



CLIENT

MALCOLM & FELICITY KLEU

ADDRESS

118 HILLSIDE LANE
GULGONG NSW 2852

HOUSE TYPE

MALFREY

JOB No./REFERENCE

24148 JE 4235

DATE

2nd August 2024

Taylor Made Buildings Pty Ltd

2R Gilgandra Road, North Dubbo NSW 2830
Tel - 02 6882 6066 Fax - 02 6882 0155 Freecall - 1800 628 040
Email - admin@taylormadebuildings.com.au

PLAN SCHEDULE

Drawing	Scale
Block Plan	1:2500
Site Plan	1:200
Floor Plan	1:100
Elevations	1:100
Electrical Layout	1:100
Typical Section	1:50



GENERAL NOTE

ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND/OR FABRICATION IS COMMENCED. DRAWINGS SHALL NOT BE SCALED UNLESS SPECIFICALLY NOTED OTHERWISE

WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT CURRENT SAA CODES (INCLUDING ALL AMENDMENTS), AND LOCAL & STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS

ALL FRAMING, TIE-DOWN DETAILS & BRACING TO COMPLY WITH THE FRAME MAKER'S DETAILS & SPECIFICATION & AS 3623 - Domestic Metal Framing Code

HOLD DOWN DETAILS ARE NOT SUITABLE FOR LOOSE SAND OR SOFT TO FIRM CLAY
REFER TO STRUCTURAL ENGINEER IF NECESSARY

SAFETY REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE RELEVANT HEALTH AND SAFETY ACT AS ADMINISTERED BY THE DIVISION OF ACCIDENT PREVENTION

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

ALL PLANS REMAIN THE PROPERTY OF Taylor Made Buildings Pty Ltd

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TITLE BLOCK PLAN

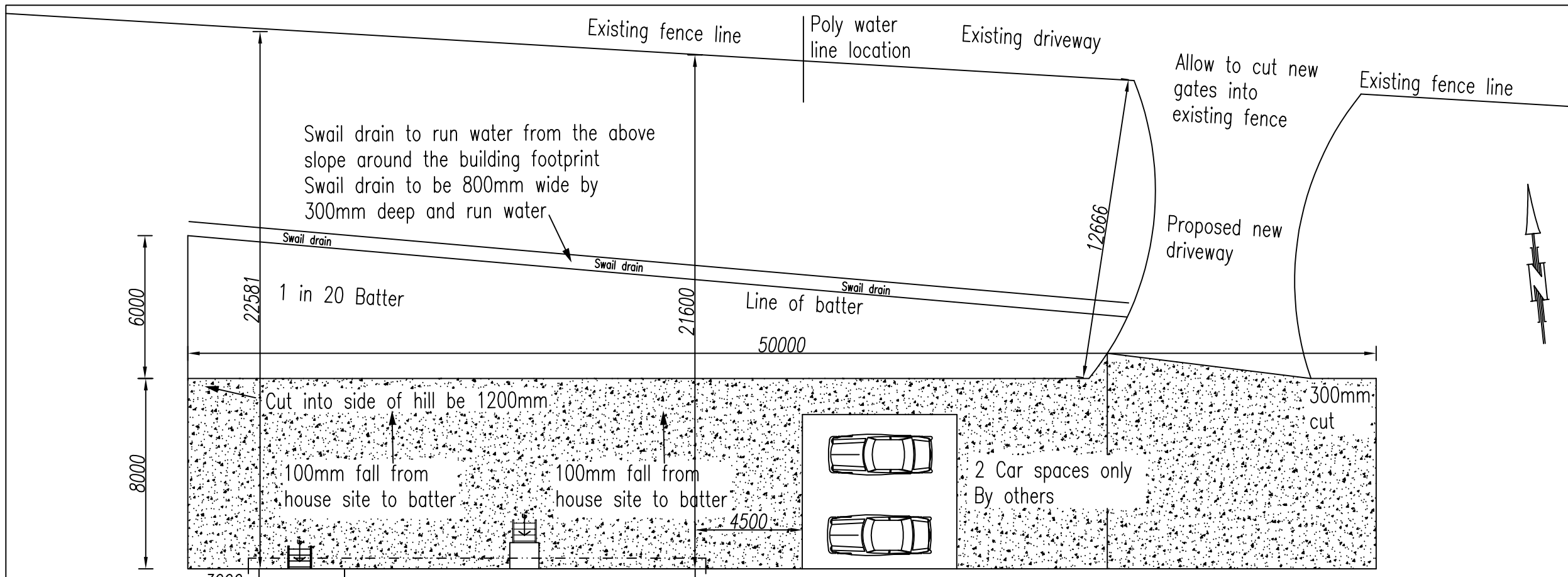
DATE	02.08.24	DRWN	24148
REV	A	REF	JE 4235

NOTE - BOUNDARY DIMENSIONS PROVIDED BY OTHERS AND ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

NOTE:-
SEWER TO RUN TO SEPTIC TANK OR EXISTING SEWAGE SYSTEM ALL IN ACCORDANCE WITH PCA Section C & LOCAL AUTHORITY REQUIREMENTS
STORMWATER TO RUN TO RW TANK AND/OR THE STREET ALL IN ACCORDANCE WITH PCA Section D & LOCAL AUTHORITY REQUIREMENTS

BAL 12.5

BLOCK PLAN
SCALE 1:2500



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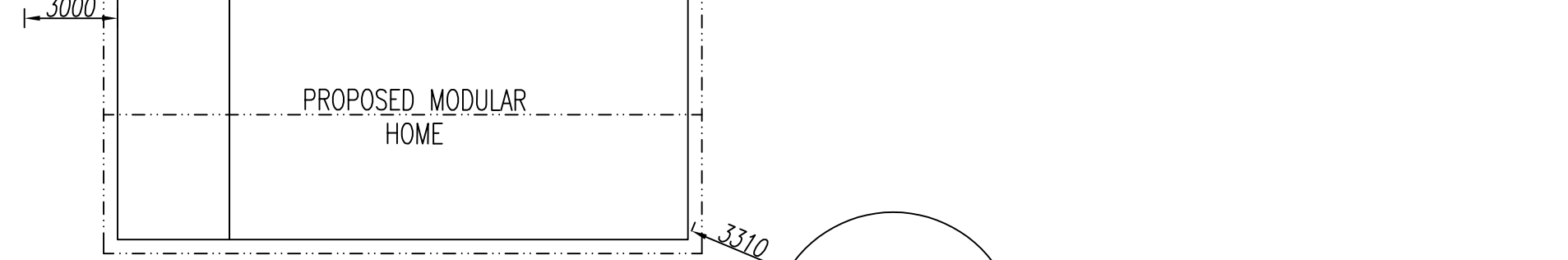
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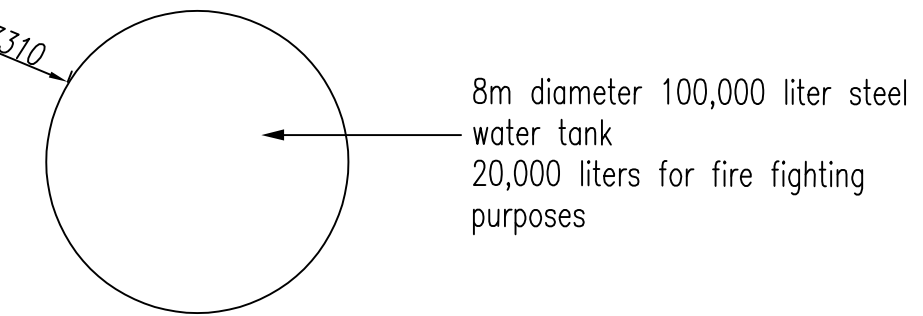
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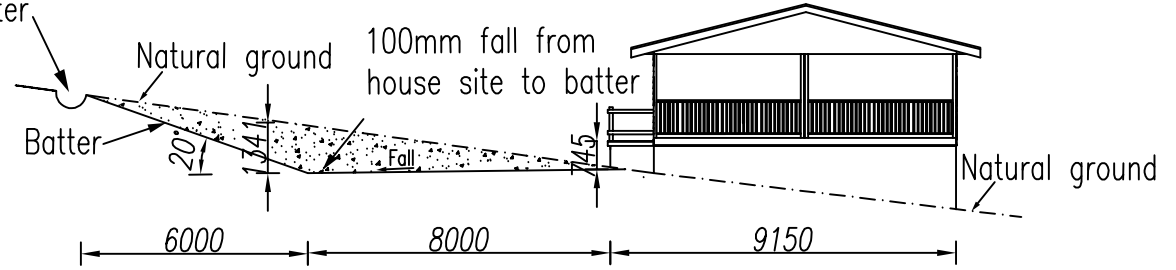
No fill from the cut is to be placed under the modular home footprint

Modular home to be ran on solar panels and batteries

AWTS Septic tank
By others



Swail drain to run water from the above slope around the building footprint
Swail drain to be 800mm wide by 300mm deep and run water



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TITLE SITE PLAN

DATE	02.08.24	DRWN	24148
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BAL 12.5

SITE PLAN
SCALE 1:200

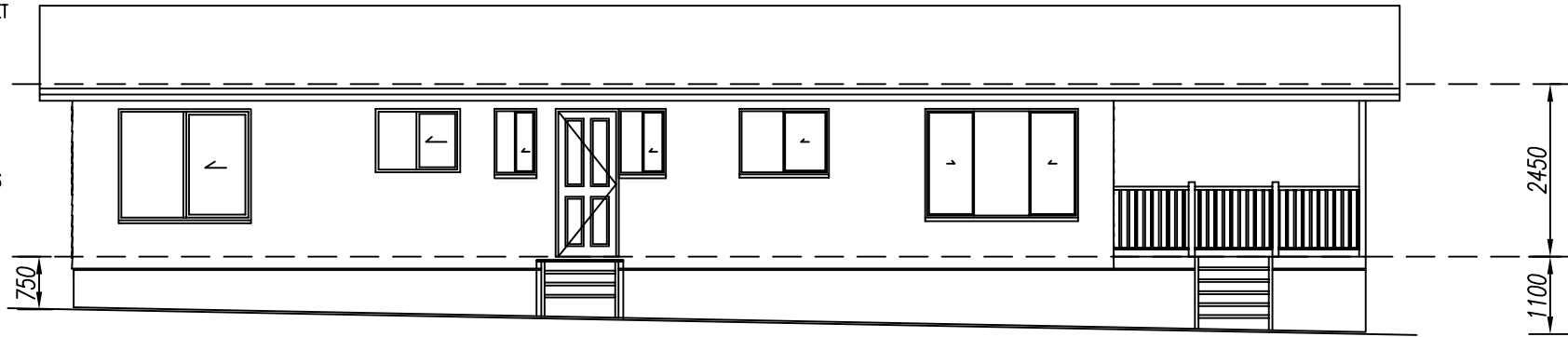
Soil to be removed in North/Western corner

COLORBOND CUSTOM ORB ROOF SHEET
14° PITCH

STAINLESS STEEL GUTTER GUARD
COLORBOND GUTTER

ALUMINIUM WINDOW
METAL GAUZE TO WINDOWS & DOORS

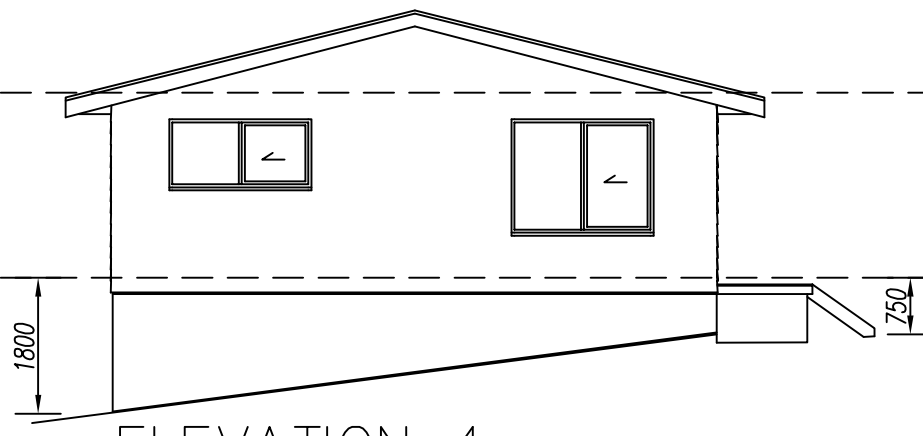
FC EXTERNAL LININGS
6MM FIBRO



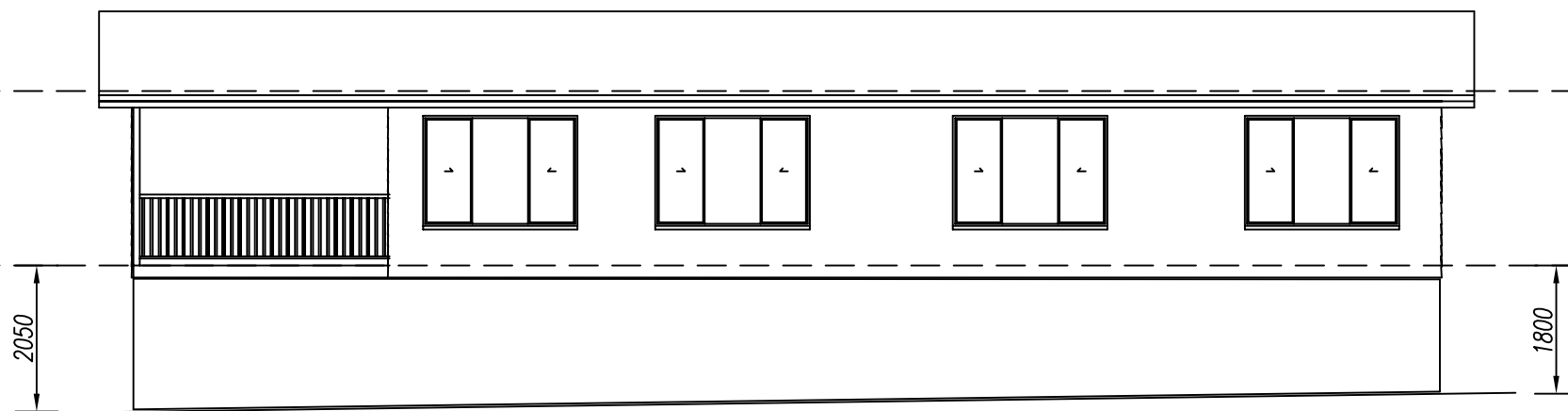
ELEVATION 1



ELEVATION 2



ELEVATION 4



ELEVATION 3

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TITLE ELEVATIONS

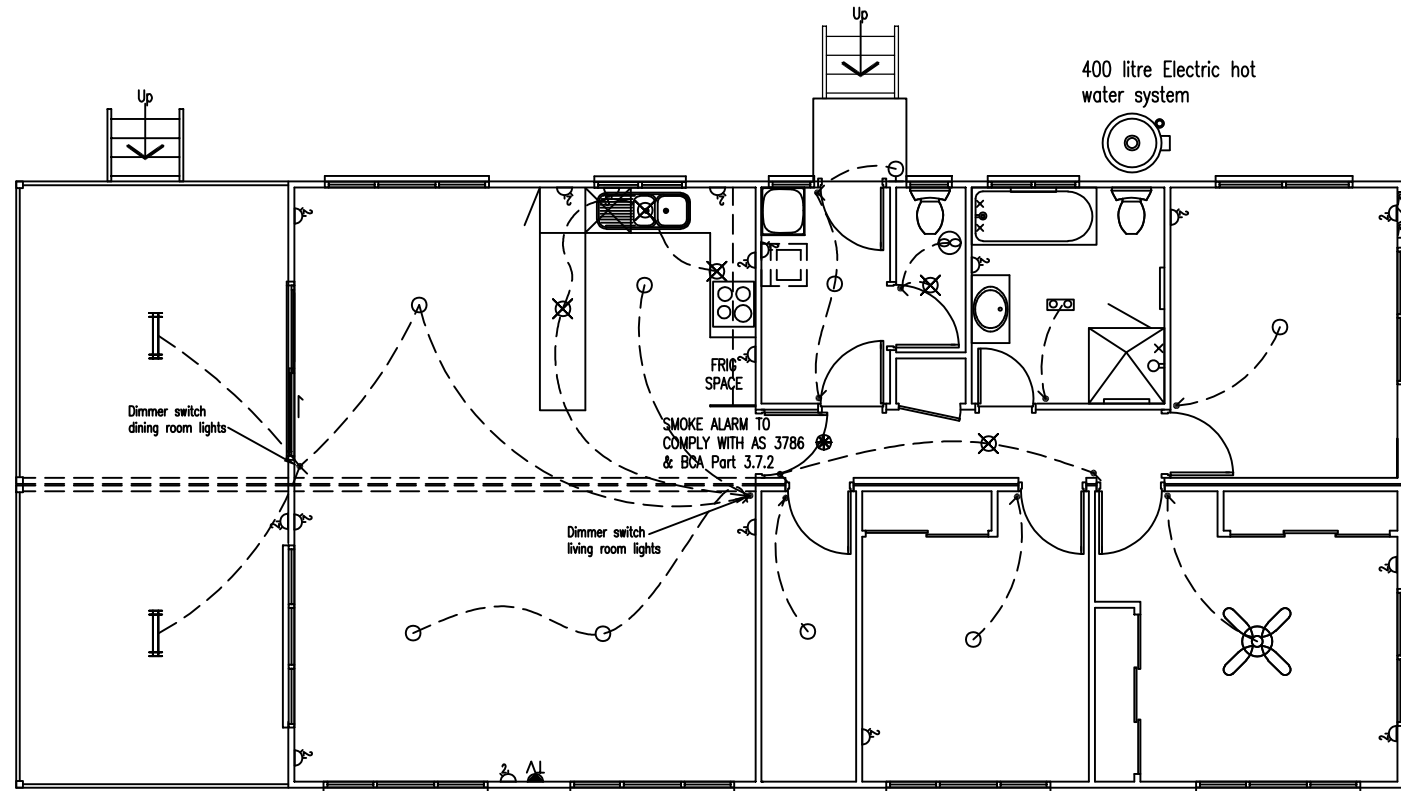
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ELEVATIONS
SCALE 1:100

- 6mm Fibro to subfloor
- Metal gauze to windows and doors
- Stainless steel gutter guard



2 heat 3 in 1 light/ 2 globes heat/ exhaust
to bathroom to be supplied by the owner



Modular home to be ran on solar panels and batteries

No gas appliances wanted
All electric

BAL 12.5

ELECTRICAL LAYOUT
SCALE 1:100

ELECTRICAL LEGEND					
⎓	FLUORESCENT LIGHT	2	⏏	LIGHT SWITCHES	12
○	CEILING LIGHT POINT	8	☎	TELEPHONE POINT	-
⊗	DOWN LIGHT POINT	5	▶	TELEVISION POINT	1
⊙	WALL LIGHT POINT	1	⊕	PERMANENT POWER	-
▷	SINGLE GPO	-	⊖	EXHAUST FAN	-
▷▷	DOUBLE GPO	17	⊗	CEILING FAN	-
⊙	SMOKE DETECTOR	1	⊗	CEILING FAN WITH LIGHT	1
⊖	2 HEAT TASTIC	1			

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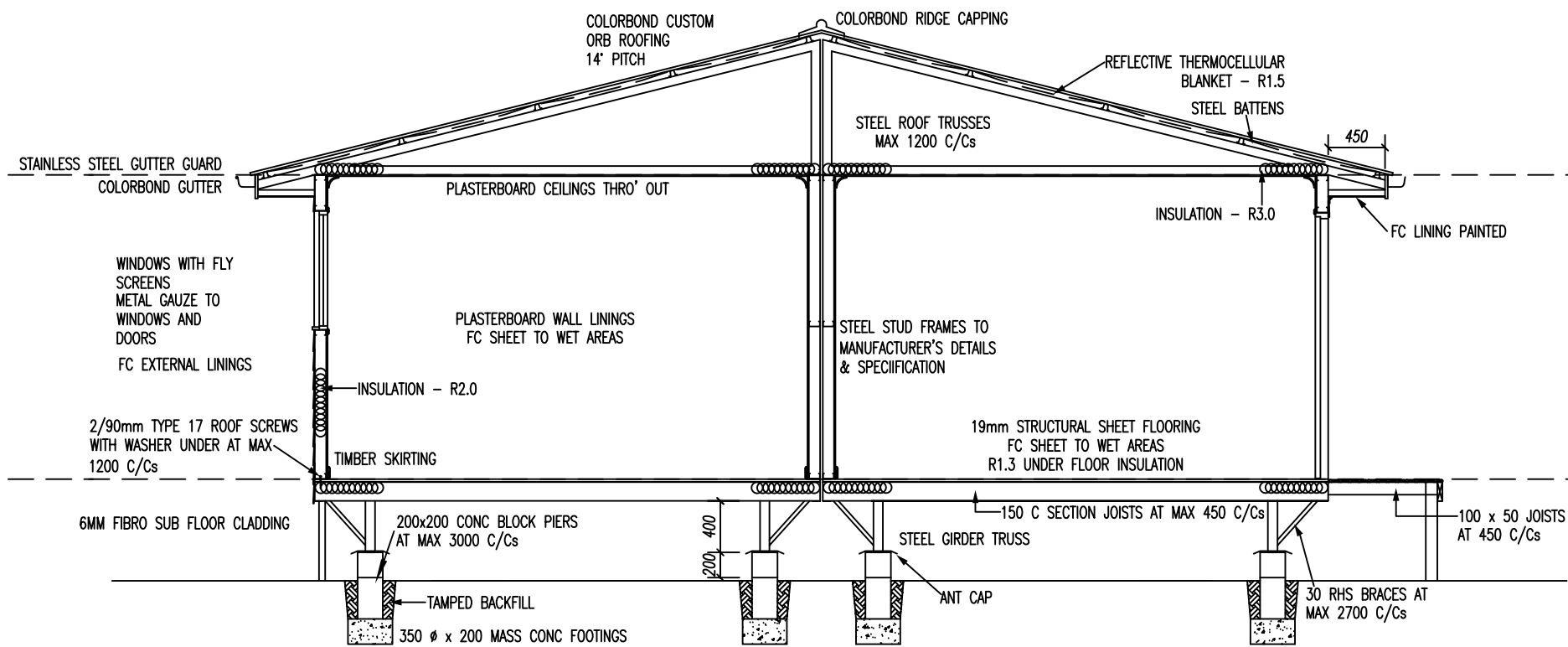
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2450

BAL 12.5

TYPICAL SECTION
SCALE 1:50

- 6mm Fibro to subfloor
- Metal gauze to windows and doors
- Stainless steel gutter guard

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