

PROPOSED DWELLING
FOR
PETER & MARINA SEGAL
34 GLADSTONE STREET MUDGEES NSW



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS 3500 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

Gutters and Downpipes to be designed and installed in accordance with NCC Part 7.4.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

CONDENSATION MANAGEMENT

Install a pliable building membrane to comply with AS4200.1 & AS4200.2 with a vapour permeance of not less than 1.14ug/N.s in this climate. (Climate 6). Except for single skin masonry or concrete, where a pliable building membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity.

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS 3786 and NCC Part 3.4. Provide a durable notice in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786 and NCC Part 9.5. They must be hard wired to the electrical supply.

GLAZING

Provide glazing to AS 1288 and NCC Part 8

LIFT OFF HINGES (LOH)

Provide lift of hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC 10.4.2

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors

BASIX NOTES:

STORMWATER

Min of 241.8m² of roof water must be collected in a 10,000L rainwater tank and plumbed to at least one outdoor tap in the development and be installed in accordance with AS3500.

COOLING / HEATING

Ceiling fans and 1-phase ducted airconditioning with minimum energy rating of 3.5 stars to be installed in at least one living area and at least one bedroom.

VENTILATION

Bathroom - Install an exhaust fan in the ceiling, duct through roof and operate manually

Kitchen - Install a rangehood over cooktop, duct through roof and operate manually

Laundry - natural ventilation

HOT WATER

Electric storage

ALTERNATIVE ENERGY

A photovoltaic system with capacity to generate 6 kW peak capacity to be installed and connected to the electrical system.

Collectors to be installed at 6-10° to horizontal, oriented North.

LIGHTING

The primary type of artificial lighting is dedicated fluorescent or LED in all 3 bedrooms, living room, dining room, kitchen, all bathrooms, all toilets, laundry and all hallways.

All fittings must only be capable of accepting fluorescent or LED lamps.

AAA RATING

All showerheads minimum rating of 3 star (>7.5 but <= 9L/min)

Toilets to have a minimum rating of 3 Star

Kitchen taps to have a minimum rating of 3 star and Basin taps to have a minimum rating of 3 stars

OTHER

Electric cooktop and oven to be installed in Kitchen.

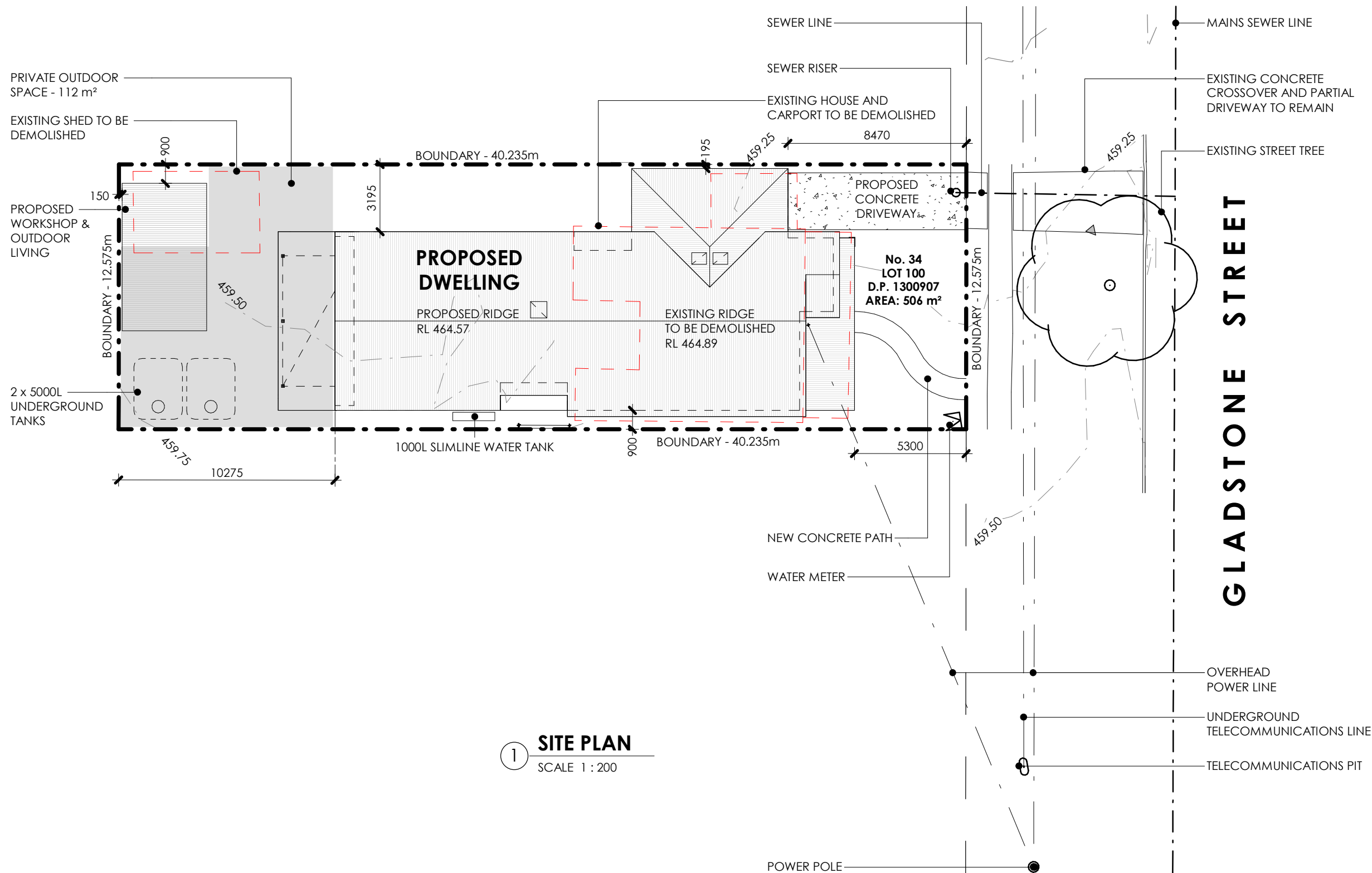
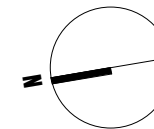
An outdoor clothes drying line must be installed.

LOW WATER VEGETATION

A minimum of 50 sqm of indigenous or low water species of vegetation must be planted on the site.

GENERALLY

The information found in these notes are by no means the extent of information relating to compliance with BASIX commitments. These notes must be read in conjunction with the full set of plans and elevations outlined on sheet no's 573SEG-00 to 573SEG-07, Issue E (8 sheets) and with the BASIX Certificate pertaining to this property.



1 SITE PLAN
SCALE 1 : 200

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Issue	Description	Date
G	CEILING CHANGES	26.08.24
F	DA ISSUE 1	07.07.24
E	DA ISSUE	30.06.24
D	FOR CLIENT APPROVAL 1	12.05.24
C	FOR CLIENT APPROVAL	23.04.24
B	FOR TENDER	21.09.23
A	PRELIMINARY	02.01.23


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Client
Peter & Marina Segal

Project
34 Gladstone Street
Mudgee NSW 2850

Title
SITE PLAN

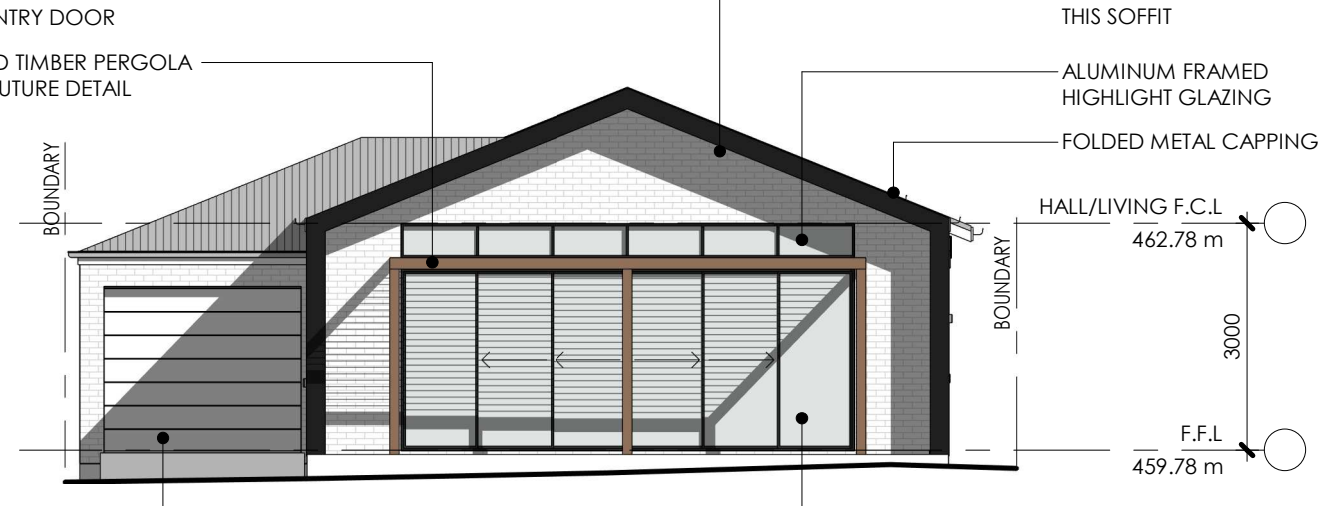
Scale at A3
1 : 200

Date AUGUST 2022	Drawn RG/CD
Drawing No. 573SEG-01	Issue G

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1 SOUTH ELEVATION
SCALE 1 : 100



2 NORTH ELEVATION
SCALE 1 : 100



3 WEST ELEVATION
SCALE 1 : 100



4 EAST ELEVATION
SCALE 1 : 100

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Client **Peter & Marina Segal**

Project
**34 Gladstone Street
Mudgee NSW 2850**

Title
ELEVATIONS

Scale at A3
1 : 100

Date **AUGUST 2022** Drawn **RG/CD**

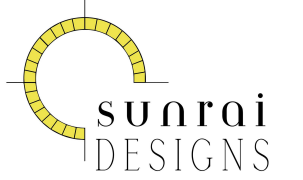
Drawing No. **573SEG-03** Issue **G**



Notes

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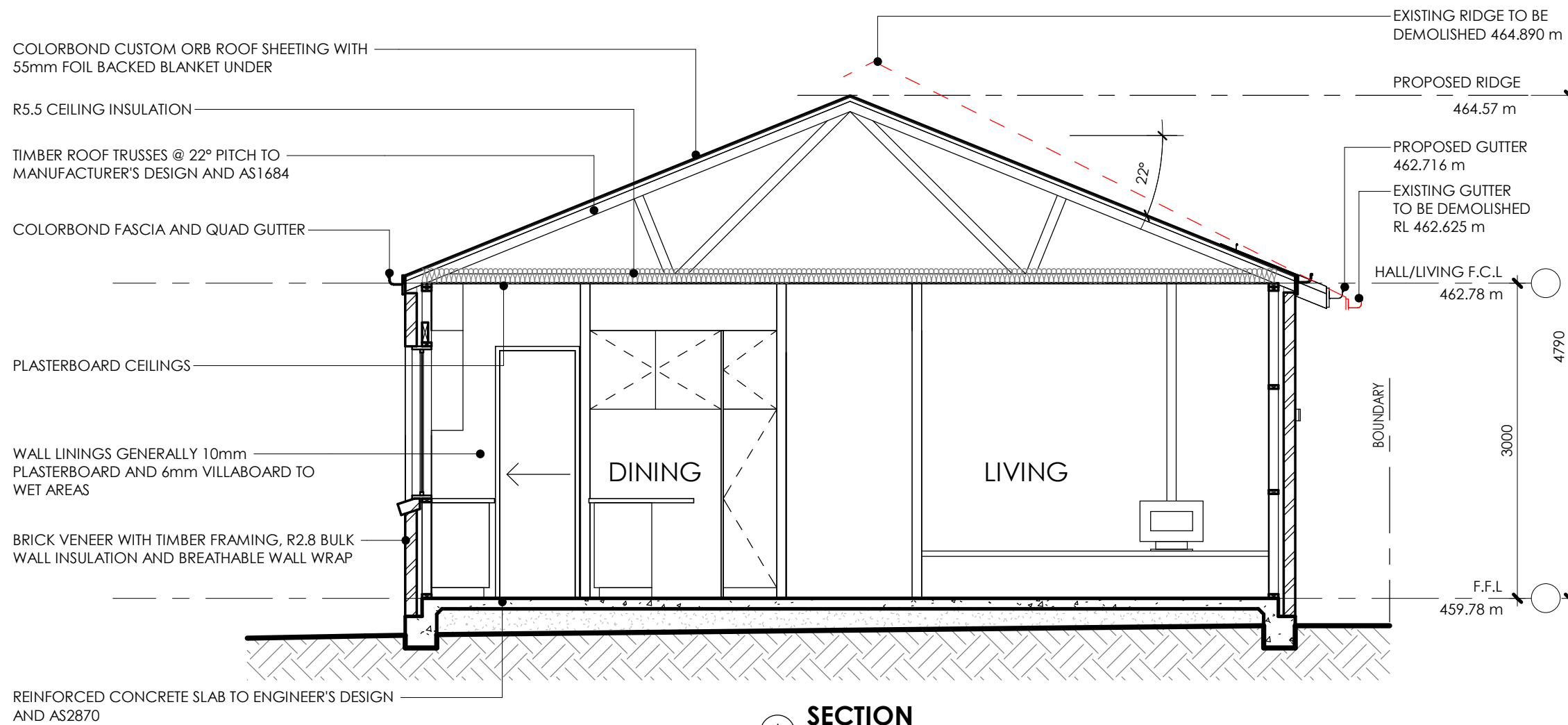
Project 34 Gladstone Street
 Mudgee NSW 2850

Title PERSPECTIVES

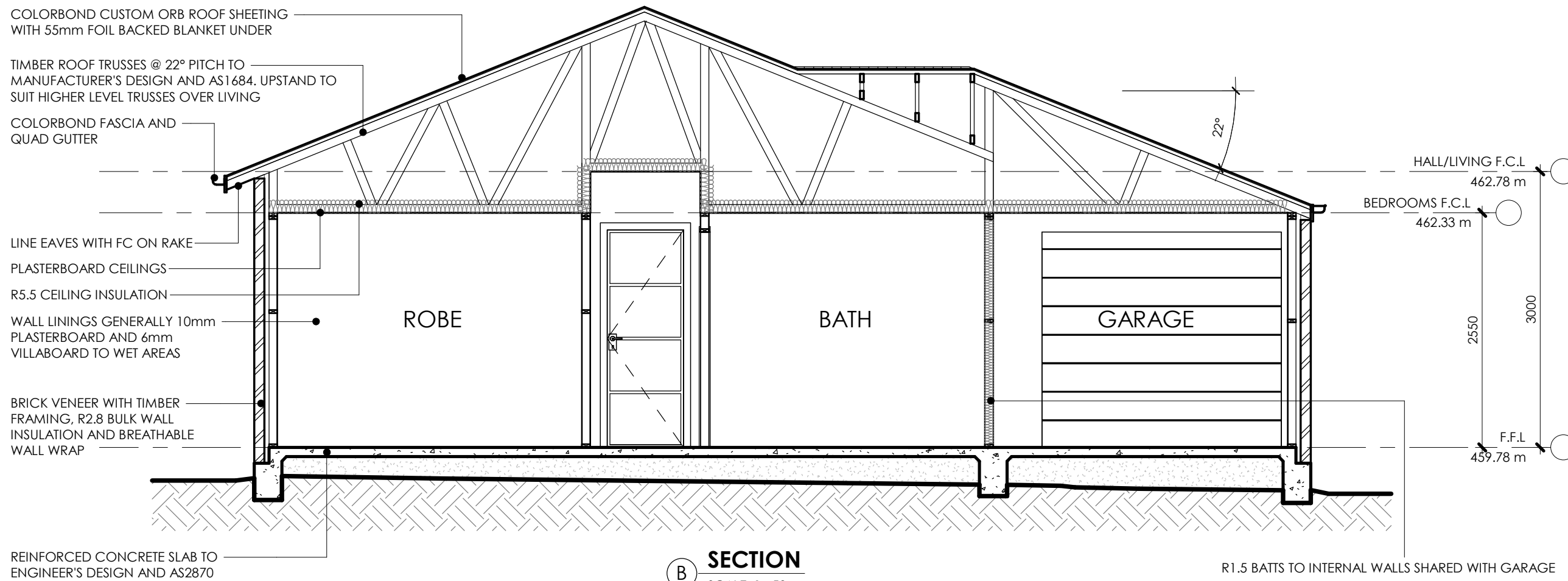
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Date AUGUST 2022 Drawn RG/CD

Drawing No. 573SEG-04 Issue G



A SECTION
SCALE 1 : 50



B SECTION
SCALE 1 : 50

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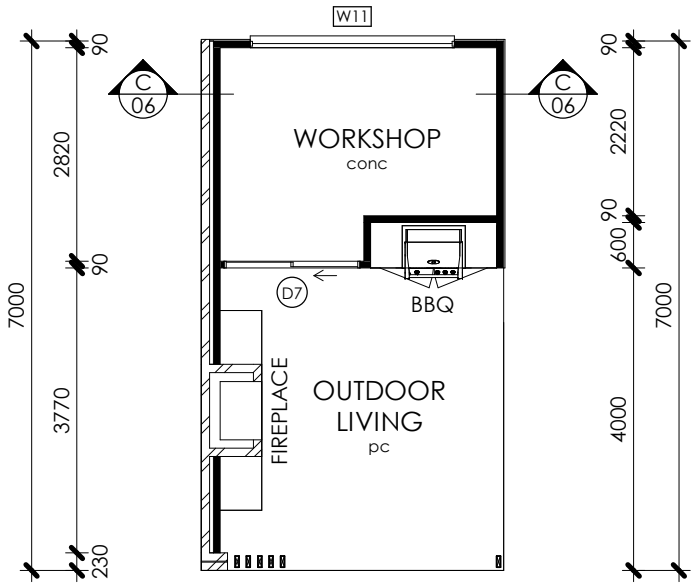
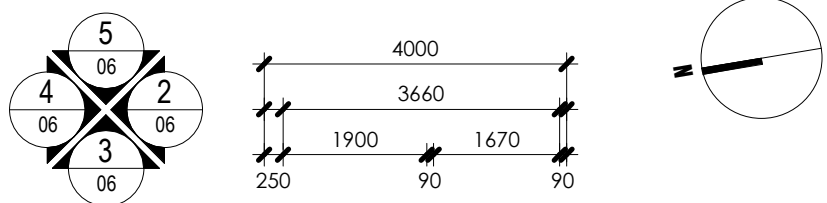
Project: 34 Gladstone Street Mudgee NSW 2850

Title: SECTIONS

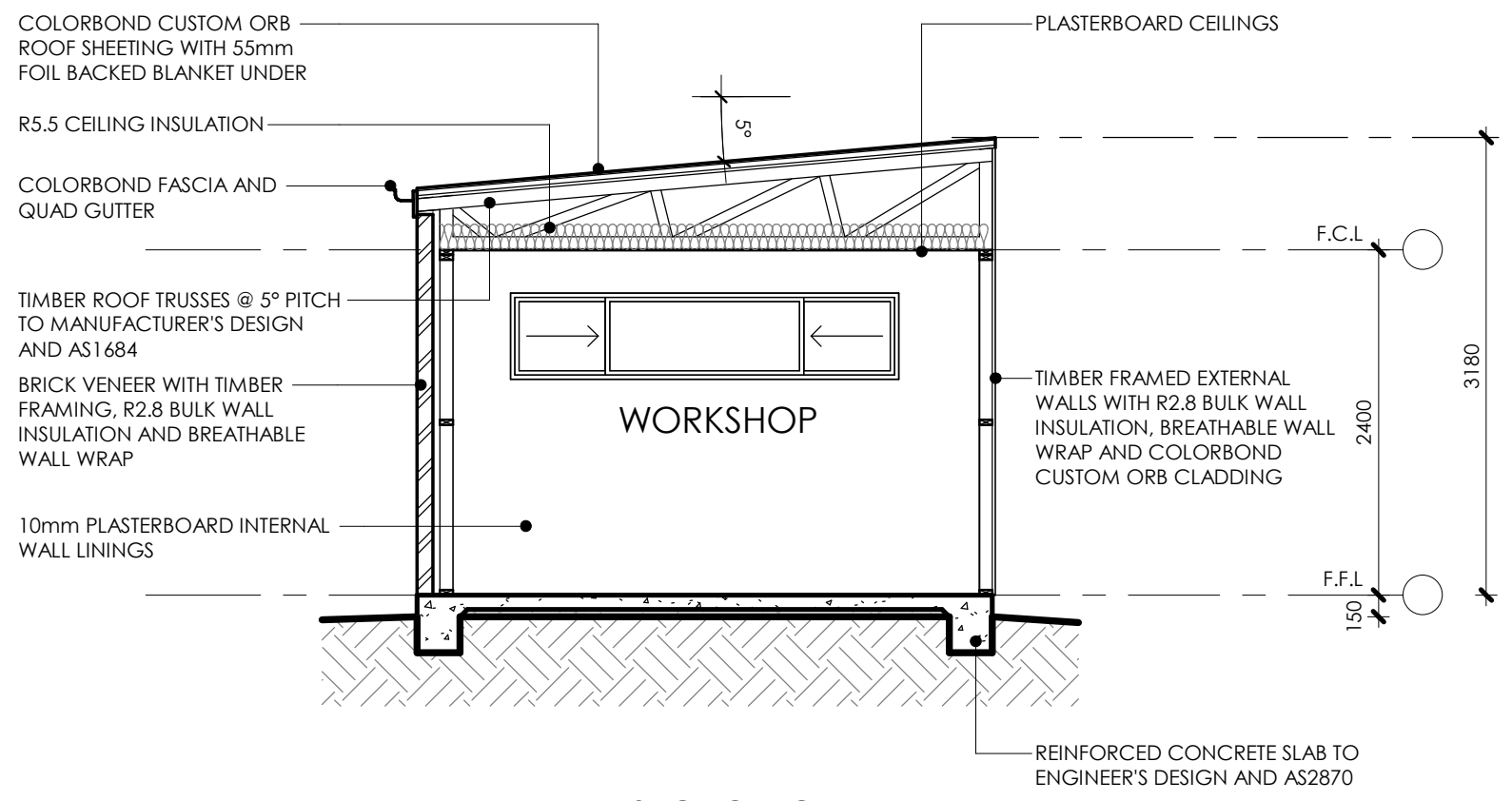
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Date: AUGUST 2022 Drawn: RG/CD

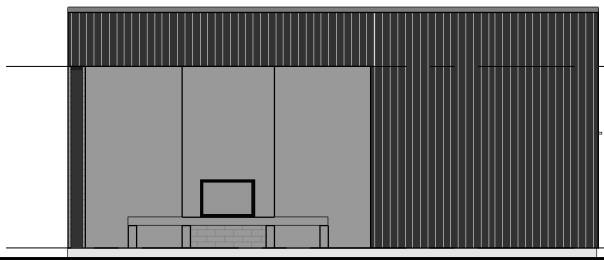
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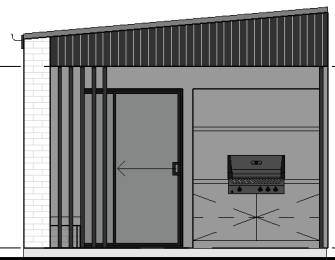
1 FLOOR PLAN AREA: 28 m²
SCALE 1 : 100



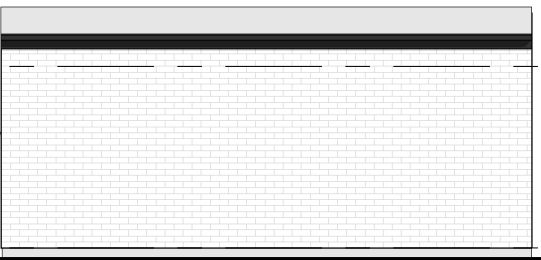
C SECTION C
SCALE 1 : 50



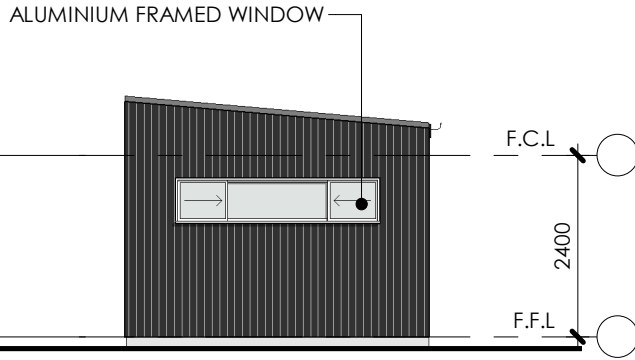
2 SOUTH ELEVATION
SCALE 1 : 100



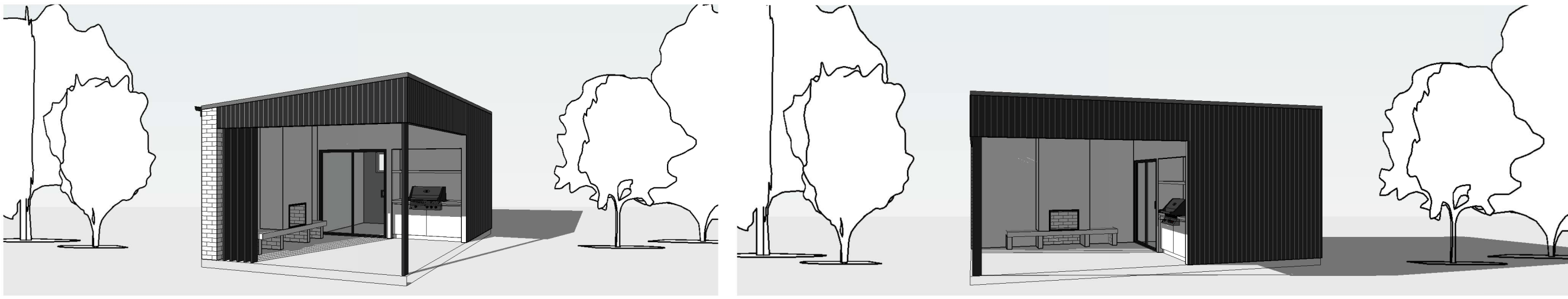
3 WEST ELEVATION
SCALE 1 : 100



4 NORTH ELEVATION
SCALE 1 : 100



5 EAST ELEVATION
SCALE 1 : 100



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LEGEND

15-21	WINDOW DIMENSIONS - HEIGHT x WIDTH.
AAW	ALUMINIUM AWNING WINDOW
ADH	ALUMINIUM DOUBLE HUNG WINDOW
ASD	ALUMINIUM SLIDING DOOR
ASW	ALUMINIUM SLIDING WINDOW
BFD	BI-FOLDING DOOR
CLN	CLOTHES LINE
CONC	CONCRETE, TROWEL FINISH
CPT	CARPET
CSD	CAVITY SLIDING DOOR
CF	CERAMIC FLOOR TILES
DP	DOWN PIPE
DR	DRYER SPACE
DW	DISHWASHER
F	FIXED GLASS WINDOW
FD	FRENCH DOOR
FP	FIREPLACE
F.TIM	FLOATING TIMBER FLOOR
FWG	FLOOR WASTE GULLY
HP	HOT PLATES
HWS	HOT WATER SYSTEM
J	JOINERY
LOH	LIFT OFF HINGES
LT	LAUNDRY TUB
LV	LOUVRE WINDOW
MB	METER BOX
MOD	MODWOOD DECKING
MSSD	MULTI STACK SLIDING DOOR
MW	MICROWAVE
OBS	OBSOLETE GLASS
OV	OVEN
PC	POLISHED CONCRETE
PL	VINYL PLANK FLOORING
PLD	PANEL-LIFT GARAGE DOOR
RD	ROLLER DOOR
REF	REFRIGERATOR
RW	RETAINING WALL
SD	SMOKE DETECTOR
SK	SINK
SL	SIDE-LITE
TD	TIMBER DECKING
TF	POLISHED TIMBER FLOOR
WM	WASHING MACHINE SPACE

B	DA ISSUE	30.06.24
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Title WORKSHOP DETAILS

Scale at A3 1 : 50 ; 1 : 100

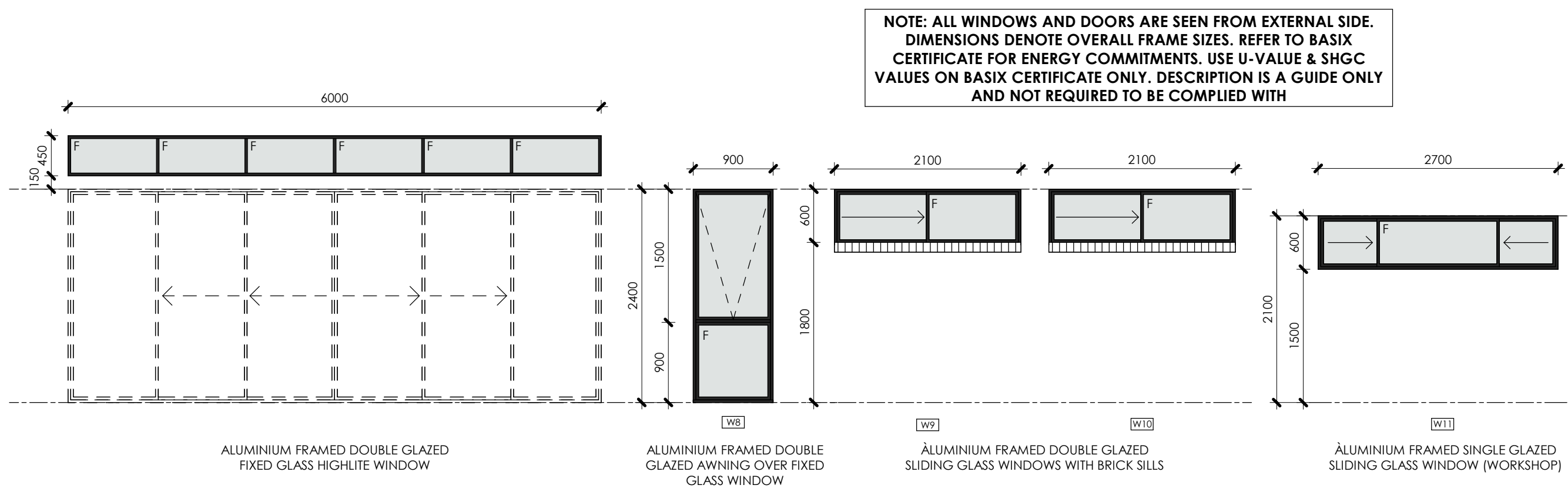
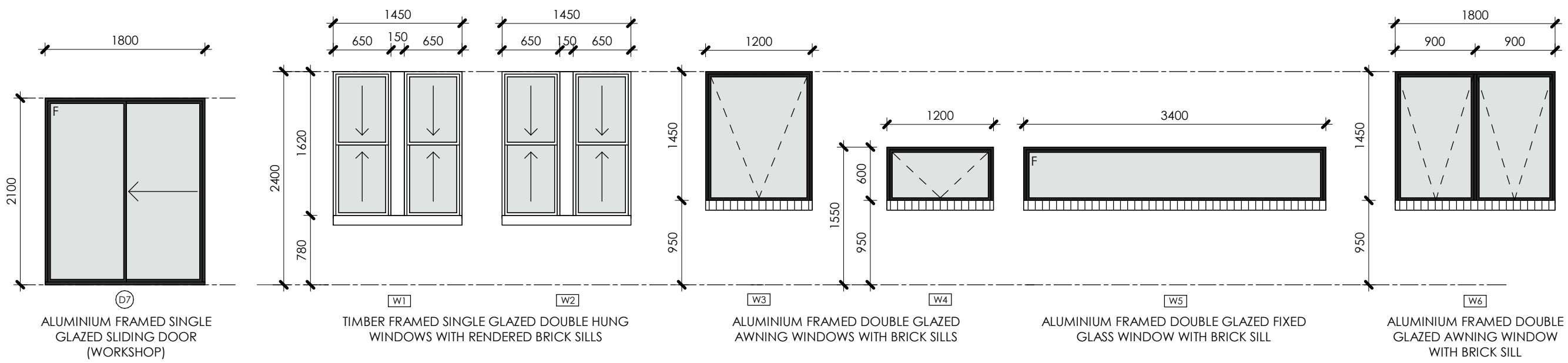
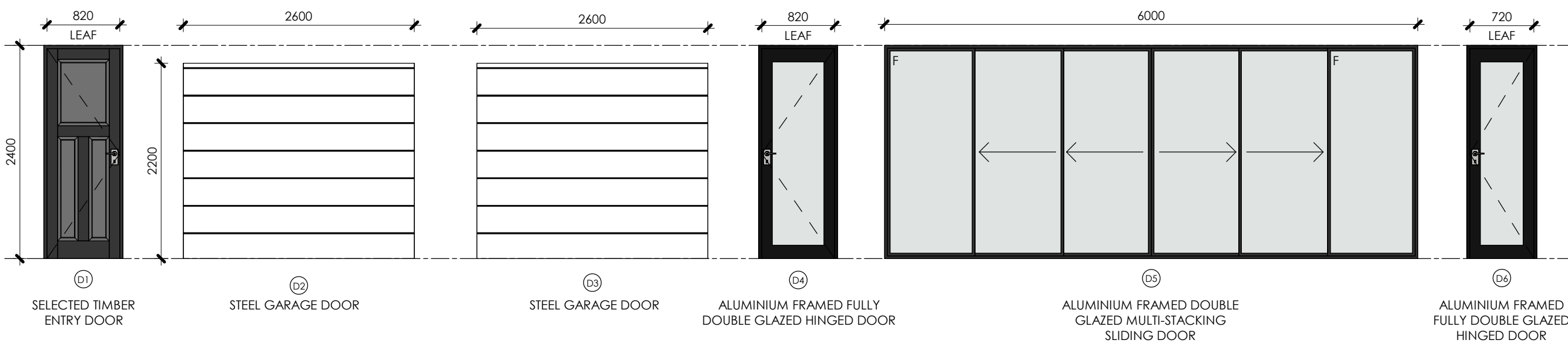
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Drawing No. 573SEG-06 Issue B

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LEGEND

F FIXED GLASS



NOTE: ALL WINDOWS AND DOORS ARE SEEN FROM EXTERNAL SIDE. DIMENSIONS DENOTE OVERALL FRAME SIZES. REFER TO BASIX CERTIFICATE FOR ENERGY COMMITMENTS. USE U-VALUE & SHGC VALUES ON BASIX CERTIFICATE ONLY. DESCRIPTION IS A GUIDE ONLY AND NOT REQUIRED TO BE COMPLIED WITH

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Client: Peter & Marina Segal

Project: 34 Gladstone Street Mudgee NSW 2850

Title: DOOR AND WINDOW SCHEDULE

Scale at A3: 1 : 50

Date: AUGUST 2022	Drawn: RG/CD
Drawing No. 573SEG-07	Issue: G