OBTAIN AS NECESSARY.

**DRAFTING & DESIGN**  
**AUSTRALIA**

PROPOSED NEW THREE BROOM DWELLING + ATTACHED GRANNY FLAT  
FOR: GREG TOOLE CONSTRUCTIONS  
AT: LOT 3 (NO66)  
COX STREET  
MUDGEE

1999E	DATE	REVISIONS	BY:	CHECKED BY:
B	9-9-23	CLIENT CHECK CHANGES	DDA	
C	25-2-24	CLIENT CHECK CHANGES	DDA	

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THE ONE LICENSEE PER SHEET ANY REVISIONS SHALL BE SHOWN IN THE REVISIONS PARTS TABLE TO BE TAKEN ACTION BY THE BUSINESS.	FOL.	1024/2023	1:200 / NONE
		5C OF 5	