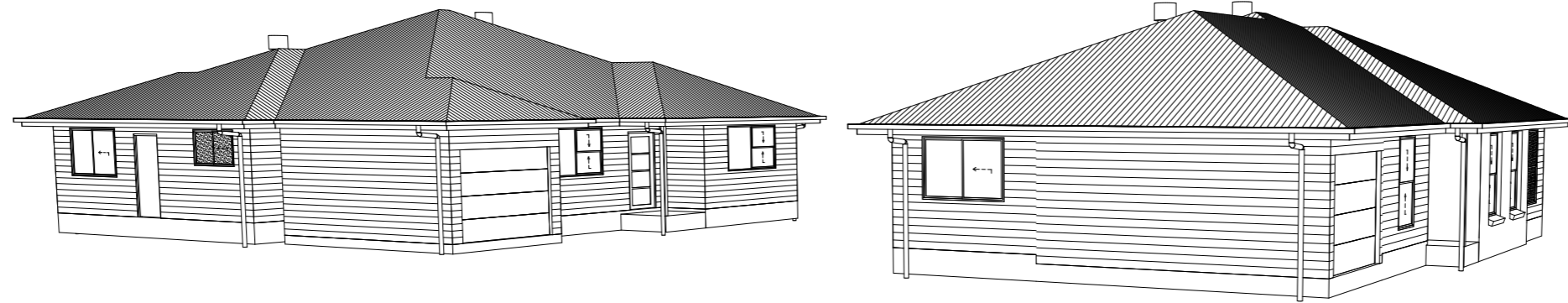


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CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP -
 150 GLADSTONE STREET - MUDGEES NSW 2850

DRAWING
COVER PAGE

SCALE: **A3** DATE: **19-2-2024**

DRAWING No: **7168-3** SHEET: **1/20** ISSUE: **L**



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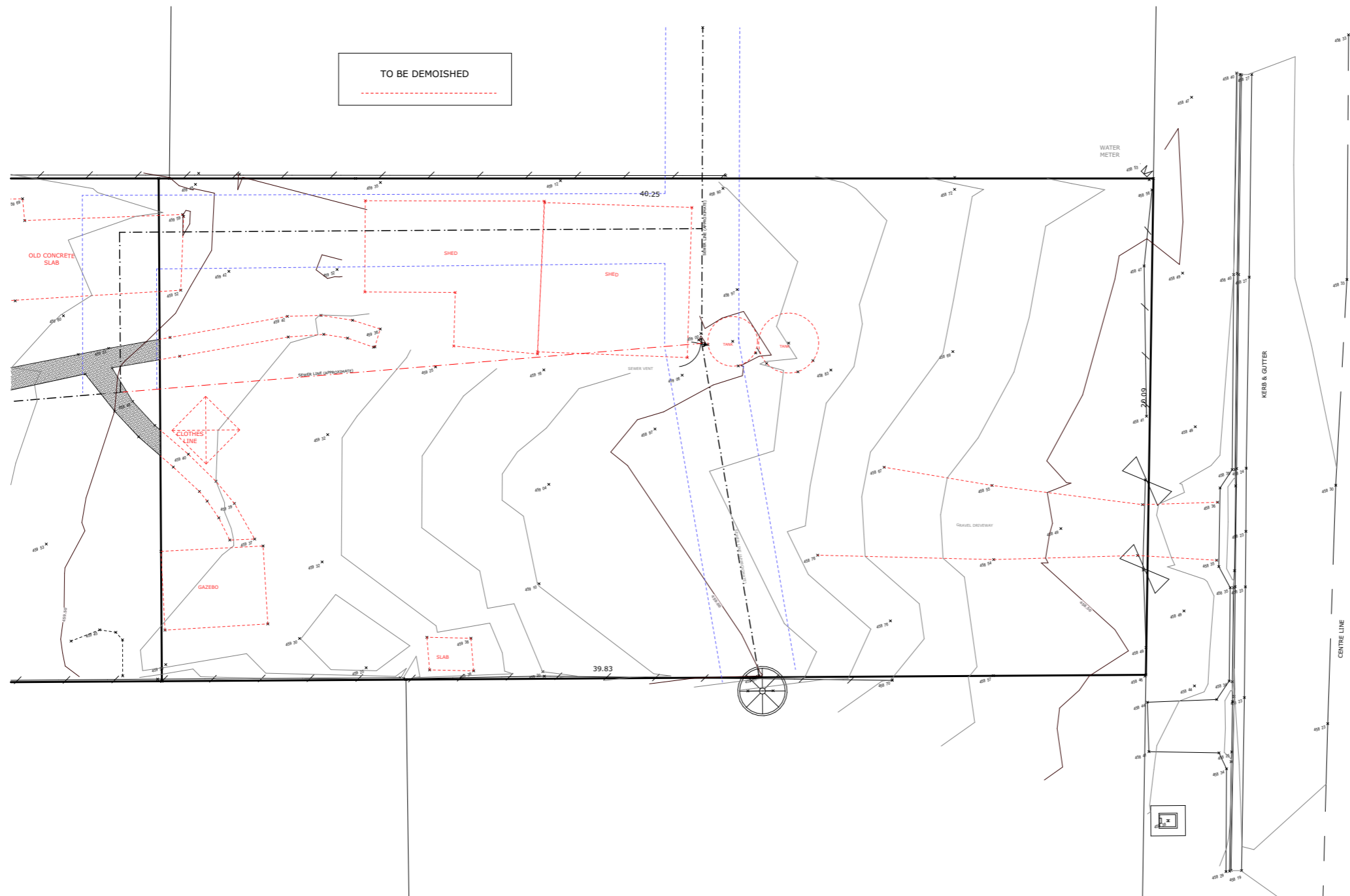
PLOT DATE: Wednesday, 19 June 2024

Sheet Number	Sheet Name
1	COVER PAGE
2	DEMOLITION PLAN
3	FLOOR PLAN - HOUSE 1
4	FRONT & REAR ELEVATIONS - ...
5	SIDE ELEVATIONS - HOUSE 1
6	FLOOR PLAN HOUSE 2
7	FRONT & REAR ELEVATIONS - ...
8	SIDE ELEVATIONS - HOUSE 2
9	SECTION
10	SITE PLAN
11	SITE PLAN 1:500
12	BASIX NOTES
13	ELECTRICAL PLAN - HOUSE I
14	ELECTRICAL PLAN - HOUSE 2
15	CONCRETE SLAB PLAN
16	LANDSCAPE PLAN
17	STORMWATER PLAN
18	SEDIMENT CONTROL PLAN
19	SHADOW DIAGRAMS
20	SAFETY NOTES

ISSUE	AMENDMENT	DATE	DRAWN
A	ISSUED FOR CLIENT APPROVAL	20/02/2024	I.P.
B	ISSUED FOR CLIENT APPROVAL	13/03/2024	I.P.
C	ISSUED FOR CLIENT APPROVAL	03/04/2024	I.P.
D	ISSUED FOR CLIENT APPROVAL	09/05/2024	I.P.
E	ISSUED FOR CLIENT APPROVAL	13/05/2024	I.P.
F	ISSUED FOR CLIENT APPROVAL	15/05/2024	I.P.
G	ISSUED FOR CLIENT APPROVAL	20/05/2024	I.P.
H	PRELIMINARY WORKING DRAWINGS	22/05/2024	I.P.
I	BRICK FEATURE HOUSE 1	29/05/2024	I.P.
J	SHADOW DIAGRAMS	05/06/2024	I.P.
K	RE-LOCATE SEWER	14/06/2024	I.P.
L	BASIX NOTES	18/06/2024	I.P.

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BLACKMAN CRESCENT

DEMOLITION PLAN
 1:200

CLIENT
ABERFOYLE HOMES

JOB:
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DRAWING
DEMOLITION PLAN

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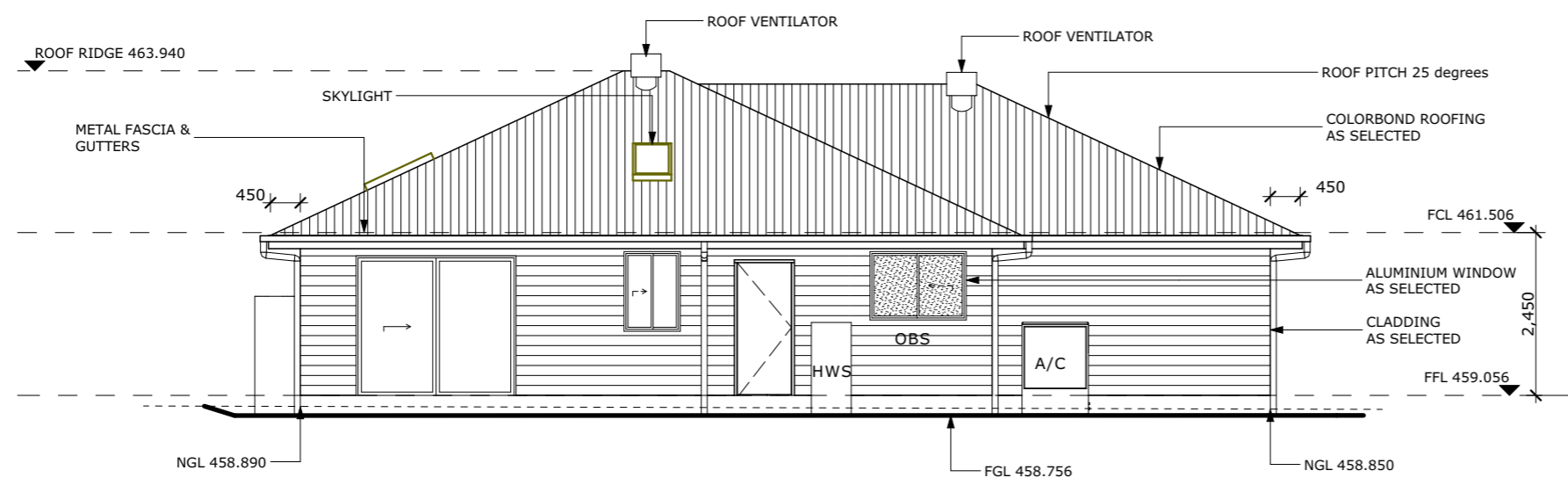
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FRONT ELEVATION (NORTH EAST) HOUSE 1
 1:100



REAR ELEVATION (SOUTH WEST) HOUSE 1
 1:100

CLIENT
ABERFOYLE HOMES

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DRAWING
FRONT & REAR ELEVATIONS - HOUSE 1

SCALE:	DATE:	
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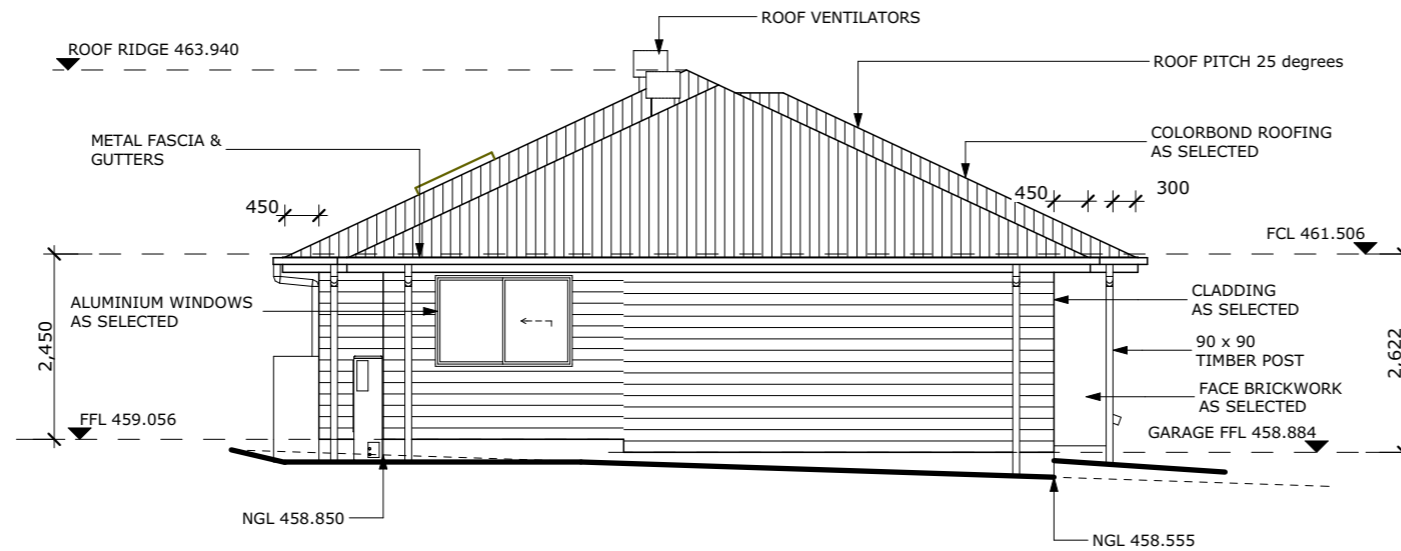
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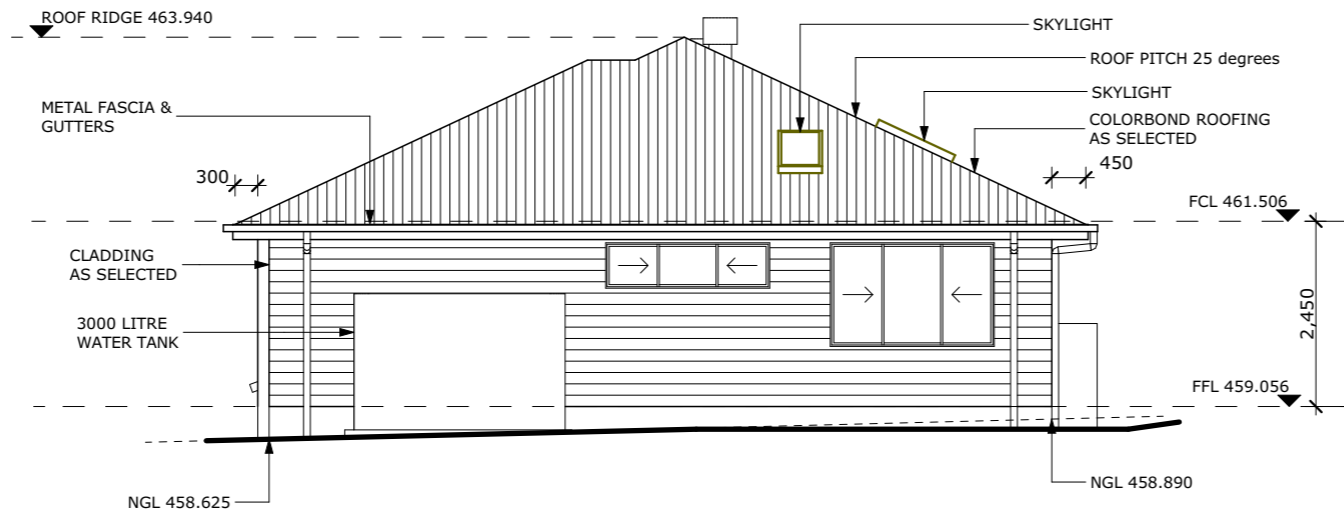


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SIDE ELEVATION (SOUTH EAST) - HOUSE 1
 1:100



SIDE ELEVATION (NORTH WEST) - HOUSE 1
 1:100

CLIENT
ABERFOYLE HOMES

JOB:
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DRAWING
SIDE ELEVATIONS - HOUSE 1

SCALE: A3	DATE: 19-2-2024	
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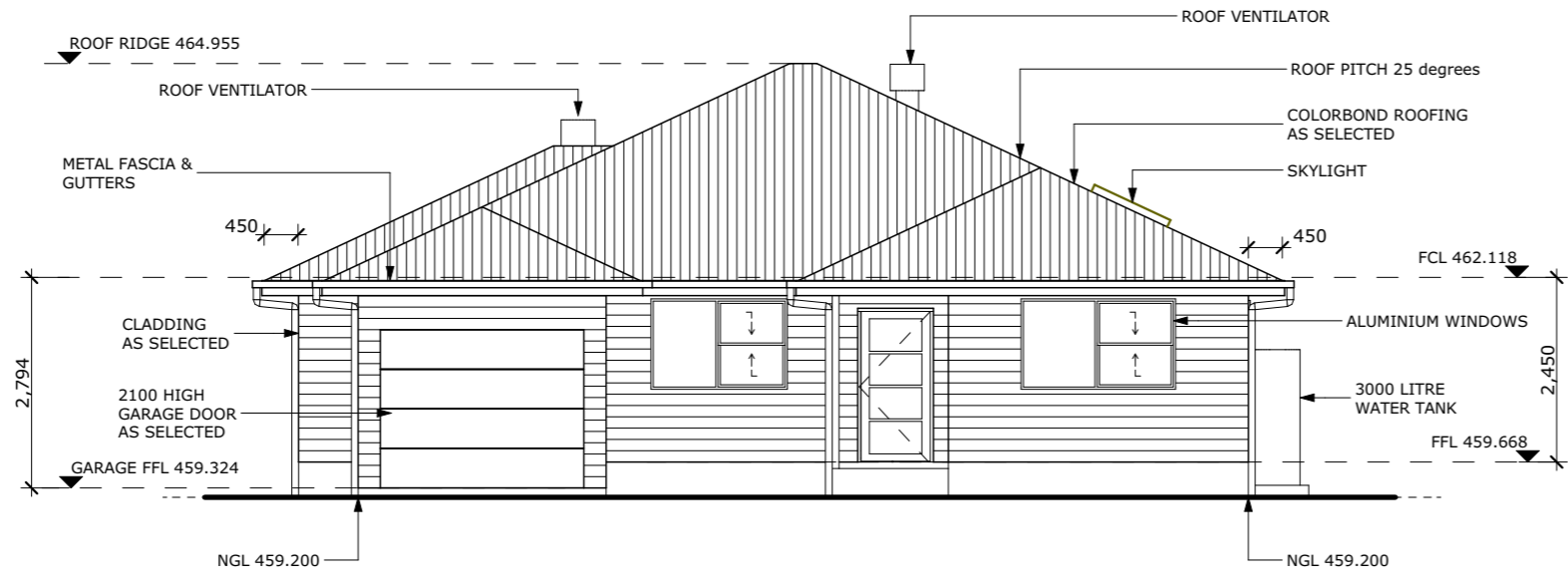


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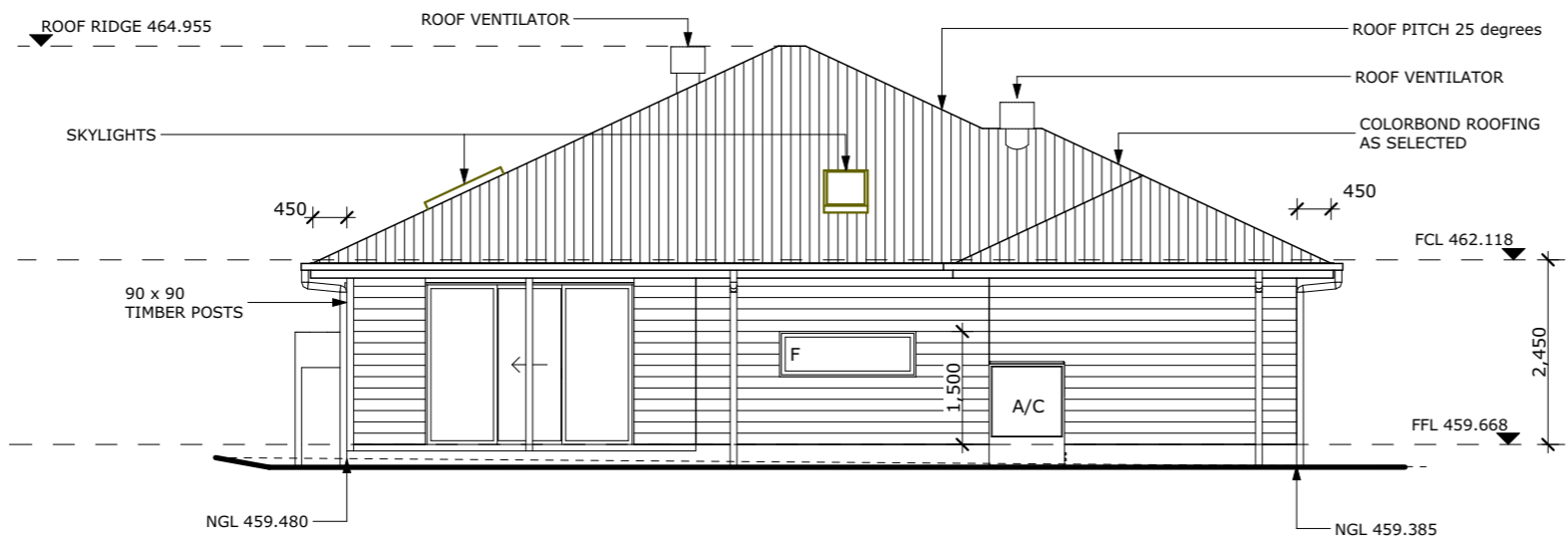


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FRONT ELEVATION (NORTH EAST) HOUSE 2
 1:100



REAR ELEVATION (SOUTH WEST) HOUSE 2
 1:100

CLIENT
ABERFOYLE HOMES

JOB:
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 LOT 1501, DP -
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DRAWING
FRONT & REAR ELEVATIONS - HOUSE 2

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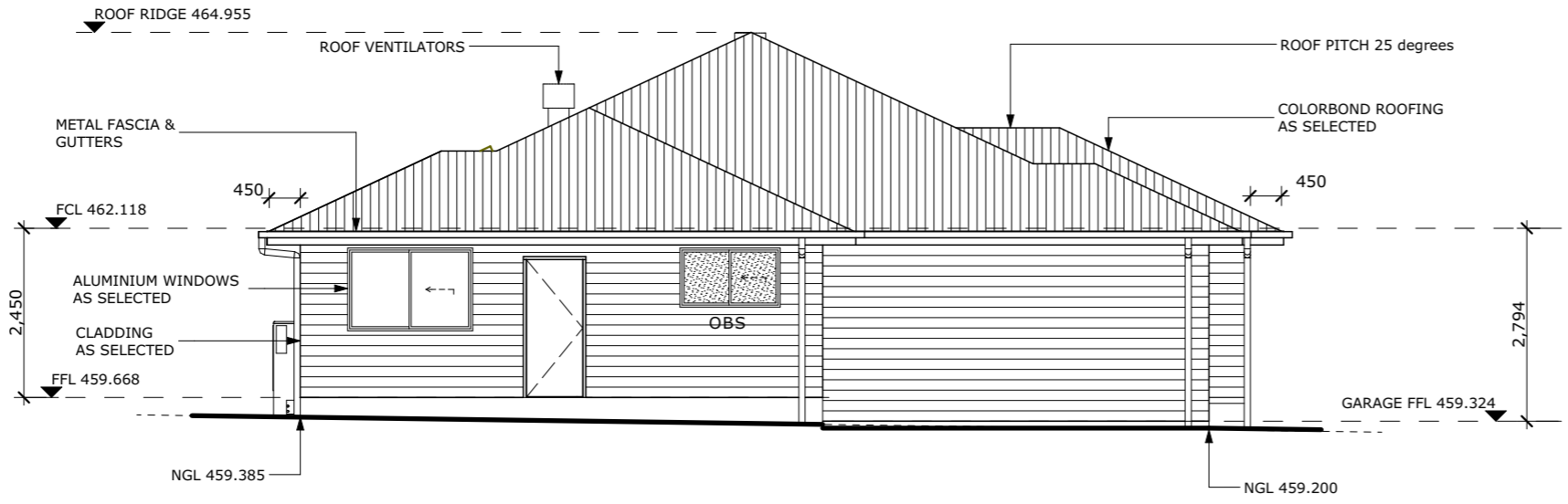
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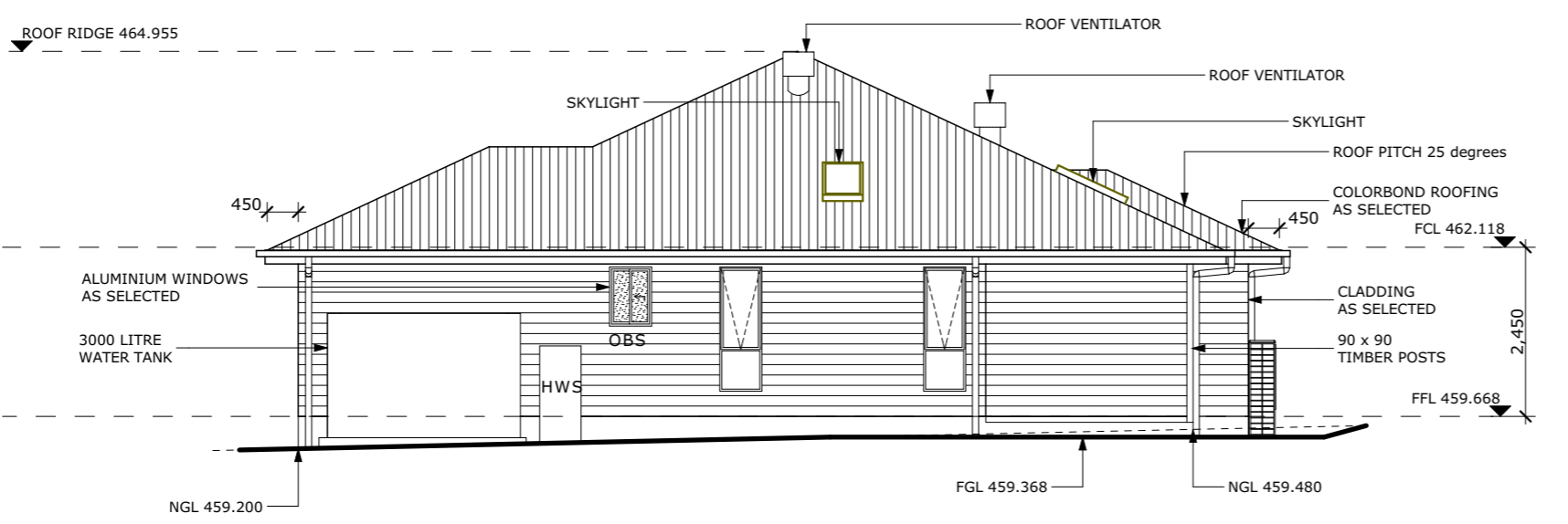


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SIDE ELEVATION (SOUTH EAST) - HOUSE 2
 1:100



SIDE ELEVATION (NORTH WEST) - HOUSE 2
 1:100

CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP -
 150 GLADSTONE STREET - MUDGEE NSW 2850

DRAWING
SIDE ELEVATIONS - HOUSE 2

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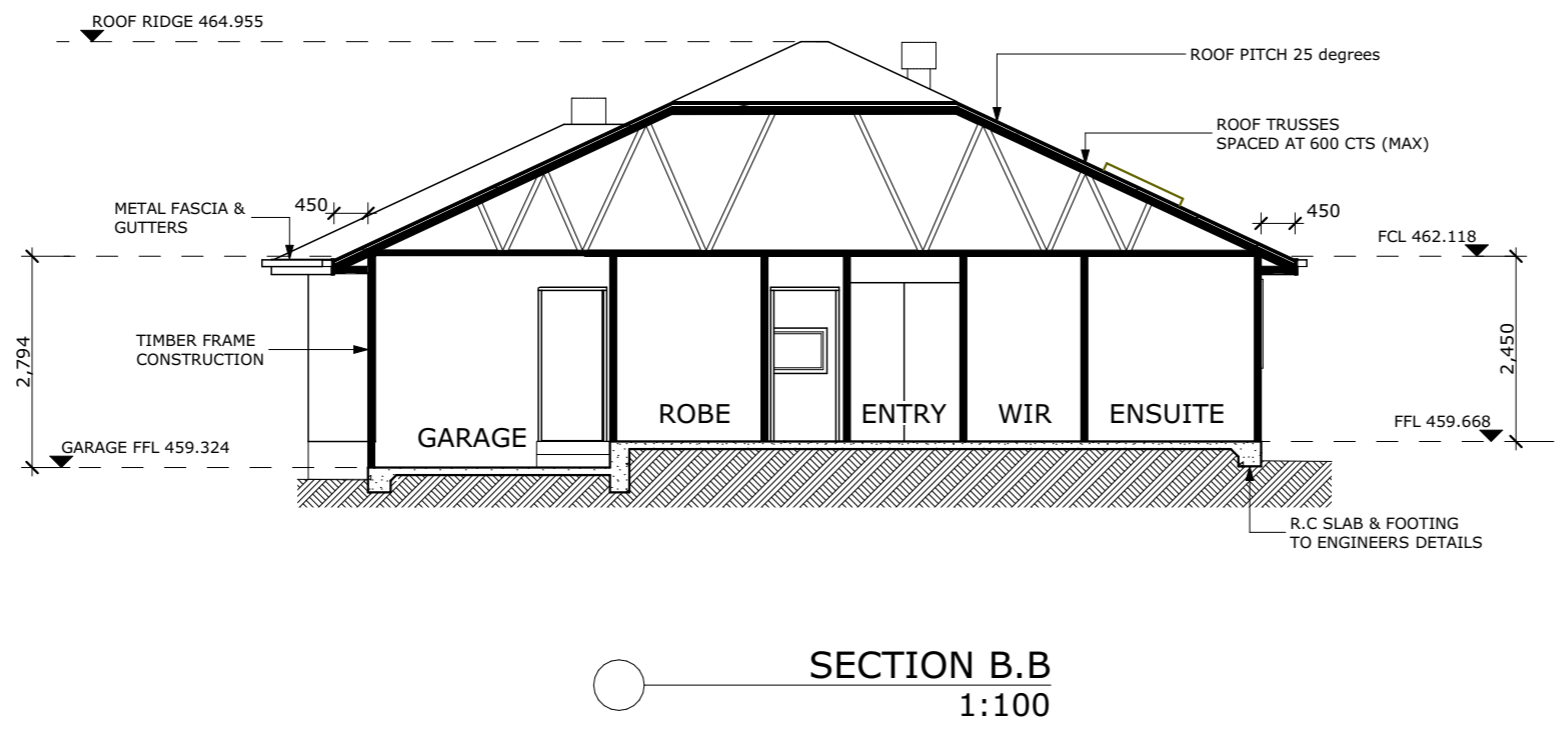
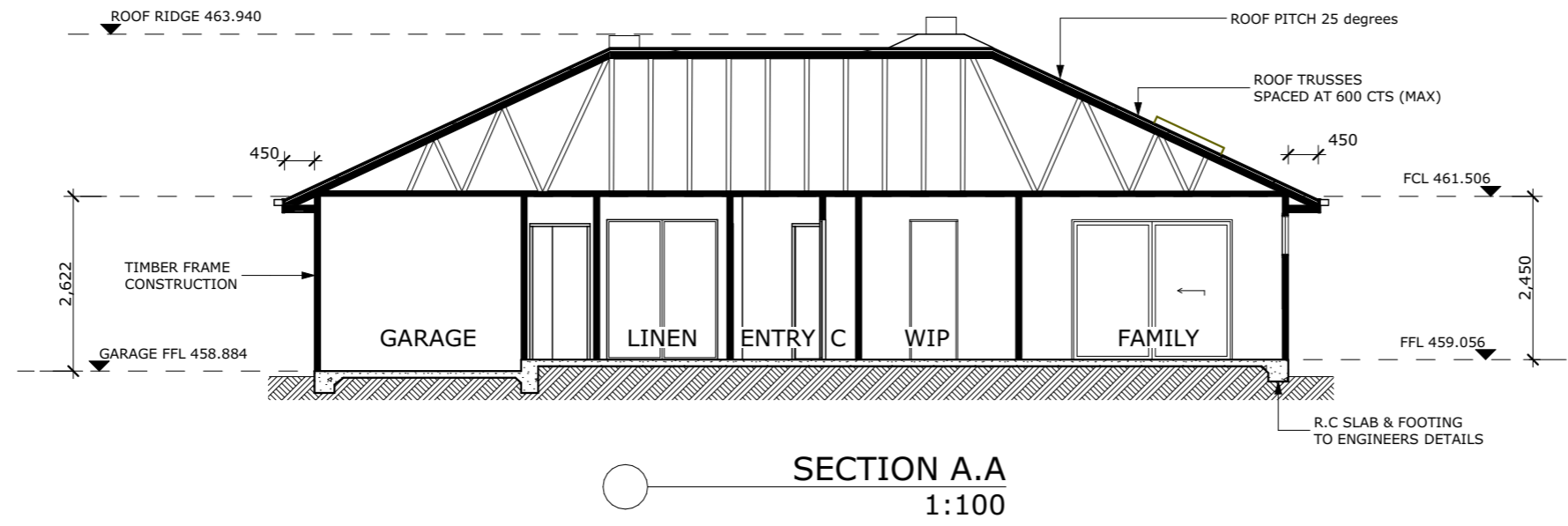


CONSTRUCTION IS TO BE IN ACCORDANCE WITH BCA 2022 AND OTHER RELEVANT AUSTRALIAN STANDARDS

TERMITE PROTECTION TO AS3660.1-2014

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CLIENT
ABERFOYLE HOMES

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DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP -
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DRAWING
SECTION

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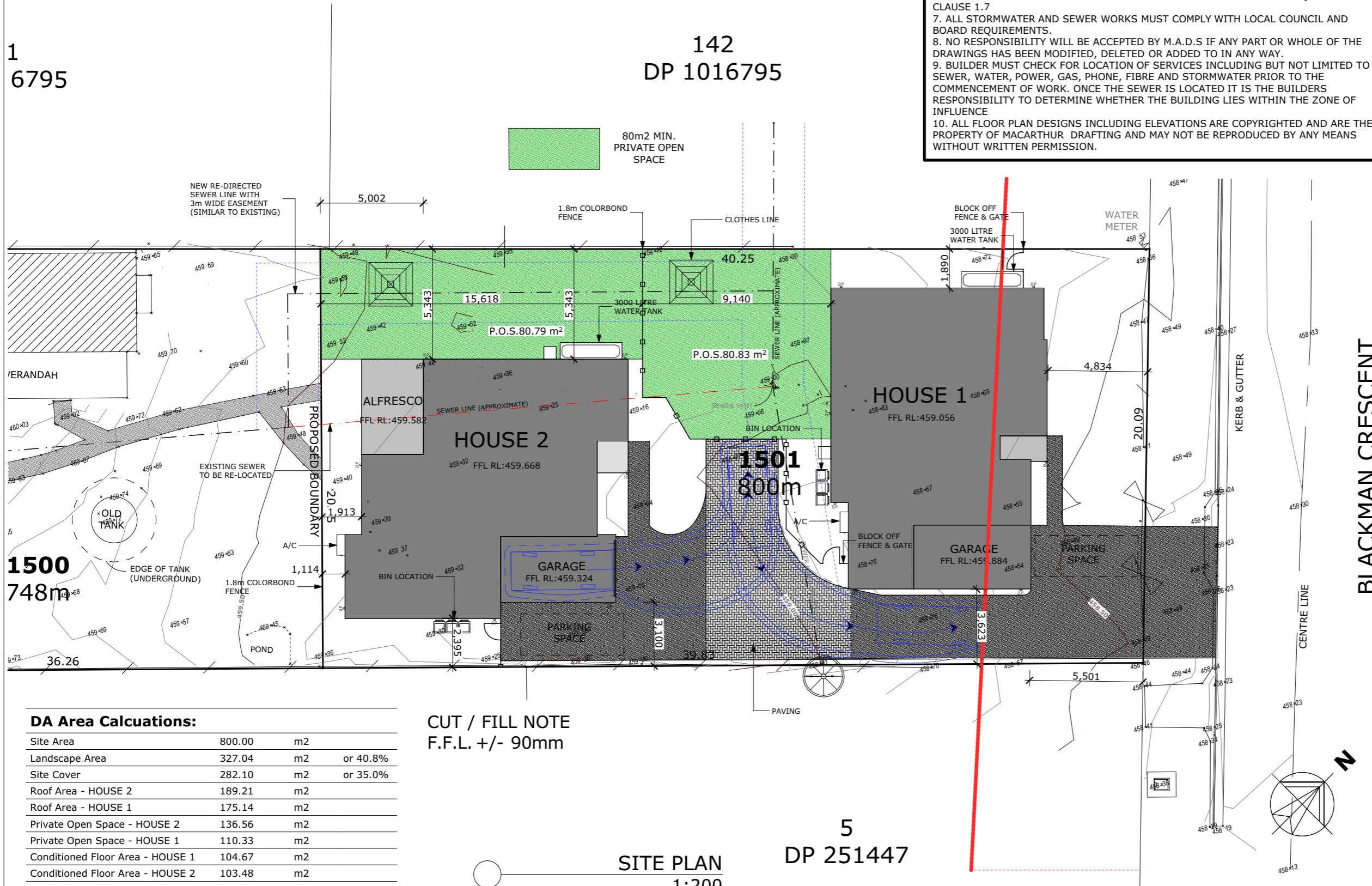
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GENERAL NOTES

1. BUILDER MUST CHECK ALL BOUNDARIES AND BUILDING DIMENSIONS PRIOR TO COMMENCING ANY BUILDING WORKS IN ORDER TO SATISFY HIMSELF THAT THE WORKS CAN BE CARRIED OUT IN ACCORDANCE WITH LOCAL COUNCIL AND RELATIVE AUTHORITY REQUIREMENTS.
2. DO NOT SCALE DIMENSIONS OFF THE PLANS, FIGURED DIMENSIONS ARE TO BE USED. ALL DIMENSIONS ARE TO BE VERIFIED BY THE BUILDER ON SITE. ANY DISCREPANCIES SHALL BE REFERRED TO THE DESIGNERS BEFORE ANY CONSTRUCTION OR FABRICATION IS COMMENCED.
3. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION, STRUCTURAL ENGINEERING DETAILS AND ANY OTHER DOCUMENT THAT MAY BE ISSUED.
4. ALL BUILDING WORKS MUST COMPLY WITH B.C.A. AND LOCAL COUNCIL REQUIREMENTS.
5. BUILDINGS ARE TO BE PROTECTED AGAINST TERMITES IN ACCORDANCE WITH AUSTRALIAN STANDARDS (AS 3660.1) - REQUIREMENTS.
6. SMOKE ALARMS ARE TO BE PROVIDED IN ACCORDANCE WITH B.C.A. REQUIREMENTS CLAUSE 1.7
7. ALL STORMWATER AND SEWER WORKS MUST COMPLY WITH LOCAL COUNCIL AND BOARD REQUIREMENTS.
8. NO RESPONSIBILITY WILL BE ACCEPTED BY M.A.D.S IF ANY PART OR WHOLE OF THE DRAWINGS HAS BEEN MODIFIED, DELETED OR ADDED TO IN ANY WAY.
9. BUILDER MUST CHECK FOR LOCATION OF SERVICES INCLUDING BUT NOT LIMITED TO SEWER, WATER, POWER, GAS, PHONE, FIBRE AND STORMWATER PRIOR TO THE COMMENCEMENT OF WORK. ONCE THE SEWER IS LOCATED IT IS THE BUILDERS RESPONSIBILITY TO DETERMINE WHETHER THE BUILDING LIES WITHIN THE ZONE OF INFLUENCE
10. ALL FLOOR PLAN DESIGNS INCLUDING ELEVATIONS ARE COPYRIGHTED AND ARE THE PROPERTY OF MACARTHUR DRAFTING AND MAY NOT BE REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION.

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80m2 MIN.
PRIVATE OPEN
SPACE

1500
748m

1501
800m

BLACKMAN CRESCENT

DA Area Calculations:

Site Area	800.00	m2
Landscape Area	327.04	m2 or 40.8%
Site Cover	282.10	m2 or 35.0%
Roof Area - HOUSE 2	189.21	m2
Roof Area - HOUSE 1	175.14	m2
Private Open Space - HOUSE 2	136.56	m2
Private Open Space - HOUSE 1	110.33	m2
Conditioned Floor Area - HOUSE 1	104.67	m2
Conditioned Floor Area - HOUSE 2	103.48	m2
Unconditioned Floor Area - HOUSE 1	12.90	m2
Unconditioned Floor Area - HOUSE 2	12.05	m2

CUT / FILL NOTE
F.F.L. +/- 90mm

SITE PLAN
1:200

5
DP 251447

CLIENT
ABERFOYLE HOMES

JOB:
**DUAL OCCUPANCY
(DETACHED)**
LOT 1501, DP -
150 GLADSTONE STREET - MUDGEE NSW 2850

DRAWING
SITE PLAN

SCALE: **A3** DATE: **19-2-2024**

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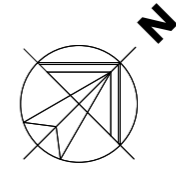
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SITE PLAN
1:500



CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP -
 150 GLADSTONE STREET - MUDGEE NSW 2850

DRAWING
SITE PLAN 1:500

SCALE: A3	DATE: 19-2-2024
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PLOT DATE: Wednesday, 19 June 2024

BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star
Alternative water source	Individual rainwater tanks to collect run off from at least 100 m² of roof area from each dwelling - Tank size min 3000 litres			
	The applicant must connect the rainwater tank to:			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	-	-
ENERGY	Hot water system: electric heat pump with a performance of 15 to 20 STCs or better.			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Natural ventilation only			
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
Install an induction cooktop & electric oven in the kitchen of the dwelling.				
Install an outdoor or unsheltered clothes drying line.				
Install an indoor or sheltered clothes drying line.				

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CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
LOT 1501, DP -
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DRAWING
BASIX NOTES

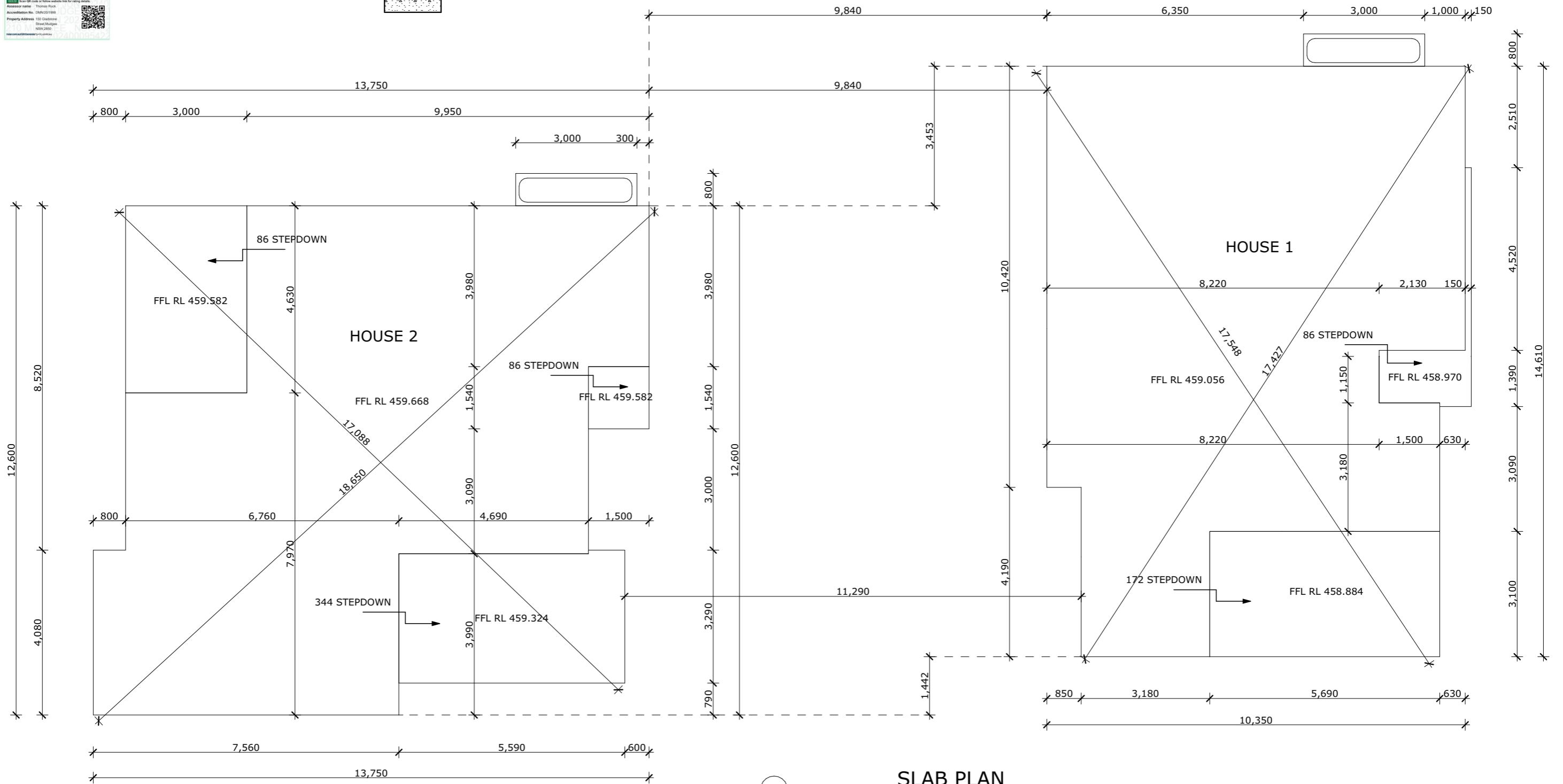
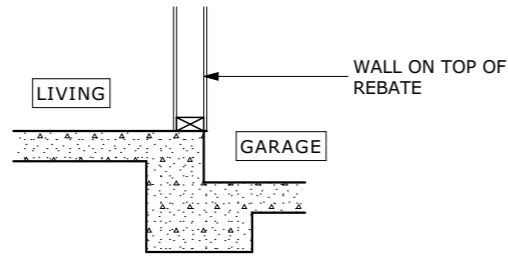
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NatHERS summary for House 1 & 2, 21 Gladstone Street Mudgee 2850		
Building Elements	Material	Detail
External walls	Brick Veneer – medium colour	R2.5HD bulk insulation (<i>excluding garage</i>)
	Light Weight Cladding	
Internal walls	Plasterboard on studs	R2.5HD bulk insulation to walls adjacent to garage, bath, laundry, skylight shaft
Ceiling	Plasterboard	R6.0 bulk insulation to ceilings with roof above (<i>excluding garage</i>)
Floors	Concrete	Waffle Pod (dwelling 225mm; garage 175mm)
Floor finishes	Living areas & entry – Timber	Beds - Carpet, Wet areas - Tiles
Roof	Metal Roof – Medium Colour	Bulders Blanket – Foil + R1.3 to underside of metal roof
Doors/Windows	Sliding windows/doors, fixed & double hung windows: (Excluding Bath & Ensuite) Aluminium frame, double glazed argon fill or similar	U value 4.50 or less and SHGC 0.61 +/- 10%
	Awning windows: Aluminium frame, double glazed or similar	U value 4.80 or less and SHGC 0.51 +/- 10%
	Sliding windows: (Bath & Ensuite only) Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/- 10%
Skylights	Double glazed	U value 4.20 or less and SHGC 0.72 +/- 10%
<i>U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 10% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire and acoustic regulations.</i>		
Lighting: This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.		
Note: Insulation specified must be installed in accordance with the BCA Volume Two.		
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		
Note: Self-closing dampers to bath and ensuite exhaust fans.		
Note: Additional insulation may be required to meet acoustic requirements		
Note: If metal frames are used, a revised assessment is required		





SLAB PLAN
1:100

CLIENT ABERFOYLE HOMES LOT 1501, DP - 150 GLADSTONE STREET - MUDGEES NSW 2850	JOB: DUAL OCCUPANCY (DETACHED)	SCALE AT A3: A3	DATE: 19-2-2024	NOTES: 1. LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE 2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING 3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED 4. WINDOW SIZES ARE NOMINAL ONLY. FINAL WINDOW SCHEDULE BY BUILDER	 www.macdraft.com.au (02) 4655 1390 info@macdraft.com.au © MACARTHUR DRAFTING SERVICES
	DRAWING CONCRETE SLAB PLAN	DRAWING No: 7168-3	SHEET: 15/20		

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PLOT DATE: Wednesday, 19 June 2024

Watering
 Over watering is wasteful. It stops plants adapting to the site and encourages unwanted growth that requires extra maintenance. Water plants enough to enable them to establish. New plants require weekly watering during dry spells in the six months after planting. Installing a watering well when planting advanced trees will make it easier to keep them adequately watered in dry periods. When plants are established, they should only be watered when stressed or to obtain a lush appearance.

Fertilisers
 Only use fertiliser on trees and shrubs when you know there are nutrient deficiencies in the soil that prevent them achieving their full growth potential. Lawns may be fertilised to maintain vigour and to ensure complete coverage

Soil Preparation
 Premium native garden mix is to be worked into soil to 200mm deeper and wider than plant pot size in garden beds.

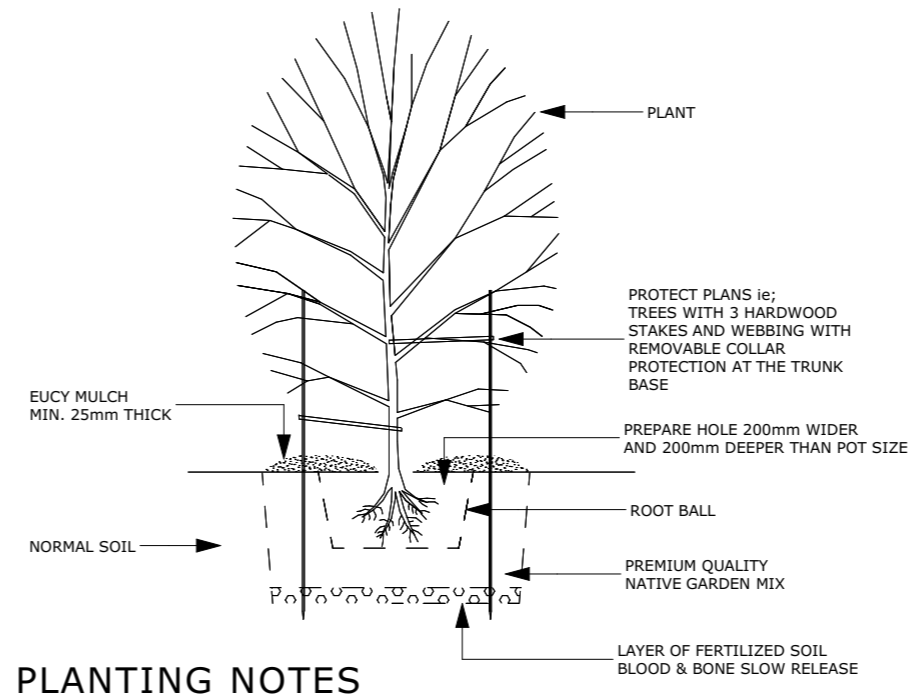
Mulching
 Apply Eucy Mulch to control weeds and conserve moisture. Mulch needs to be at least 25mm thick to be effective, but less than 75mm thick to avoid waterlogging and nutrient imbalances

Weeding and litter removal
 Remove weeds to create a neat appearance and ensure that vigorous weeds do not take over from your preferred plants. Remove litter in the interest of neatness and public health.

Planting & maintenance
 All plants to be planted in premium native garden mix.

Plant supports
 Stake and tie advanced trees until their roots have developed enough to give them stability. Make sure the ties are removed as soon as the tree is stable. You can place indicator stakes beside small plants to provide protection, but they should not be tied.

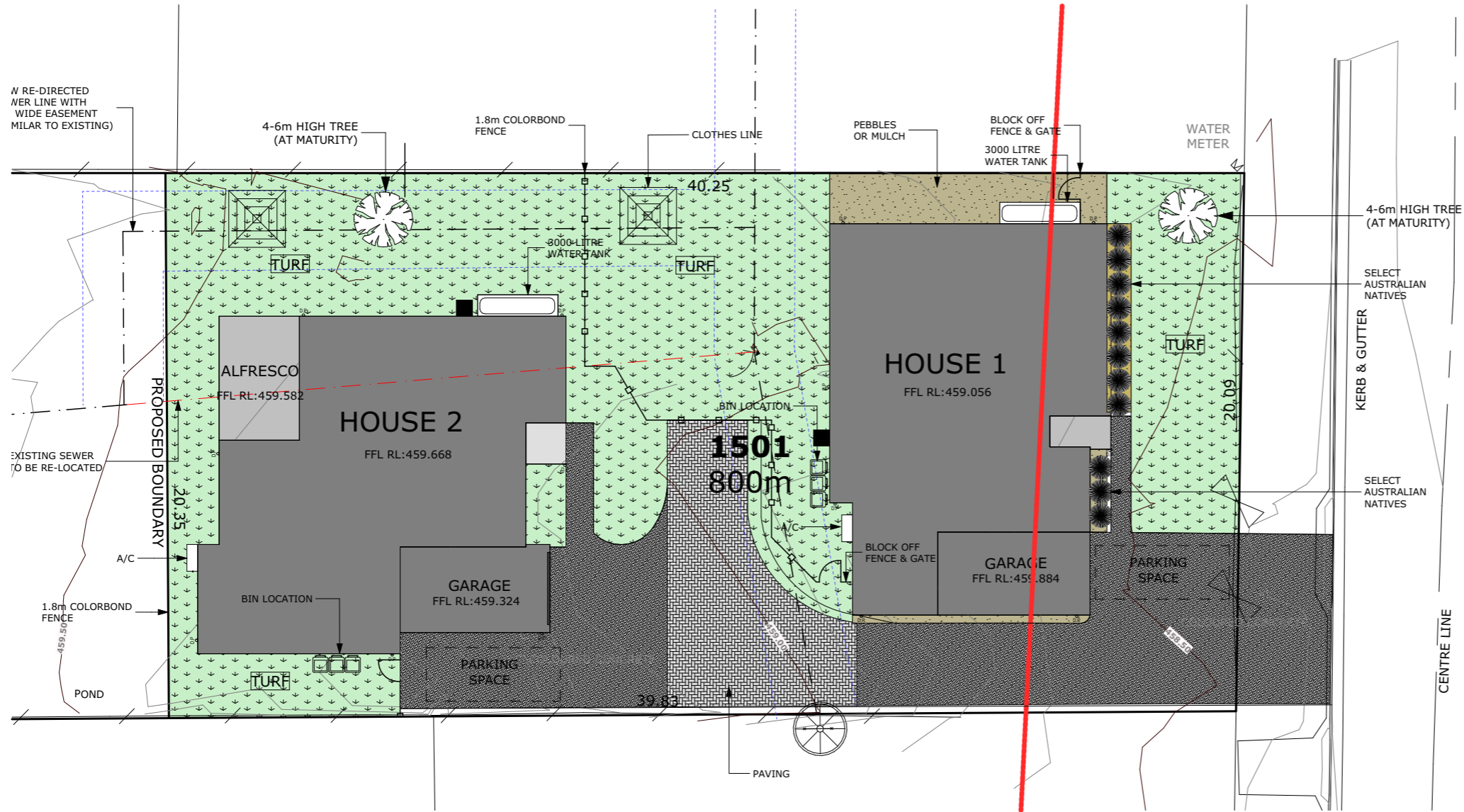
Pruning
 Prune plants to control their size, give them an appropriate form, and maintain their vigour. While plants can be pruned to achieve a particular effect, pruning should always be sensitive to the natural growth habits of the species. Trees should be pruned to obtain a strong branch framework and shrubs pruned to obtain the desired density and height. Pruning may also be required to ensure that security is not compromised by dense vegetation. All plants / gardens to be maintained for 6 months or until established. Any losses replaced.



PLANTING NOTES

- NOTES:**
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LANDSCAPE PLAN
 1:200

CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP -
 150 GLADSTONE STREET - MUDGEE NSW 2850

DRAWING
LANDSCAPE PLAN

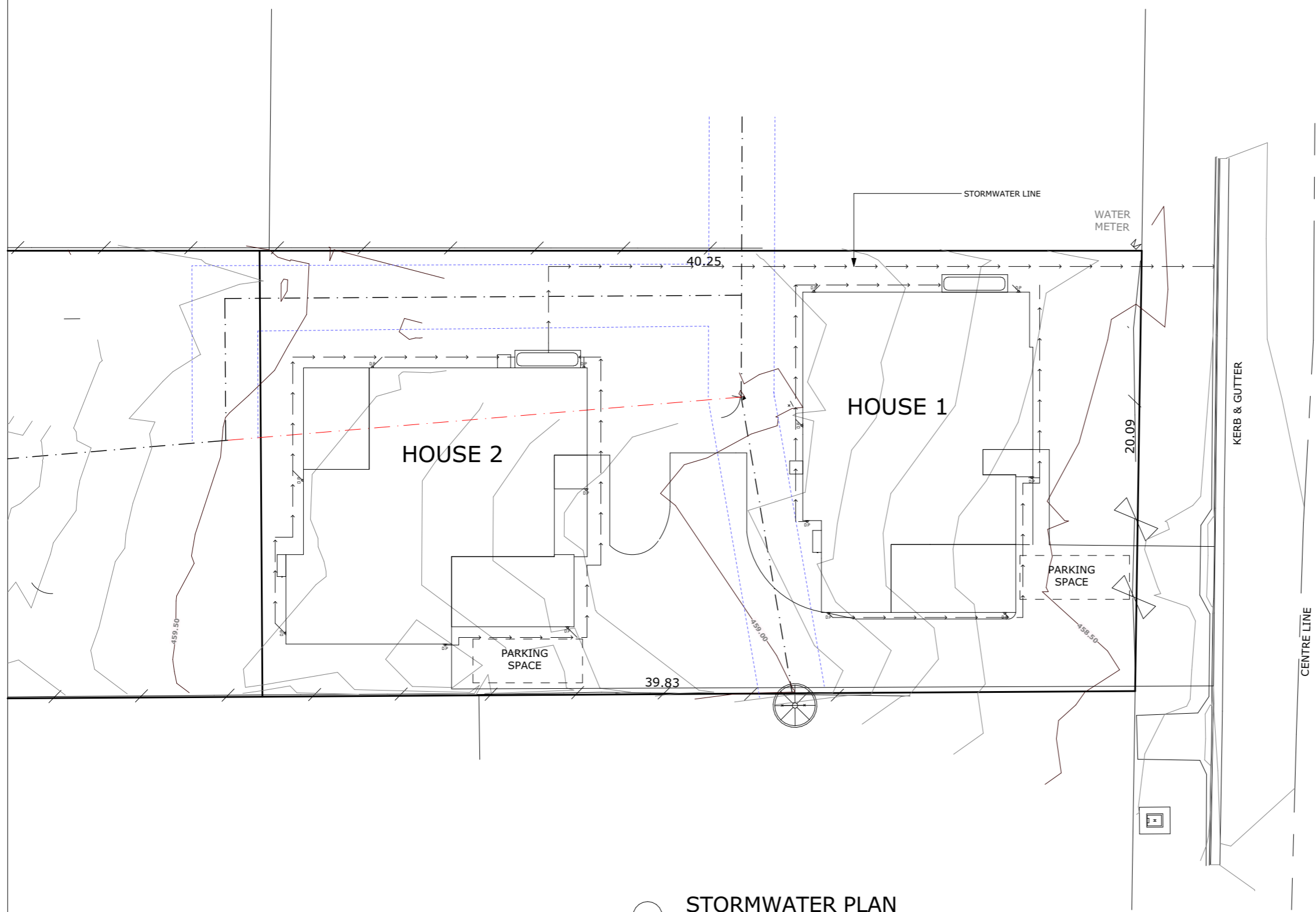
SCALE: A3	DATE: 19-2-2024	
DRAWING No: 7168-3	SHEET: 16/20	ISSUE: L

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 PLOT DATE: Wednesday, 19 June 2024

NOTES:
 1. LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE
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 3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED
 4. WINDOW SIZES ARE NOMINAL ONLY. FINAL WINDOW SCHEDULE BY BUILDER

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○ STORMWATER PLAN
1:200

STORMWATER TO TANK THEN STREET

CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP -
 150 GLADSTONE STREET - MUDGEE NSW 2850

DRAWING
STORMWATER PLAN

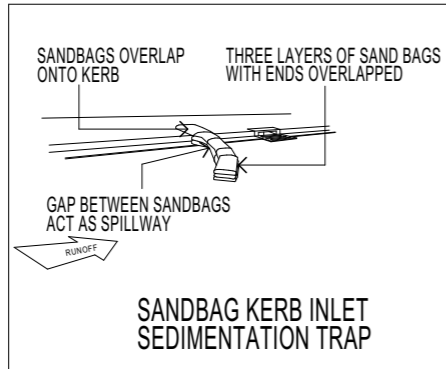
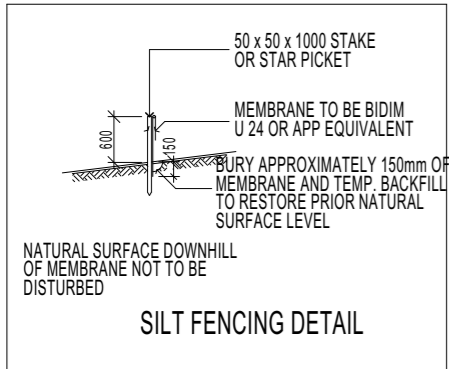
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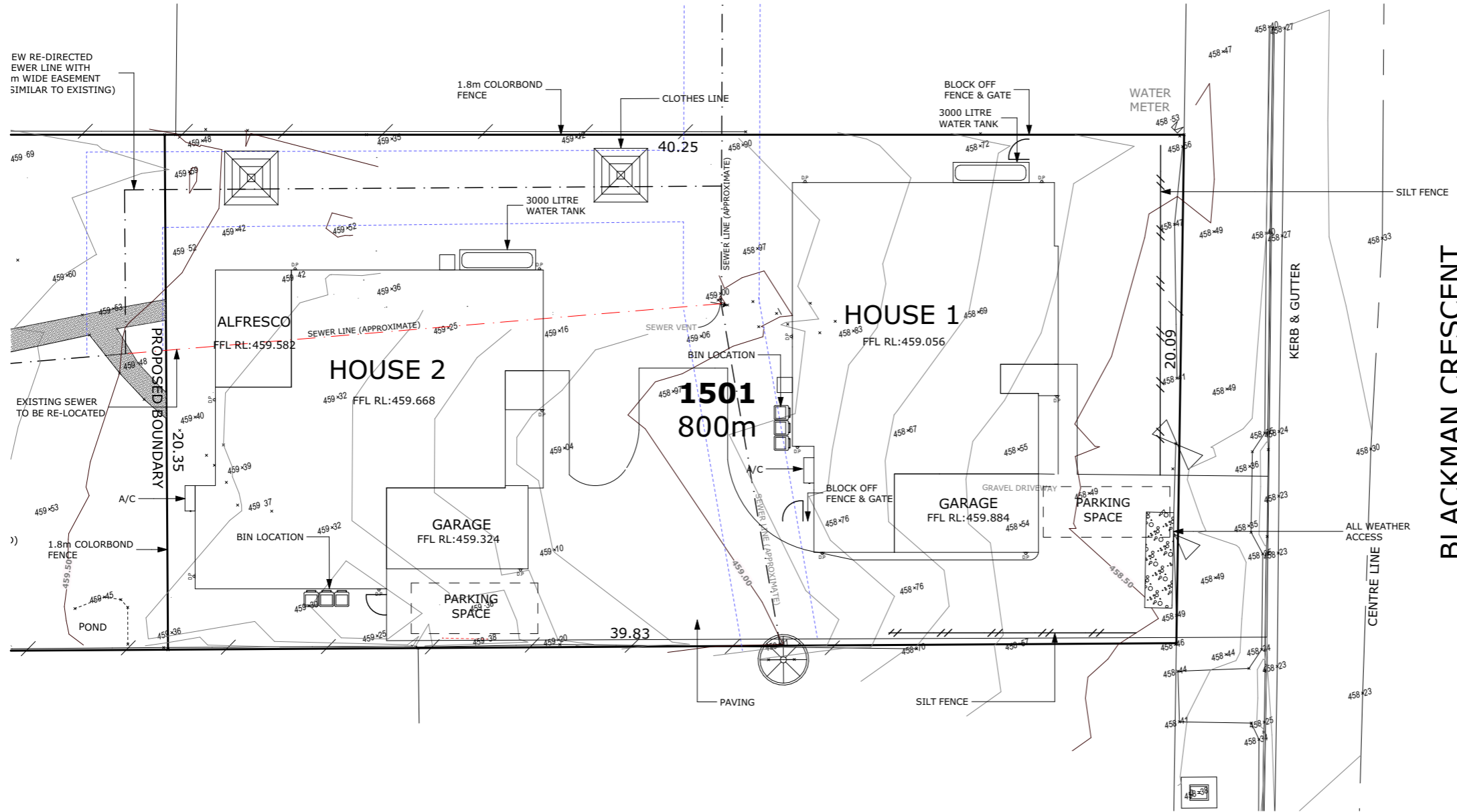


DUST CONTROL MEASURES:
 IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS (CLIENT) WILL SPRINKLE WATER ON THE DUST
 ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED)

NOISE & VIBRATION MEASURES:
 ALL EXCAVATION WILL BE CARRIED OUT BETWEEN THE TIME SETOUT IN THE COUNCIL CONDITIONS
 MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR THE JOB

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SEDIMENT CONTROL PLAN
 1:200

CLIENT
ABERFOYLE HOMES

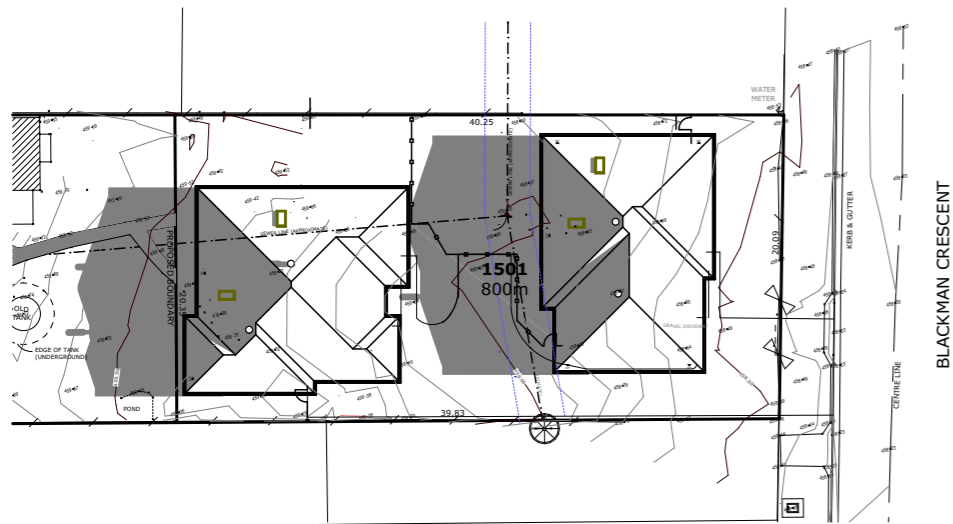
JOB:
DUAL OCCUPANCY (DETACHED)
 LOT 1501, DP - 150 GLADSTONE STREET - MUDGEE NSW 2850

DRAWING
SEDIMENT CONTROL PLAN

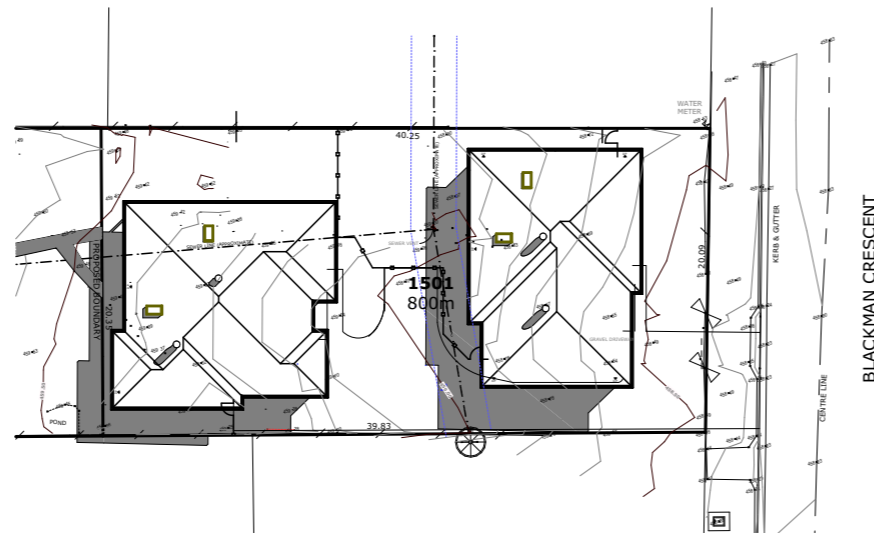
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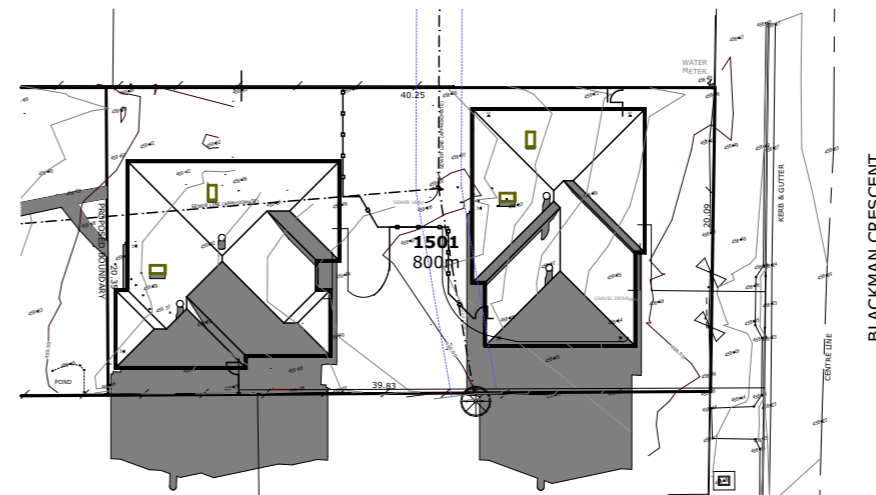
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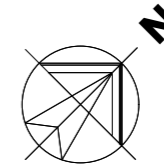
9AM SHADOW - 21ST JUNE
1:500



12 NOON SHADOW - 21ST JUNE
1:500



3PM SHADOW - 21ST JUNE
1:500



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CLIENT
ABERFOYLE HOMES

JOB:
DUAL OCCUPANCY (DETACHED)
LOT 1501, DP -
150 GLADSTONE STREET - MUDGEES NSW 2850

DRAWING
SHADOW DIAGRAMS

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1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS (NON RESIDENTIAL ONLY)

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on a ground this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below

1. Prevent or restrict access to areas below where the work is being carried out
2. Provide toeboards to scaffolding or work platforms
3. Provide protective structure below the work area
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects.

Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material..

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, Rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified: This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

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CLIENT

ABERFOYLE HOMES

JOB:

DUAL OCCUPANCY (DETACHED)

LOT 1501, DP - 150 GLADSTONE STREET - MUDGEESDALE NSW 2850

DRAWING

SAFETY NOTES

SCALE:

A3

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THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.