

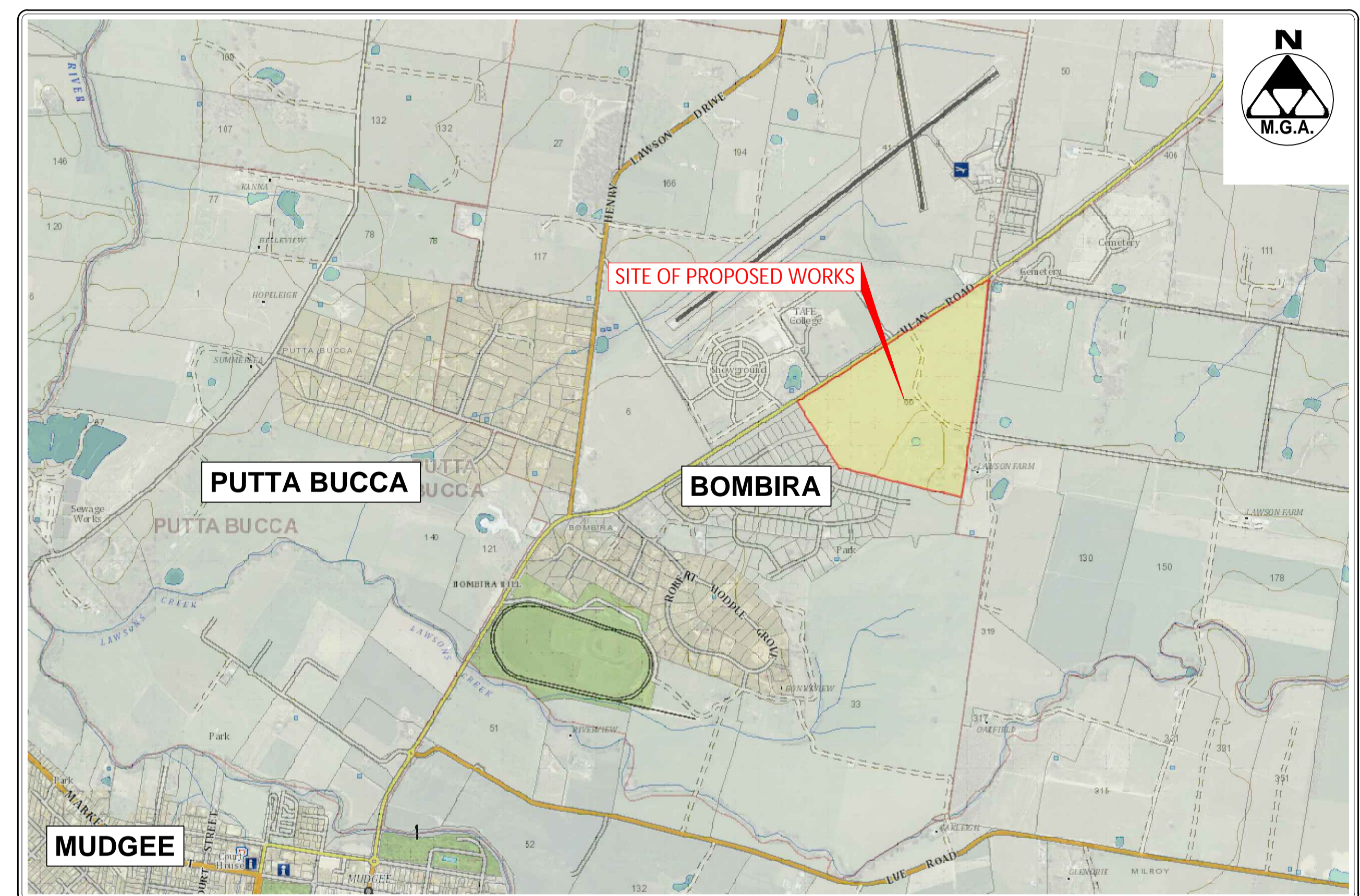
Civil Design Documentation

Proposed Subdivision

Lot 15 in DP 1194019
66 Edgell Lane, Bombira NSW 2850

SCHEDULE OF DRAWINGS

SHEET No.	DESCRIPTION
39130-C00	COVER SHEET AND DRAWING SCHEDULE
39130-C01	EXISTING SITE PLAN
39130-C02	PROPOSED PLAN OF SUBDIVISION
39130-C03	PROPOSED LOT PLAN
39130-C04	PROPOSED ROAD PLAN
39130-C05	PROPOSED ROAD SPECIFICATIONS
39130-C06	PROPOSED INTERSECTION PLAN
39130-C07	PROPOSED SEWER PLAN
39130-C08	PROPOSED SEWER SPECIFICATIONS
39130-C09	PROPOSED STORMWATER PLAN
39130-C10	PROPOSED WATER SPECIFICATIONS
39130-C11	PROPOSED SITE STORMWATER ANALYSIS
39130-C12	PROPOSED ON-SITE DETENTION BASIN PLAN
39130-C13	PROPOSED WATER PLAN
39130-C14	PROPOSED WATER SPECIFICATIONS

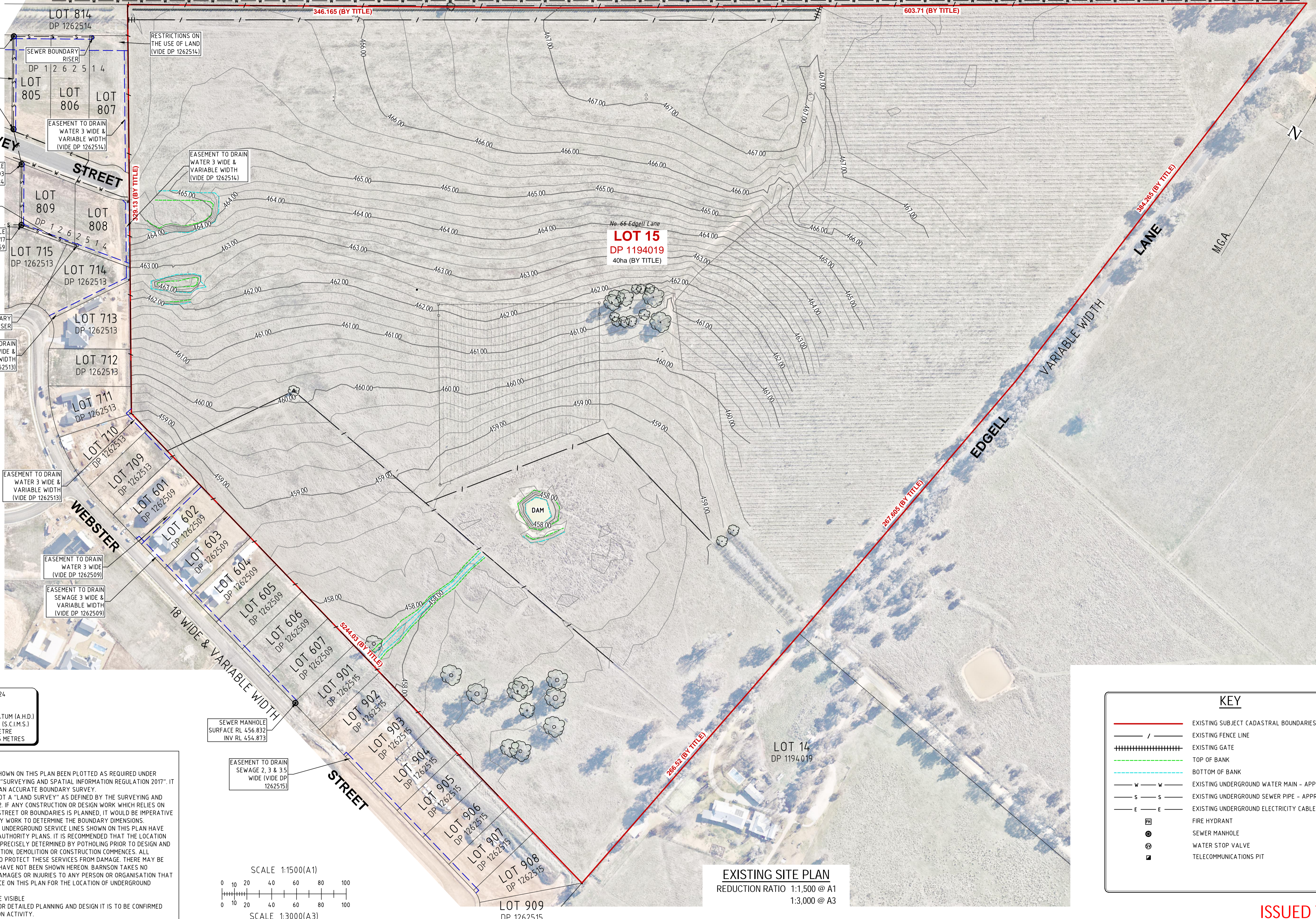


LOCALITY PLAN
REDUCTION RATIO 1:12500 @ A1

ISSUED TO CLIENT



ULAN ROAD



DATE OF SURVEY : 1st FEBRUARY 2024
 SURVEY BY : R. Boylan

DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)
 ORIGIN : PM 85725 RL 465.907m (S.C.I.M.S.)
 MAJOR CONTOUR INTERVAL : 1 METRE
 MINOR CONTOUR INTERVAL : 0.25 METRES

NOTES:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017". IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF ANY CONSTRUCTION OR DESIGN WORK WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

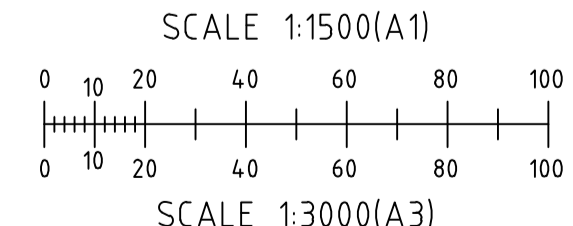
THE LOCATIONS AND DEPTHS OF UNDERGROUND SERVICE LINES SHOWN ON THIS PLAN HAVE BEEN SCALED FROM RELEVANT AUTHORITY PLANS. IT IS RECOMMENDED THAT THE LOCATION OF THESE SERVICES SHOULD BE PRECISELY DETERMINED BY POTHOLING PRIOR TO DESIGN AND CONSTRUCTION OR ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCES. ALL MEASURES SHOULD BE TAKEN TO PROTECT THESE SERVICES FROM DAMAGE. THERE MAY BE UNDERGROUND SERVICES THAT HAVE NOT BEEN SHOWN HEREON. BARNSON TAKES NO RESPONSIBILITY FOR LOSSES, DAMAGES OR INJURIES TO ANY PERSON OR ORGANISATION THAT MAY OCCUR DUE TO THE RELIANCE ON THIS PLAN FOR THE LOCATION OF UNDERGROUND SERVICES.

SERVICES LOCATED ONLY WHERE VISIBLE

THE BENCHMARK PROVIDED IS FOR DETAILED PLANNING AND DESIGN IT IS TO BE CONFIRMED PRIOR TO USE FOR CONSTRUCTION ACTIVITY.

SEWER MANHOLE
 SURFACE RL 456.832
 INV RL 454.873

EASEMENT TO DRAIN
 SEWAGE 2, 3 & 3.5
 WIDE (VIDE DP 1262515)



EXISTING SITE PLAN
 REDUCTION RATIO 1:1,500 @ A1
 1:3,000 @ A3

KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING GATE
	TOP OF BANK
	BOTTOM OF BANK
	EXISTING UNDERGROUND WATER MAIN - APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX.
	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
	FIRE HYDRANT
	SEWER MANHOLE
	WATER STOP VALVE
	TELECOMMUNICATIONS PIT

ISSUED TO CLIENT



BARNSON PTY LTD

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 email generalenquiry@barnson.com.au
 web barnson.com.au

Rev	Date	Description
A	7-02-2024	ISSUED TO CLIENT

Project
CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019

Site Address
 66 EDGELL LANE
 BOMBIRA NSW 2850

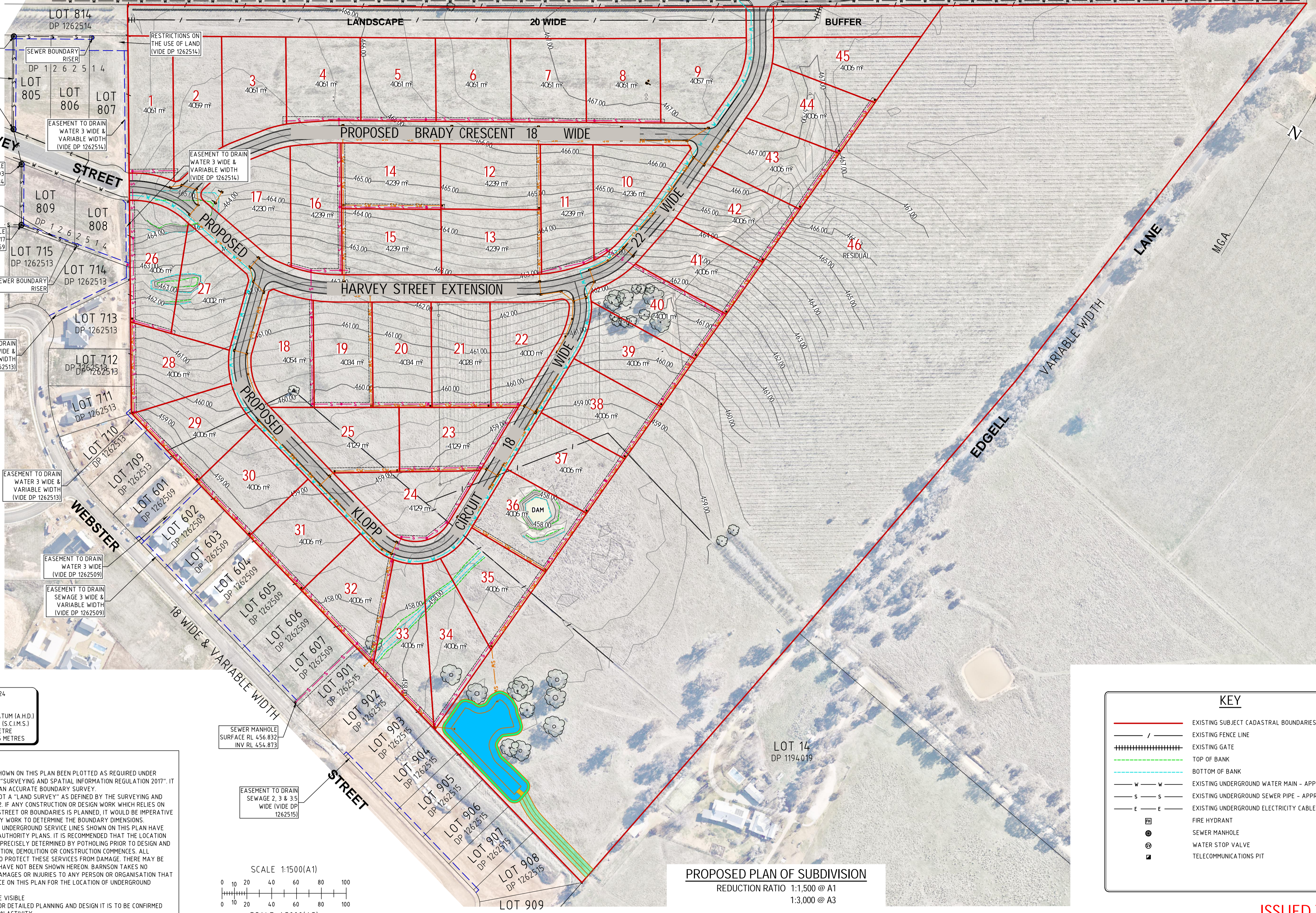
Client
 TINOBAH PTY LTD

Drawing Title	
EXISTING SITE PLAN	
Survey	RB & BT
Drawn	JS
Check	RB

Certification	
Original Sheet Size	A1
Revision	A
Project No	39130
Drawing No	C01



ULAN ROAD

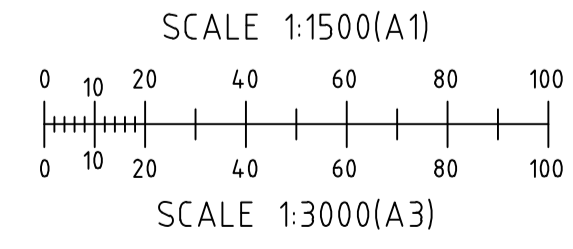


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DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)
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PROPOSED PLAN OF SUBDIVISION
 REDUCTION RATIO 1:1,500 @ A1
 1:3,000 @ A3

KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING GATE
	TOP OF BANK
	BOTTOM OF BANK
	EXISTING UNDERGROUND WATER MAIN - APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX.
	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
	FIRE HYDRANT
	SEWER MANHOLE
	WATER STOP VALVE
	TELECOMMUNICATIONS PIT

ISSUED TO CLIENT



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 web barnson.com.au

Rev	Date	Description
A	7-02-2024	ISSUED TO CLIENT
B	24-05-2024	SITE PLAN UPDATED

Project
CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019

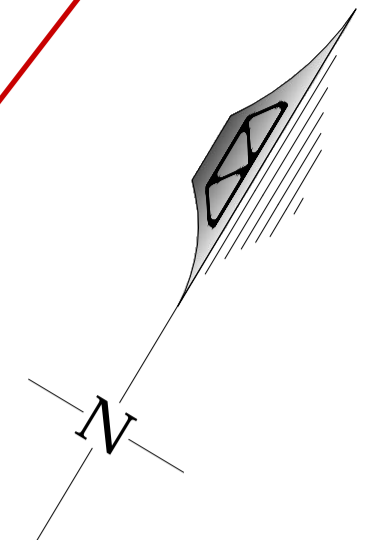
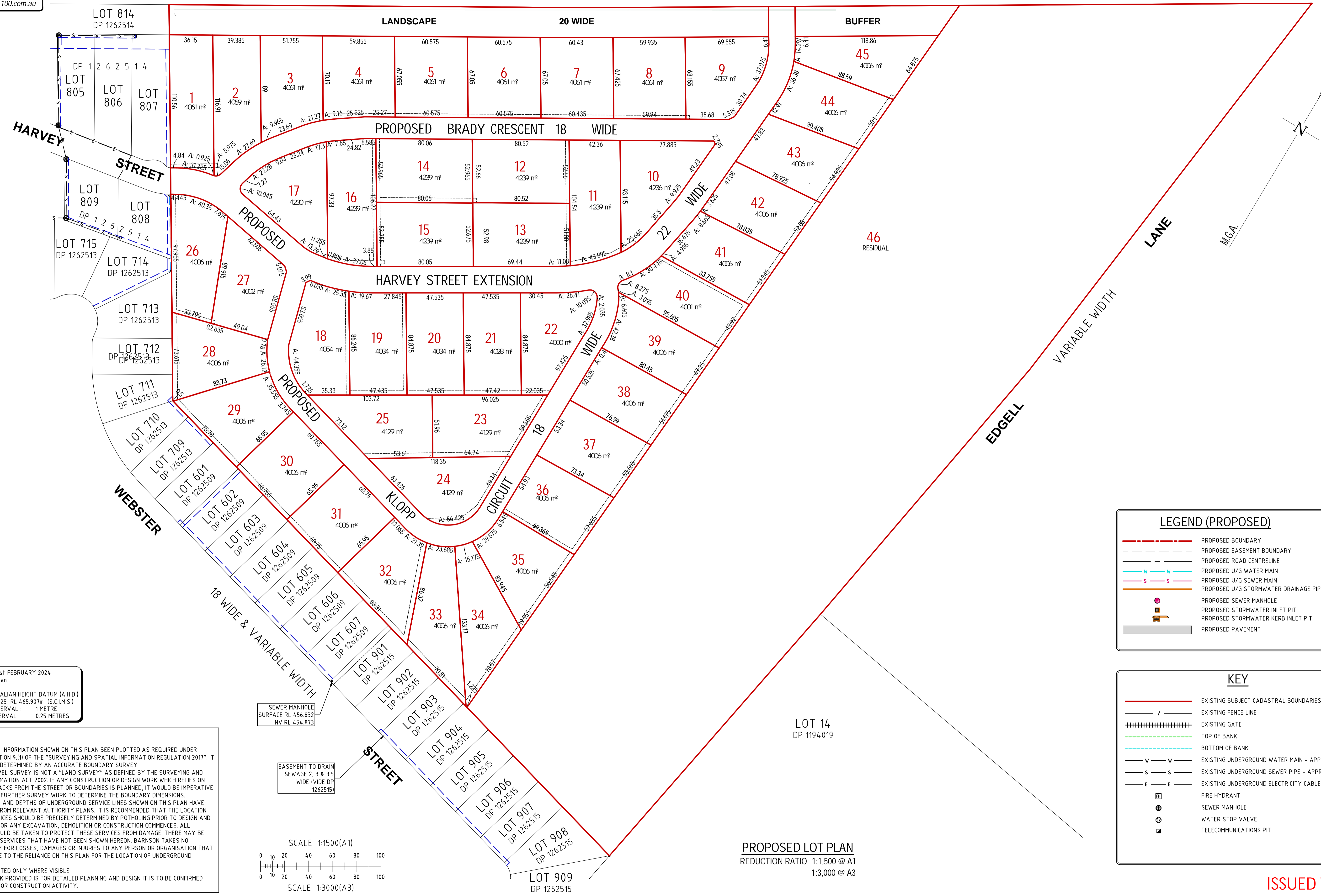
Site Address
 66 EDGELL LANE
 BOMBIRA NSW 2850

Client
 TINOBAH PTY LTD

Drawing Title		Certification	
PROPOSED PLAN OF SUBDIVISION			
Survey	RB & BT	Original Sheet Size	A1
Drawn	JS	Project No	39130
Check	RB	Revision	B
		Drawing No	C02

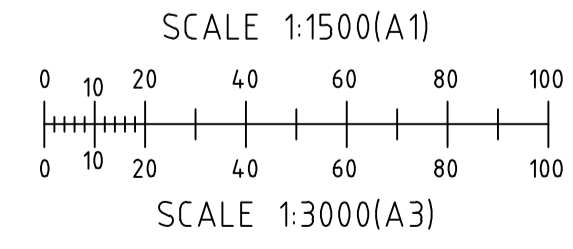


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LEGEND (PROPOSED)

- PROPOSED BOUNDARY
- PROPOSED EASEMENT BOUNDARY
- PROPOSED ROAD CENTRELINE
- PROPOSED U/G WATER MAIN
- PROPOSED U/G SEWER MAIN
- PROPOSED U/G STORMWATER DRAINAGE PIPE
- PROPOSED SEWER MANHOLE
- PROPOSED STORMWATER INLET PIT
- PROPOSED STORMWATER KERB INLET PIT
- PROPOSED PAVEMENT

KEY

- EXISTING SUBJECT CADASTRAL BOUNDARIES
- EXISTING FENCE LINE
- EXISTING GATE
- TOP OF BANK
- BOTTOM OF BANK
- EXISTING UNDERGROUND WATER MAIN - APPROX.
- EXISTING UNDERGROUND SEWER PIPE - APPROX.
- EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
- FIRE HYDRANT
- SEWER MANHOLE
- WATER STOP VALVE
- TELECOMMUNICATIONS PIT

PROPOSED LOT PLAN
REDUCTION RATIO 1:1,500 @ A1
1:3,000 @ A3

ISSUED TO CLIENT



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web barnson.com.au

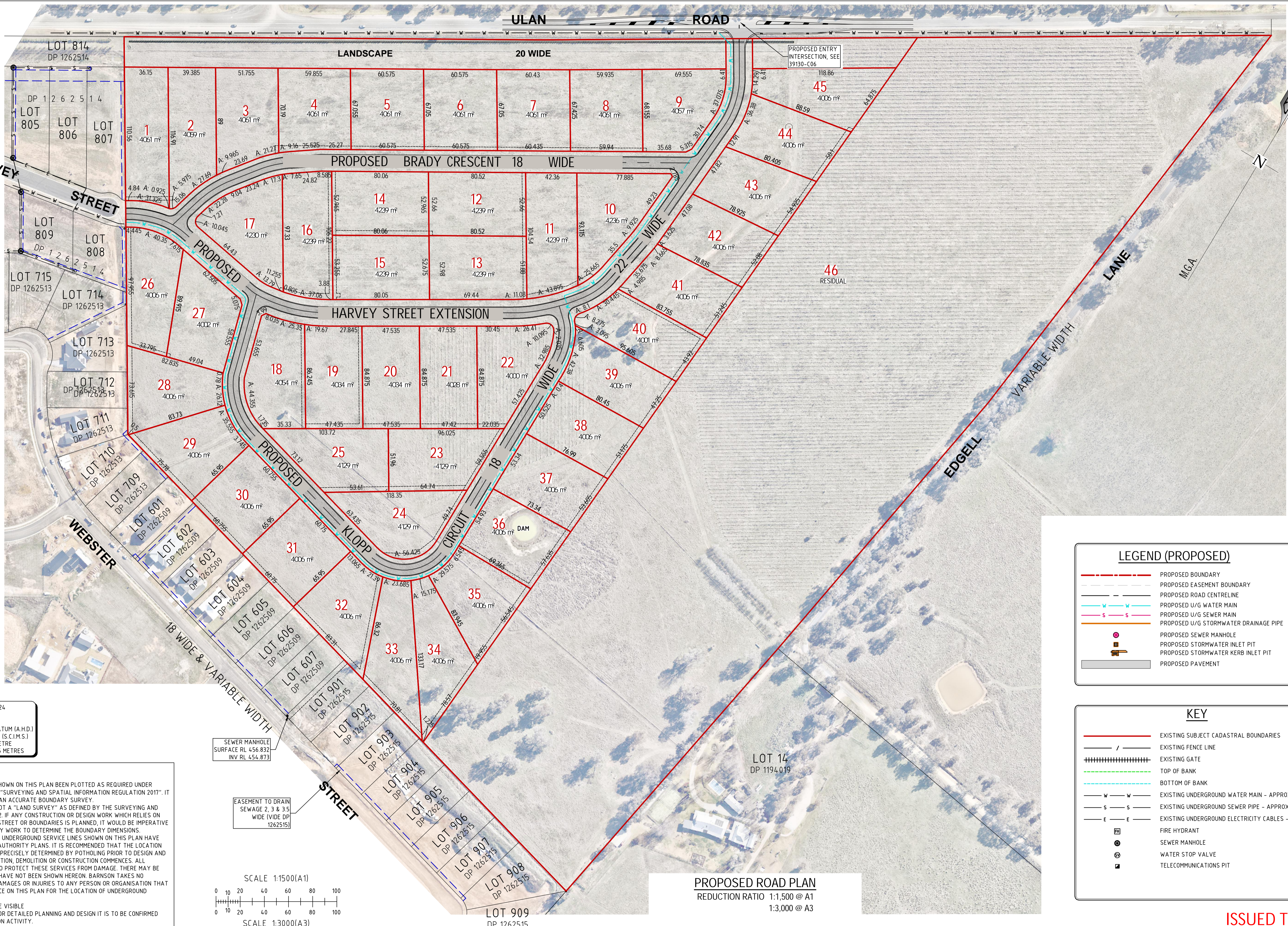
Rev	Date	Description
A	7-02-2024	ISSUED TO CLIENT

Project
CIVIL DESIGN DOCUMENTATION
LOT 15 IN DP 1194019
Site Address
66 EDGELL LANE
BOMBIRA NSW 2850
Client
TINOBAH PTY LTD

Drawing Title
PROPOSED LOT PLAN
Survey RB & BT
Drawn JS
Check RB

Original Sheet Size	Revision	Certification
A1	A	Project No
A		Drawing No

39130
C03

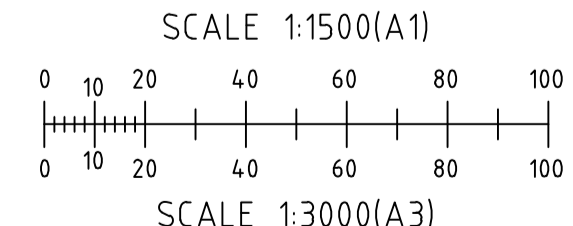


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PROPOSED ROAD PLAN
 REDUCTION RATIO 1:1,500 @ A1
 1:3,000 @ A3

LEGEND (PROPOSED)	
	PROPOSED BOUNDARY
	PROPOSED EASEMENT BOUNDARY
	PROPOSED ROAD CENTRELINE
	PROPOSED U/G WATER MAIN
	PROPOSED U/G SEWER MAIN
	PROPOSED U/G STORMWATER DRAINAGE PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED STORMWATER INLET PIT
	PROPOSED STORMWATER KERB INLET PIT
	PROPOSED PAVEMENT

KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
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	TOP OF BANK
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	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX.
	FIRE HYDRANT
	SEWER MANHOLE
	WATER STOP VALVE
	TELECOMMUNICATIONS PIT

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 web barnson.com.au

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

Rev	Date	Description
A	7-02-2024	ISSUED TO CLIENT

Project
CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019
 Site Address
 66 EDGELL LANE
 BOMBIRA NSW 2850
 Client
 TINOBAH PTY LTD

Drawing Title		Certification	
PROPOSED ROAD PLAN			
Survey	RB & BT	Original Sheet Size	A1
Drawn	JS	Project No	39130
Check	RB	Revision	A
		Drawing No	C04

SITWORKS NOTES

- ORIGIN OF LEVELS :- AHD.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES HAVE BEEN OBTAINED FROM SURFACE INSPECTION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABOUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A QUALIFIED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- ON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
- MAKE SMOOTH TRANSITION TO EXISTING SURFACES.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS. ALL WORK TO BE UNDERTAKEN WITH ADHERENCE TO THE REQUIREMENTS OF THE SOIL AND WATER MANAGEMENT PLAN.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.

SUBGRADE COMPACTION NOTES

- STRIP TOPSOIL TO EXPOSE NATURALLY OCCURRING MATERIAL.
- WHERE FILLING IS REQUIRED TO ACHIEVE DESIGN SUBGRADE PROOF ROLL EXPOSED NATURAL SURFACE WITH A MINIMUM OF TEN PASSES OF A VIBRATING ROLLER (MINIMUM STATIC WEIGHT OF 10 TONNES) IN THE PRESENCE OF THE SUPERINTENDENT.
- ALL SOFT, WET OR UNSUITABLE MATERIAL TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED MATERIAL SATISFYING THE REQUIREMENTS LISTED BELOW.
- ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING :
 - FREE FROM ORGANIC AND PERISHABLE MATTER
 - MAXIMUM PARTICLE SIZE 75mm
 - PLASTICITY INDEX BETWEEN 2% AND 15%.
- ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200mm THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS 1289 E31 OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITIES IN ACCORDANCE WITH AS 1289 E1.1:

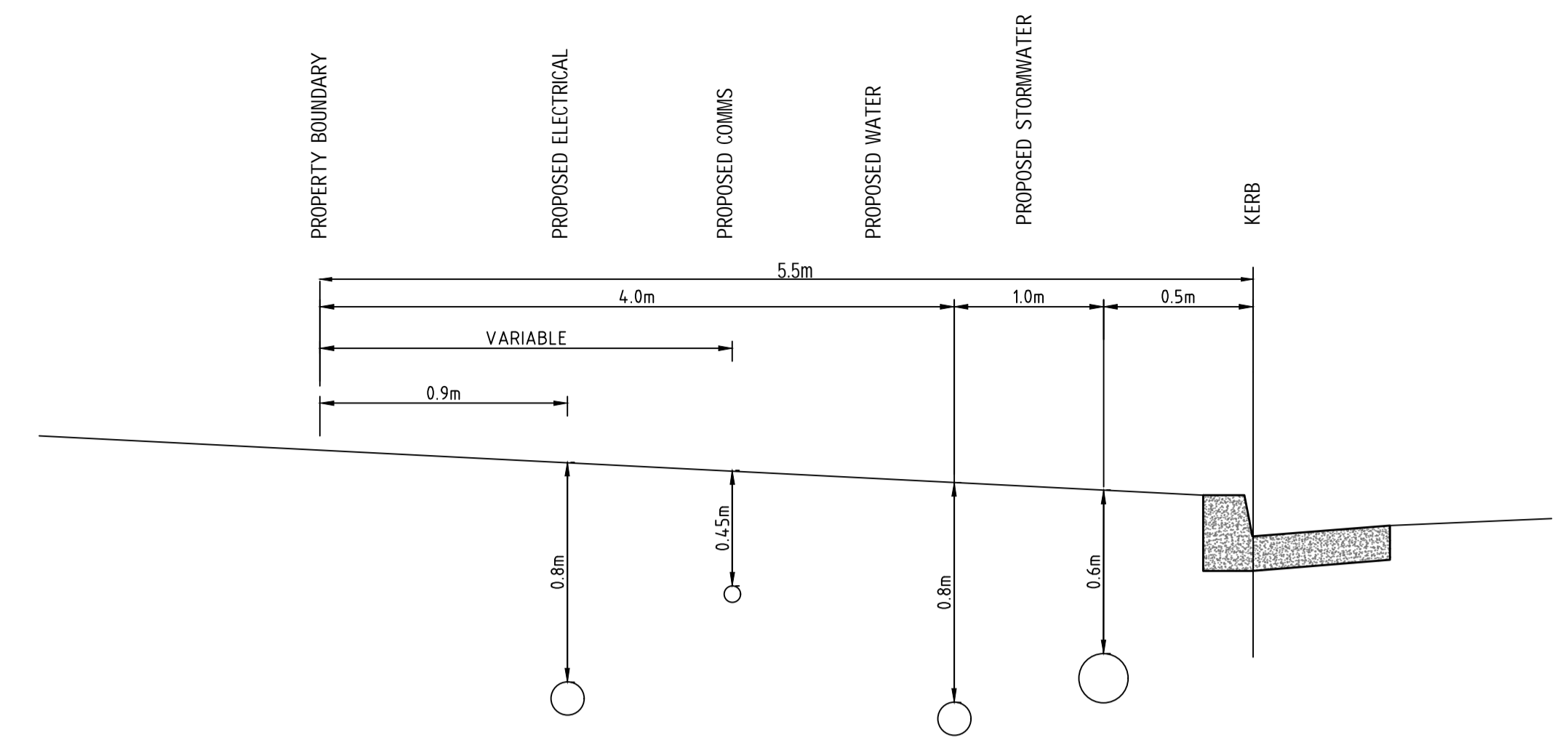
LOCATION	STANDARD DRY DENSITY
ROADS	100% STD MDD
- THE CONTRACTOR SHALL PROGRAMME THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR COST.
- TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.

ROADWORKS NOTES

- ALL BASECOURSE AND SUB-BASECOURSE MATERIALS SHALL CONFORM WITH AUSPEC SPECIFICATION FOR THE CONSTRUCTION OF NATURAL GRAVEL OR CRUSHED ROCK ROAD PAVEMENT AND AUSPEC SPECIFICATION FOR THE SUPPLY AND DELIVERY OF BASE AND SUB-BASE MATERIALS FOR SURFACED ROAD PAVEMENTS.
- ALL BASECOURSE AND SUB-BASE MATERIALS SHALL BE COMPACTED TO ACHIEVE A MINIMUM OF 100% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT OF +OR- 2% IN ACCORDANCE WITH AS1289 E1.1
- ALL WEARING SURFACES SHALL BE 40mm ASPHALTIC CONCRETE (AC) LAID UPON A SPRAYED BITUMINOUS PRIME COAT, DESIGNED IN ACCORDANCE WITH THE RTA PUBLICATION "SPRAYED SEALING GUIDE".

CONCRETE NOTES

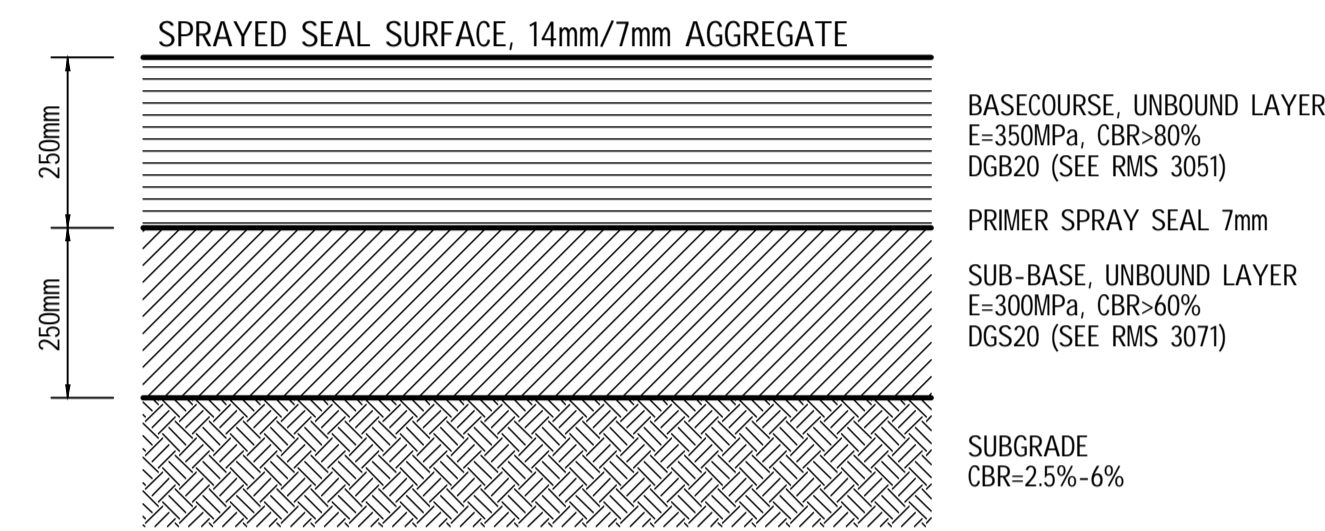
- CONCRETE FOR KERBS, DRIVEWAYS, RAMPS AND FOOTPATH



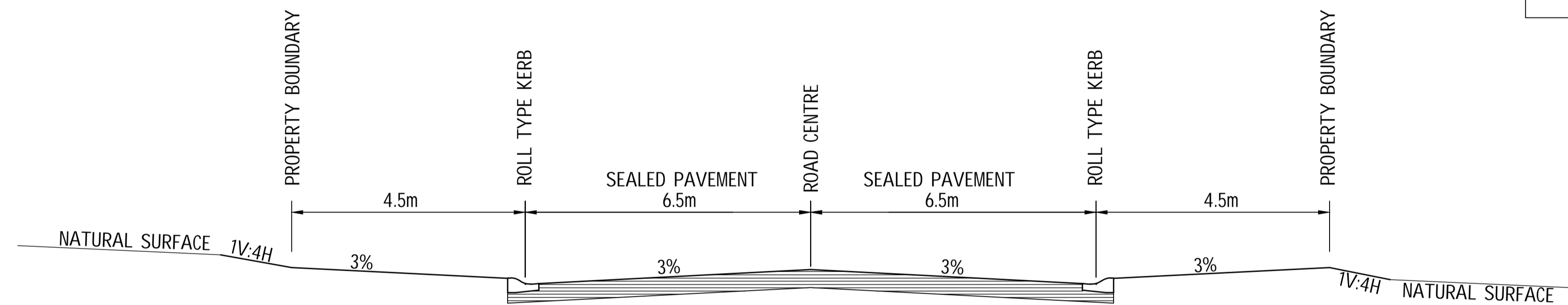
FOOTPATH SERVICES ALLOCATIONS - TYPICAL SECTION
NTS

INSPECTION HOLD POINTS
1. INSTALLATION OF SEDIMENT & EROSION CONTROL MEASURES.
2. WATER & SEWER LINE INSTALLATION PRIOR TO BACKFILL.
3. ESTABLISHMENT OF LINE & LEVEL FOR KERB & GUTTER PLACEMENT.
4. ROAD PAVEMENT CONSTRUCTION.
5. ROAD PAVEMENT SURFACING.
6. PRACTICAL COMPLETION.

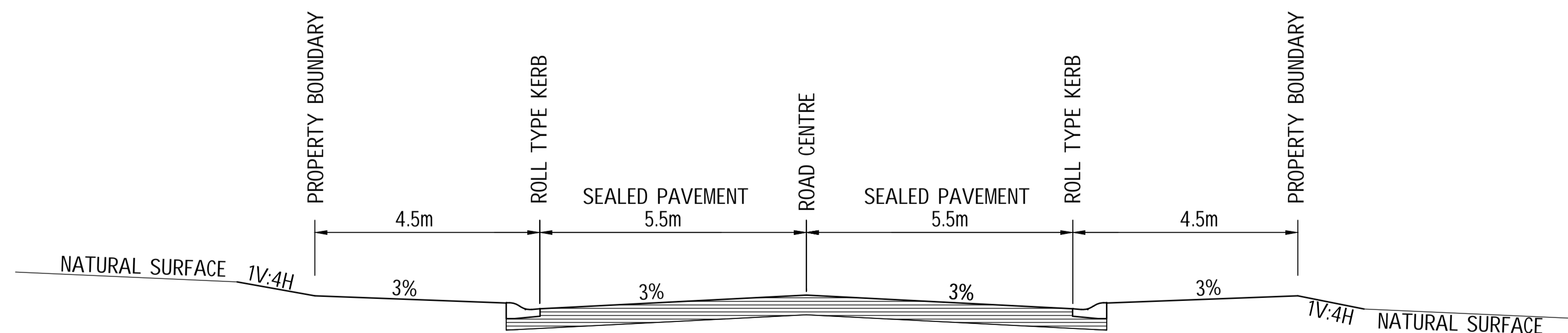
SERVICES INSTALLATION
1. INSTALLATION OF ALL UUGERGROUND PIPES BE INSTALLED PRIOR TO INSTALLATION OF ROAD PAVEMENT.



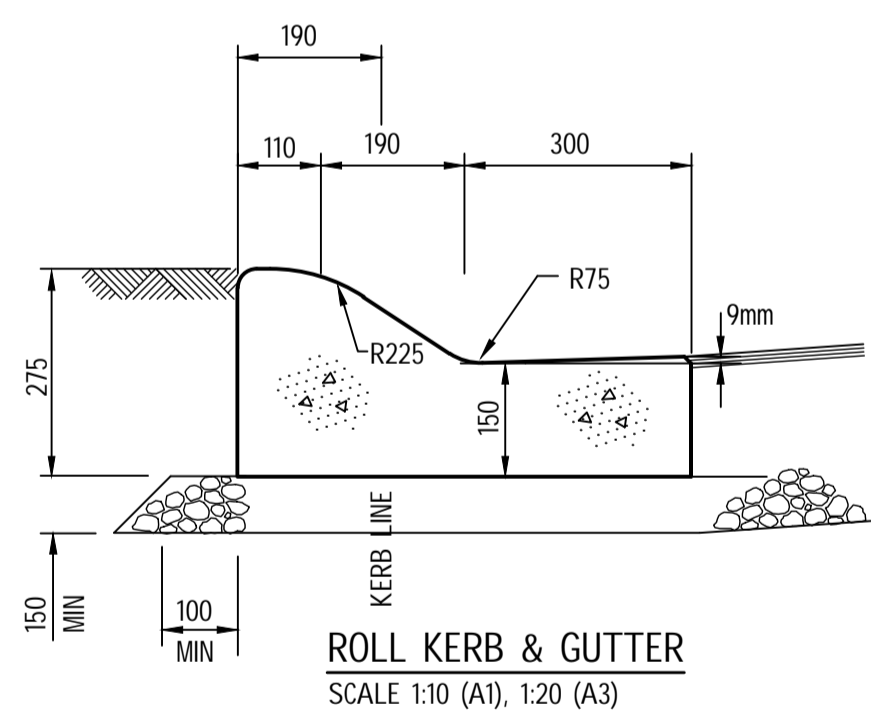
PAVEMENT SECTION - ROADS (TO BE CONFIRMED)
SCALE 1:10 (A1), 1:20 (A3)



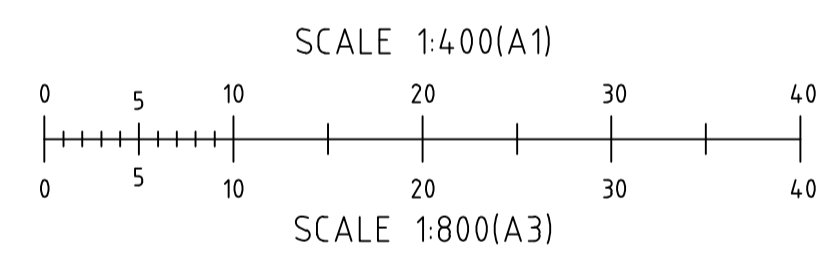
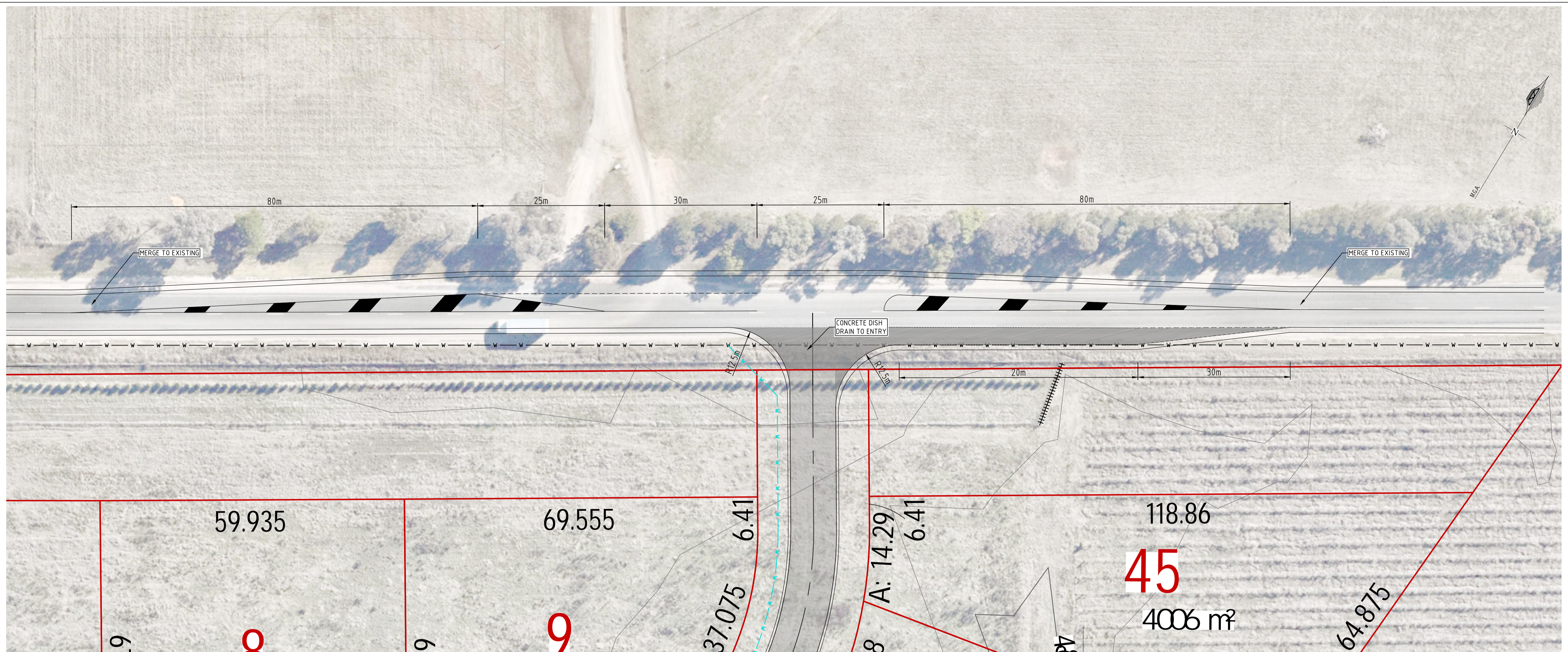
HARVEY STREET (22m) - TYPICAL SECTION
NOT TO SCALE



ALL OTHER ROADS (18m) - TYPICAL SECTION
NOT TO SCALE



ISSUED TO CLIENT



PROPOSED INTERSECTION PLAN
 REDUCTION RATIO 1:400 @ A1
 1:800 @ A3

DATE OF SURVEY : 1st FEBRUARY 2024
 SURVEY BY : R. Boylan
 DATUM : AUSTRALIAN HEIGHT DATUM (A.H.D.)
 ORIGIN : PM 85725 RL 465.907m (S.C.I.M.S.)
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- THE BENCHMARK PROVIDED IS FOR DETAILED PLANNING AND DESIGN IT IS TO BE CONFIRMED PRIOR TO USE FOR CONSTRUCTION ACTIVITY.

LEGEND (PROPOSED)	
	PROPOSED BOUNDARY
	PROPOSED EASEMENT BOUNDARY
	PROPOSED ROAD CENTRELINE
	PROPOSED U/G WATER MAIN
	PROPOSED U/G SEWER MAIN
	PROPOSED U/G STORMWATER DRAINAGE PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED STORMWATER INLET PIT
	PROPOSED STORMWATER KERB INLET PIT
	PROPOSED PAVEMENT

KEY	
	EXISTING SUBJECT CADASTRAL BOUNDARIES
	EXISTING FENCE LINE
	EXISTING GATE
	TOP OF BANK
	BOTTOM OF BANK
	EXISTING UNDERGROUND WATER MAIN - APPROX.
	EXISTING UNDERGROUND SEWER PIPE - APPROX
	EXISTING UNDERGROUND ELECTRICITY CABLES - APPROX
	FIRE HYDRANT
	SEWER MANHOLE
	WATER STOP VALVE
	TELECOMMUNICATIONS PIT

ISSUED TO CLIENT



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Rev	Date	Description
A	7-02-2024	ISSUED TO CLIENT

Project
CIVIL DESIGN DOCUMENTATION
 LOT 15 IN DP 1194019
 Site Address
 66 EDGELL LANE
 BOMBIRA NSW 2850
 Client
 TINOBAH PTY LTD

Drawing Title		Certification	
PROPOSED INTERSECTION PLAN		39130	
Survey	RB & BT	Original Sheet Size	A1
Drawn	JS	Project No	C06
Check	RB	Revision	A
		Drawing No	