



# MILAZZO PROPOSED DETACHED DUAL OCCUPANCY

LOT 1234, 2 MARGARET LANE  
CAERLEON, NSW, 2850



## 01 | LOCALITY PLAN SCALE: 1 : 1 (A3)

### DRAWING SCHEDULE

- 0510-01 TITLE & LOCATION PLAN
- 0510-02 BASIC CERTIFICATE COMMITMENTS
- 0510-03 SITE, SUBDIVISION & LANDSCAPE PLAN
- 0510-04 DWELLING ONE FLOOR PLAN
- 0510-05 DWELLING TWO FLOOR PLAN
- 0510-06 DWELLING ONE ELEVATIONS
- 0510-07 DWELLING TWO ELEVATIONS
- 0510-08 SECTION & GENERAL NOTES
- 0510-09 DWELLING ONE ELECTRICAL & MECHANICAL PLAN
- 0510-10 DWELLING TWO ELECTRICAL & MECHANICAL PLAN

**ISSUED FOR DA APPROVAL**

Rev	Date	Description
A	1/12/23	ISSUED FOR REVIEW
B	17/05/24	ISSUED FOR REVIEW
C	22/05/24	ISSUED FOR DA APPROVAL
D	24/05/24	ISSUED FOR DA APPROVAL

**NOTE:**  
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- SEPARATE SPECIFICATION DOCUMENTS  
- STRUCTURAL ENGINEERS DOCUMENTATION  
- BAKS CERTIFICATE (WHERE APPLICABLE)  
- ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP  
Client: **MILAZZO**  
Project: **DUAL OCCUPANCY AT  
2 MARGARET LANE, CAERLEON  
(LOT 1234)**



**LYNCH BUILDING  
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Drawing Title: **TITLE & LOCATION PLAN**  
Design: **LBG** Sheet 01 of 10  
Drawn: **G.HACKETT** Drawing Number  
Check: **J.LYNCH** 0510 - A01  
Revision: **D**

## DWELLING ONE BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS		THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.			
<b>FLOOR, WALLS, CEILING/ROOF:</b>	<b>ADD. INSULATION REQ'D. (R-VALUE)</b>	<b>OTHER SPECIFICATIONS</b>			
FLOOR - CONCRETE SLAB ON GROUND	NIL				
EXTERNAL WALL: BRICK VENEER	3.44 (OR 4.00 INCLUDING CONSTRUCTION)				
EXTERNAL WALL: FRAMED / CLADD	3.50 (OR 4.00 INCLUDING CONSTRUCTION)	LIGHT (SOLAR ABSORBANCE <0.48)			
INTERNAL WALL: SHARED WITH GARAGE	NIL				
CEILING & ROOF - FLAT	CEILING - 5 (UP)	UNVENTILATED			
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	MEDIUM (SOLAR ABSORBANCE 0.48-0.59)			
ENERGY COMMITMENTS		THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.			
<b>HOT WATER:</b>	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 5 STARS				
<b>COOLING SYSTEM:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)				
<b>HEATING SYSTEM:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)				
<b>VENTILATION:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 3.5 STAR (COLD ZONE)				
<b>ARTIFICIAL LIGHTING:</b>	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF				
<b>NATURAL LIGHTING:</b>	KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF				
<b>OTHER:</b>	LAUNDRY: NATURAL VENTILATION ONLY				
<b>ARTIFICIAL LIGHTING:</b>	THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING DIODE (LED) LAMPS.				
<b>NATURAL LIGHTING:</b>	THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING:				
<b>OTHER:</b>	- AT LEAST 2 BATHROOMS/TOILETS				
<b>ARTIFICIAL LIGHTING:</b>	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE				
<b>OTHER:</b>	THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN				
GLAZING REQUIREMENTS		THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.			
WINDOW/DOOR	ORIENTATION	SIZE	OVER-SHAD SHADING	TYPE	
BED 2	NORTH	15m x 15m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
LAUNDRY	NORTH	2.0m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
KITCHEN	NORTH	1.0m x 1.2m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
DINING	EAST	1.8m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=4.5, SHGC: 0.74)
DINING	EAST	1.8m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=4.5, SHGC: 0.74)
LIVING	EAST	2.0m x 2.7m	-	E: 3150mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=4.5, SHGC: 0.74)
BED 3	SOUTH	1.5m x 1.0m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
BED 3	SOUTH	1.5m x 1.0m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
BATH	SOUTH	0.6m x 2.1m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
BED 4	SOUTH	1.5m x 1.0m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
BED 4	SOUTH	1.5m x 1.0m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
BED 1	WEST	0.6m x 2.7m	-	E: 150mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
ENSUITE	WEST	0.9m x 0.9m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.5, SHGC: 0.74)
WATER COMMITMENTS		THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.			
<b>LANDSCAPE:</b>	THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 3 SQUARE METRES OF THE SITE.				
<b>FIXTURES:</b>	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (4.5-=<=6L/min).				
	THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR.				
	THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.				
<b>ALTERNATIVE WATER SOURCE:</b>	THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.				
	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS.				
	TO COLLECT RUNOFF FROM 232m <sup>2</sup> ROOF AREA MIN.				
	THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:				
	- THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER;				
	- AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.				

## DWELLING TWO BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS		THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.			
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EXTERNAL WALL: FRAMED / CLADD	3.50 (OR 4.00 INCLUDING CONSTRUCTION)	LIGHT (SOLAR ABSORBANCE <0.48)			
INTERNAL WALL: SHARED WITH GARAGE	NIL				
CEILING & ROOF - FLAT	CEILING - 5 (UP)	UNVENTILATED			
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	MEDIUM (SOLAR ABSORBANCE 0.48-0.59)			
ENERGY COMMITMENTS		THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.			
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WINDOW/DOOR	ORIENTATION	SIZE	OVER-SHAD SHADING	TYPE	
DINING	NORTH	1.8m x 1.8m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=4.5, SHGC: 0.74)
LIVING	NORTH	2.0m x 2.4m	-	E: 3530mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=4.5, SHGC: 0.74)
BED 1	EAST	1.5m x 1.0m	-	E: 125mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
BED 1	EAST	1.5m x 1.0m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
ENSUITE	SOUTH	0.6m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
BED 2	SOUTH	1.2m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
BATH	SOUTH	0.9m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
BED 3	SOUTH	1.2m x 1.5m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=5.5, SHGC: 0.74)
LIVING	WEST	1.8m x 1.8m	-	E: 450mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=4.5, SHGC: 0.74)
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	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS.				
	TO COLLECT RUNOFF FROM 207m <sup>2</sup> ROOF AREA MIN.				
	THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:				
	- THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER;				
	- AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.				

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LYNCH BUILDING GROUP  
 Client: MILAZZO  
 Project: DUAL OCCUPANCY AT 2 MARGARET LANE, CAERLEON (LOT 1234)

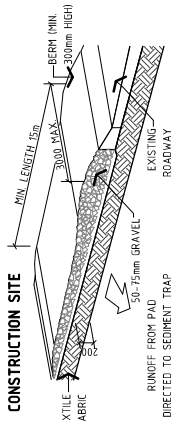
**bdag**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

LYNCH BUILDING GROUP  
 DESIGN - CONSTRUCT - DELIVER

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Drawing Title: **BASIX CERTIFICATE COMMITMENTS**  
 Design: **LBG** Sheet 02 of 10  
 Drawn: **G.HACKETT** Drawing Number  
 Check: **J.LYNCH** 0510 - A02  
 Revision: **D**

**ISSUED FOR DA APPROVAL**



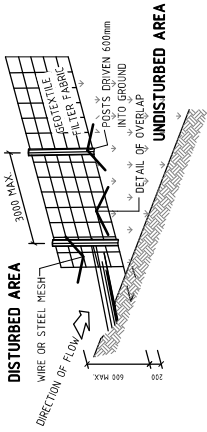
CONSTRUCTION SITE

## 02 SITE PLAN

SCALE: 1:200 (A3)

### DETAIL PLAN: CONSTRUCTION ENTRY / EXIT

NOT TO SCALE



DISTURBED AREA

UNDISTURBED AREA

### DETAIL PLAN: SEDIMENT FENCE

NOT TO SCALE

### EROSION & SEDIMENT CONTROL NOTES

1. ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
2. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER AT LEAST WEEKLY. IF STRUCTURES ARE TO BE REMOVED, THEY ARE TO BE REINSTALLED & INSPECTED BY THE BUILDER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.
4. ACCESS TO SITE IS TO BE THROUGH USE OF THE ENTRY/EXIT SHOWN
5. ALL VEGETATION OUTSIDE OF THE CONSTRUCTION AREA IS TO BE RETAINED WHERE POSSIBLE (VEGETATION BUFFER)
6. STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE.
7. NO STORAGE OF MATERIALS OR VEHICLE MOVEMENTS ARE TO OCCUR OUTSIDE THE SITE BOUNDARIES.

### SITework NOTES

1. CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK
2. THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS
3. THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
4. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
5. BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.

**LEGEND**

- TEMPORARY SITE MATERIAL DISPOSAL AREA DURING CONSTRUCTION TO BE PROTECTED BY A SEDIMENT FENCE OR STRAW BALE FILTER.
- SITE ACCESS DURING CONSTRUCTION

**SITE COVERAGE**

LOT 1234 CAERLEON ESTATE, CAERLEON

SITE COVERAGE: 9018 m<sup>2</sup>

TOTAL GFA INCLUDING PORCH & ALFRESCO AREAS: 351 m<sup>2</sup> / 3.87%

LANDSCAPING - INCLUDING GRAVEL AREAS LESS TOTAL DRIVEWAY & PATHWAYS: 55080 m<sup>2</sup> / 54.00 m<sup>2</sup> / 59.99%

PRIVATE OPEN SPACE (POS): DWELLING ONE: 66.92 m<sup>2</sup> / 130.67 m<sup>2</sup> / 21.19% DWELLING TWO: 66.92 m<sup>2</sup> / 197.59 m<sup>2</sup> / 21.19%

**SUBDIVISION NOTES**

LOT 1234 PROPOSED ROAD, CAERLEON ESTATE  
 DP - 18A - ZONING R1 GENERAL RESIDENTIAL

TOTAL LOT 1234 AREA: 9018 m<sup>2</sup>  
 PROPOSED LOT 1 (DWELLING ONE): 498.33 m<sup>2</sup>  
 PROPOSED LOT 2 (DWELLING TWO): 4034.7 m<sup>2</sup>

CONVERT ALL DIMENSIONS BACK TO SPECIFIC SURVEY PLANS PRIOR TO COMMENCEMENT OF ANY WORKS  
 PROPOSED DIVIDING SUBDIVISION BOUNDARY IS APPROXIMATE ONLY & TO BE CONFIRMED AS ABOVE  
 PROPOSED LOT AREAS ARE APPROXIMATE ONLY & SHOULD BE READ IN CONJUNCTION WITH SPECIFIC SURVEY PLANS

### LANDSCAPING DETAILS

- SMALL SHRUBS TO 1.0m HIGH
- SUBERF BOY (PHORUM)
  - BRONZE BABY (PHAGOLUM)
  - GOLF BABY (PITTOSPORUM)
- SMALL ORNAMENTAL TREES TO 3.0m HIGH
- MANCHURIAN PEAR (PYRUS USSURENSIS)

CONSULT LOCAL NURSERY FOR AVAILABILITY AND SUSTAINABILITY OF SPECIES LISTED & SUBSTITUTE SIMILAR PLANTING IF REQUIRED  
 MULCH BEDS WITH WOODCHIP OR PEBBLES & FILL OUT OR LINE BEDS WITH GROUND COVERS OR SIMILAR SMALL PLANTS  
 EDGE BEDS WITH INSTITU FORRED CONCRETE ROLLED EDGE, SLEEPERS, MASONRY BLOCK EDGING OR SIMILAR AS SELECTED

KKUYU TURF TO ALL AREAS, UNLESS GRAVEL IS STATED AND DISPLAYED OTHERWISE.

AT BUILDERS DISCRETION SUBSTITUTE SHRUBS AND TREES MAY BE USED TO REPLACE THIS ABOVE MENTIONED SPECIES AND ALSO THE LOCATION OF GARDEN BEDS, SHOULD THE SITE LEAD TO AN ALTERNATIVE / MORE SUITABLE OPTION.



PROPOSED NEW RESIDENCE (DWELLING TWO)

DENOTES CLOTHESLINE TO CLIENTS SELECTED LOCATION



PROPOSED NEW RESIDENCE (DWELLING ONE)

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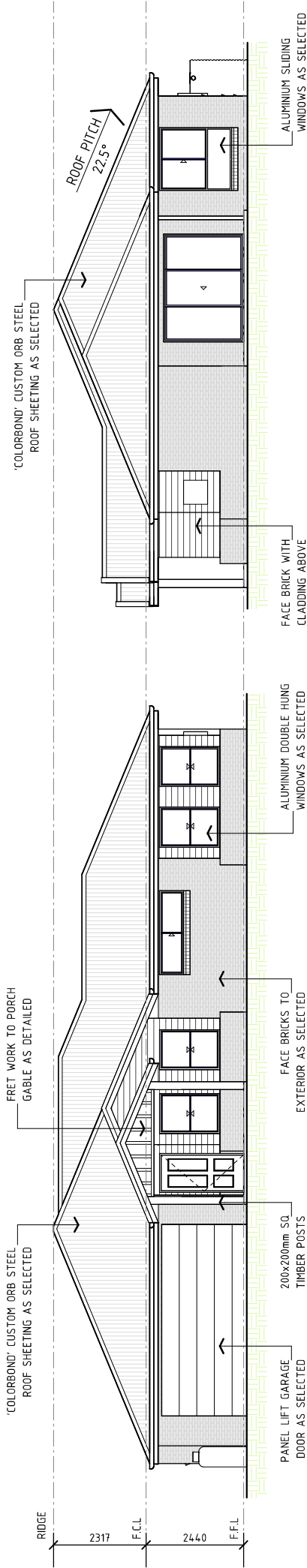
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Drawing Title: **SITE, SUBDIVISION & LANDSCAPE PLAN**  
 Sheet 03 of 10  
 Design: LBG  
 Drawn: G.HACKETT  
 Check: J.LYNCH  
 Drawing Number: 0510 - A03  
 Revision: D

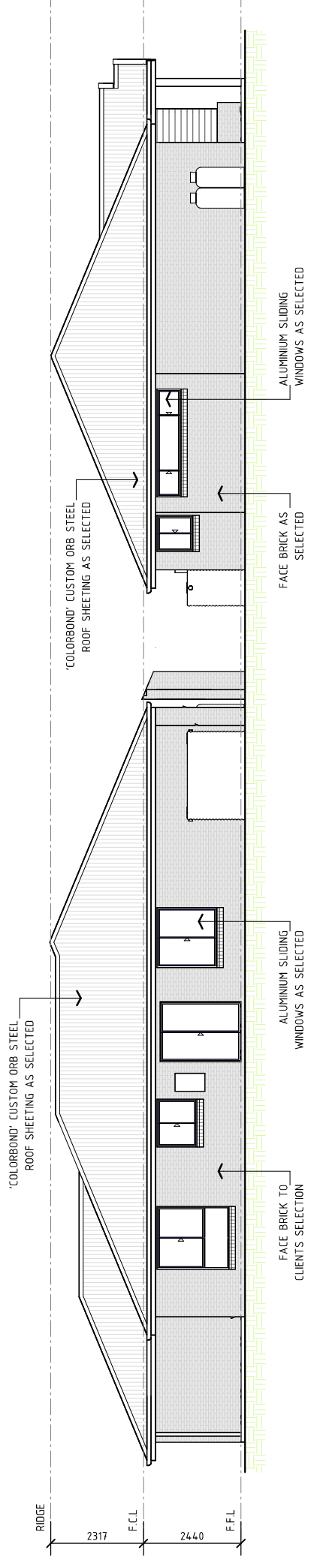
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# DWELLING ONE



**05 ELEVATION: SOUTH FACADE**  
SCALE: 1 : 100 (A3)

**06 ELEVATION: EAST FACADE**  
SCALE: 1 : 100 (A3)



**07 ELEVATION: NORTH FACADE**  
SCALE: 1 : 100 (A3)

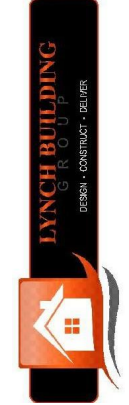
**08 ELEVATION: WEST FACADE**  
SCALE: 1 : 100 (A3)

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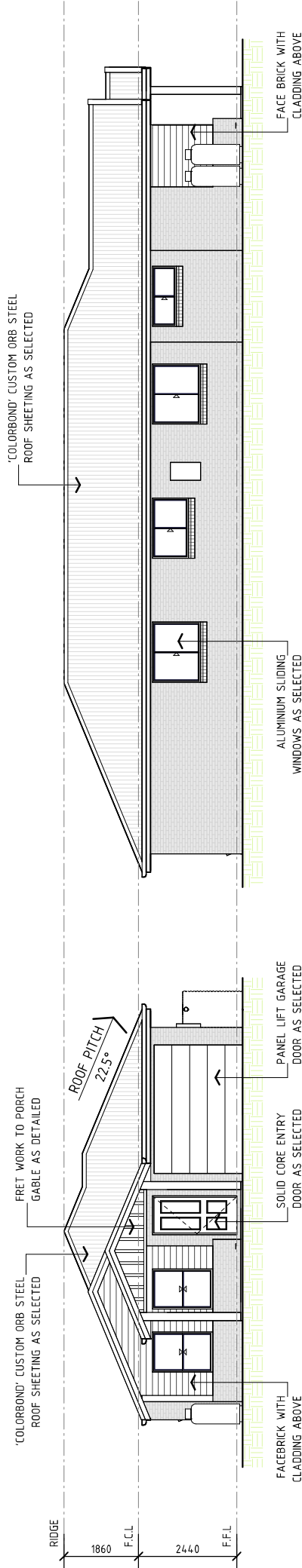


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Sheet 06 of 10  
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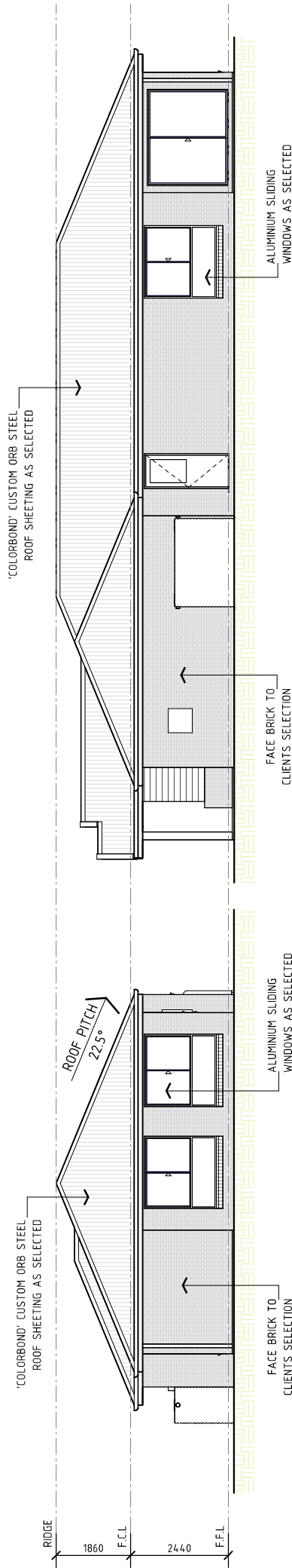
ISSUED FOR DA APPROVAL

DWELLING TWO



**09 ELEVATION: EAST FACADE**  
SCALE: 1 : 100 (A3)

**10 ELEVATION: SOUTH FACADE**  
SCALE: 1 : 100 (A3)



**11 ELEVATION: WEST FACADE**  
SCALE: 1 : 100 (A3)

**12 ELEVATION: NORTH FACADE**  
SCALE: 1 : 100 (A3)

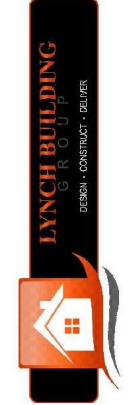
**ISSUED FOR DA APPROVAL**

Rev	Date	Description
A	1/12/23	ISSUED FOR REVIEW
B	17/05/24	ISSUED FOR REVIEW
C	22/05/24	ISSUED FOR DA APPROVAL
D	24/05/24	ISSUED FOR DA APPROVAL

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LYNCH BUILDING GROUP  
 Client: MILAZZO  
 Project: DUAL OCCUPANCY AT  
 2 MARGARET LANE, CAERLEON  
 (LOT 1234)

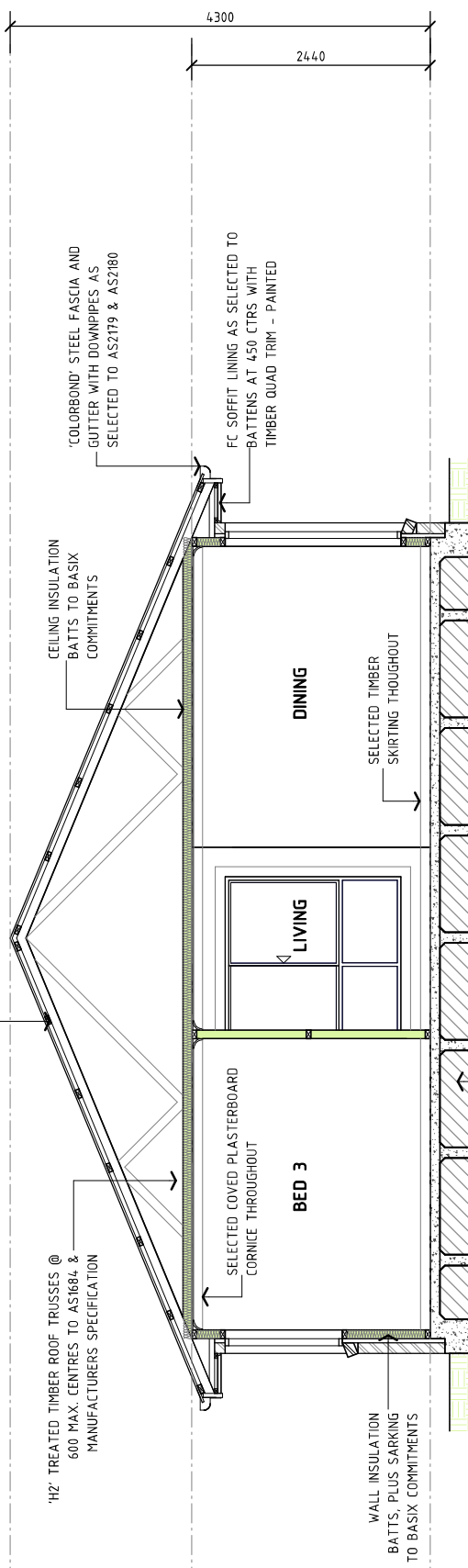


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Drawing Title: DWELLING TWO ELEVATIONS  
 Design: LBG  
 Drawn: G.HACKETT  
 Check: J.LYNCH  
 Sheet 07 of 10  
 Drawing Number: 0510 - A07  
 Revision: D

SELECTED 'COLORBOND' STEEL ROOF SHEETING AT 22.5° ROOF PITCH, FIXED TO STEEL BATTENS SARKING TO MANUFACTURERS SPECIFICATIONS

'H2' TREATED TIMBER ROOF TRUSSES @ 600 MAX. CENTRES TO AS1684 & MANUFACTURERS SPECIFICATION



### 13 SECTION: TYPICAL SECTION

SCALE: 1 : 50 (A3)

#### GENERAL NOTES:

- PLANS DOCUMENTED FOR THE EXCLUSIVE USE OF THE NOTES CLIENTS BELOW ONLY & SUBJECT TO COPYRIGHT LAWS.
- ALL DIMENSIONS & INFORMATION WITHIN THESE SET OF PLANS ARE DOCUMENTED DUE TO CARE.
- ALL DRAWINGS WITHIN THIS SET OF PLANS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DESIGNS & SPECIFICATIONS & WITH OTHER WRITTEN INSTRUCTIONS ISSUED DURING ESTIMATIONS & CONSTRUCTION WITH SELECTED BUILDER.
- ALL DISCREPANCIES SHALL BE REFERRED TO, IN WRITING TO LYNCH BUILDING GROUP FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. DIMENSIONS ARE TO STRUCTURAL ELEMENTS OF THE DRAWING & NOT TO FINISHED SURFACES IE. TILING, PLASTERBOARD ETC.
- ALL RELEVANT DIMENSIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & FABRICATION WITH REGARDS TO ONSITE & OFF SITE REQUIREMENTS & WORK
- TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH AS3660.

- THE RELEVANT SERVICE AUTHORITIES SHALL BE CONSULTED IN REGARDS TO CONFIRMING / CHECKING ALL DIMENSIONS, LEVELS, SERVICES & SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED & APPROVAL SORT FROM / OBTAINED PRIOR TO CONSTRUCTION, IF & WHEN NECESSARY.
- STUD WALL & TRUSSED ROOF DESIGN, BRACING & TIE DOWN TO SELECTED FRAME & TRUSS MANUFACTURERS ENGINEERED SPECIFICATIONS TO AS1684, WHERE APPLICABLE.
- SHALL NO WIND CLASSIFICATION BE NOTED, CLIENT TO BE ADVISED BY PCA OR ENGINEERING CONSULTANT.
- SITE CLASSIFICATION TO BE DETERMINED BY QUALIFIED GEOTECHNICAL ENGINEER & ALL REINFORCED CONCRETE FOOTINGS & SLABS TO BE CONSTRUCTED TO AS2870.
- ALL STORMWATER FROM ROOF TO BE DISPURSED TO REQUIRED DOWNPIPES & TO STREET/RAIN WATER TANK TO AUSTRALIAN STANDARDS & PCA REQUIREMENTS.
- A MINIMUM WATER ALLOWANCE SHALL BE PROVIDED FOR RURAL PROPERTIES FOR FIRE FIGHTING PURPOSES AS SPECIFIED BY PCA.

- WHERE A SITE REQUIRES CUT & FILL TO OCCUR OR RETAINING WALLS CONSTRUCTED, ENGINEERS SHALL BE CONSULTED WHERE NECESSARY & BUILDING CONTRACTOR TO ENSURE ALL FINAL LEVELS, GROUND LINES & GRADIENTS DIVERT ALL SURFACE STORM WATER FROM THE PROPOSED RESIDENCE EITHER BY MEANS OF PIPES, DETENTION AREAS OR GRADING TO KERB, NEIGHBOURING PROPERTIES MUST BE TAKEN INTO CONSIDERATION WITH THE DESIGN OF THE FLOW OF THE STORM WATER.
- SEWER DRAINAGE LINES TO BE CONNECTED TO SEWER MAIN OR IN CASE OF A RURAL PROPERTY, CONNECTED TO A SEPTIC SYSTEM, IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS & LOCAL PCA.
- A QUALIFIED CONTRACTOR SHALL COMPLETE THE FINAL DRAINAGE LAYOUT TO BE SUBMITTED TO THE LOCAL PCA FOR THEIR RECORDS & APPROVAL.
- THE HOT WATER SYSTEM IS AS SPECIFIED WITHIN THE BASIX CERTIFICATE & LOCATION NOTED ON THE FLOOR PLAN.
- WHERE BRICK VENEER CONSTRUCTION IS SPECIFIED, CONTROL JOINTS FOR ARTICULATION MUST BE PROVIDED AT NOMINAL 6.0m MAX. CENTRES OR TO STRUCTURAL ENGINEERS DETAILS.

#### SECTION NOTES:

- FOR COMPLETE SLAB DETAILS & DESIGN REFER TO ENGINEERS SPECIFICATIONS & DESIGNS.
- TERMITE TREATMENT SHALL BE INCLUDED TO PROTECT AGAINST INFESTATION TO AS3660.1-2000.
- PARTY WALL DETAILS -
  - SEPARATING PARTY WALL MUST NOT BE CROSSED BY TIMBER OR OTHER COMBUSTIBLE BUILDING ELEMENTS WITH THE EXCEPTION OF STEEL ROOFING BATTENS WITH THE DIMENSIONS 75x50mm OR ROOF SARKING. MUST ALSO BE PACKED USING FIRE RESISTANT MATERIAL IN ACCORDANCE WITH THE BCA
  - 25mm GYPROCK SHAFT LINER PANEL BETWEEN STEEL "H" WITH 20-40mm OF SEPERATION BETWEEN FRAMES & GYPROCK SHAFT LINER PANEL.
  - STUDS AT 600mm MAX CENTRES
  - 10mm GYPROCK "SUPERCHECK" PLASTERBOARD WALL LINING TO FACE OF PARTY WALL (GYPROCK EWFA 45743 CSR 360 PARTY WALL SYSTEM)
  - SELECT WALL FRAMING WITH R2.7 GOLD WALL INSULATION BATTIS TO BE INSTALLED.
  - FIRE RESISTANT MINERAL FIRE BLANKET TO BE INSTALLED DIRECTLY ABOVE PART WALL TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH THE BCA

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Drawing Title: SECTION & GENERAL NOTES  
 Design: LBG  
 Drawn: G.HACKETT  
 Check: J.LYNCH  
 Sheet 08 of 10  
 Drawing Number: 0510 - A08  
 Revision: D