

127 GLADSTONE STREET, MUDGEEE, NSW 2850

ARCHITECTURAL CONCEPT DESIGN PACKAGE



1 LOCALITY PLAN

1 : 1000

SHEET LIST			
NO.	NAME	REV.	DATE
DA001	COVER SHEET	M	12.08.24
DA100	EXISTING SITE PLAN	G	12.08.24
DA110	GROUND FLOOR PLAN	M	12.08.24
DA111	LEVEL 01	J	12.08.24
DA112	ROOF PLAN	F	12.08.24
DA300	ELEVATIONS SHEET ONE	J	12.08.24
DA301	ELEVATIONS SHEET TWO	A	12.08.24
DA302	ELEVATIONS SHEET THREE	A	12.08.24
DA303	ELEVATIONS SHEET FOUR	A	12.08.24
DA304	ELEVATIONS SHEET FIVE	A	12.08.24
DA320	SECTIONS SHEET ONE	H	12.08.24
DA321	SECTIONS SHEET TWO	F	12.08.24
DA950	SHADOW STUDIES	J	12.08.24
DA951	SHADOW DIAGRAMS	F	12.08.24
DA970	PERSPECTIVES SHEET ONE	F	12.08.24
DA971	PERSPECTIVES SHEET TWO	E	12.08.24

PROPERTY INFORMATION

LOT 1/-/DP1296212

LOCAL AUTHORITY: MID-WESTERN REGIONAL COUNCIL
 ZONE : R3 - MEDIUM DENSITY RESIDENTIAL
 SITE AREA : 998.8m² (AS PER SURVEY PROVIDED)

BUILDING DESCRIPTION

CLASS 3 - RESIDENTIAL CARE UNITS FOR NDIS
TYPE C CONSTRUCTION
SDA CATEGORY : HIGH PHYSICAL SUPPORT (HPS)
 SINGLE DETACHED DWELLINGS (8.5m MAX. BUILDING HEIGHT)

DWELLING MIX

DWELLING A - SINGLE STOREY:
 3 BEDROOM (2x HPS COMPLIANT), 3 BATHROOM (2x HPS ENSUITES)

DWELLING A - 2 STOREY:
 3 BEDROOM (2x HPS COMPLIANT), 3 BATHROOM (2x HPS ENSUITES)

DWELLING AREAS

DWELLING A:
 INTERNAL: 181m²
 EXTERNAL: 19m²

DWELLING B:
 INTERNAL: 271m²
 EXTERNAL: 36m²

CARPARKING

EACH DWELLING HAS 1 SINGLE LOCK UP GARAGE SPACE AND 1 ADDITIONAL CAR SPACE ON DRIVEWAY.

PRIVATE OPEN SPACE

80m² MIN. PER UNIT
DWELLING A: 83m² OF PRIVATE OPEN SPACE (P.O.S)
DWELLING B: 145m² OF PRIVATE OPEN SPACE (P.O.S)

LANDSCAPE

DWELLING A: 156m² OF LANDSCAPED AREA SEPARATE FROM P.O.S.
DWELLING B: 128m² OF LANDSCAPED AREA SEPARATE FROM P.O.S.

SITE COVERAGE

445m² TOTAL
 44.55% OF SITE AREA



2 STREET VIEW PERSPECTIVE



DATE	REV	AMENDMENT
12.08.24	M	DA RFI RESPONSE_FOR CLIENT APPROVAL
17.07.24	L	DA RFI
10.07.24	K	DA RFI



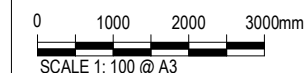
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CLIENT:
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PROJECT: GLADSTONE ST SDA
 CONCEPT DESIGN
 127 Gladstone Street, Mudgee NSW 2850

DRAWING TITLE: COVER SHEET

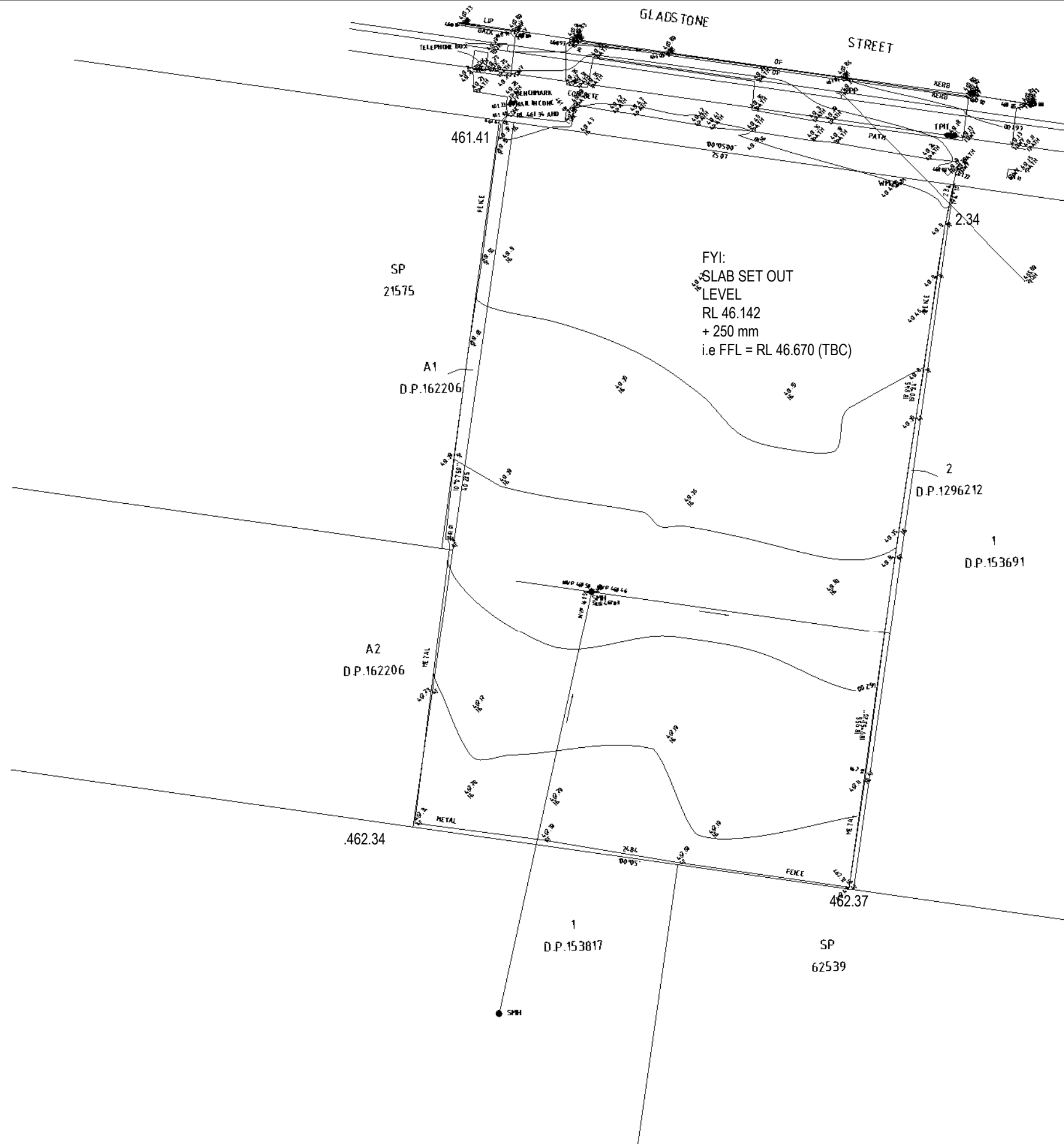


SCALE @ A3: As indicated APV: DW
 DWN: MM

PROJ. NO. DRAWING NO. REV:
 LH156 **DA001** **M**

SURVEY NOTE

SITE INFORMATION BASED ON:
 SURVEY DRAWING 14968-DET-17.07.24. RECEIVED BY ARCHR
 DESIGN ON 17.07.2024
 COMPLETED BY DE WITT CONSULTING DATED 17.07.2024



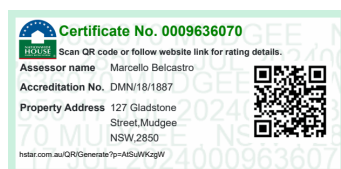
DMN Assessor #18/1887 17th July 2024 Reference: 465/2024
 Evergreen Energy Consultants
 Email address: enquiries@evergreenc.com.au Ph: 1300 584 010

Important Note for Development Applicants:
 The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.
 Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Evergreen Energy Consultants.
 This assessment has assumed that the BCA provisions for building sealing will be complied with at construction.

Thermal Performance Specifications			
External Wall Construction	Insulation	Colour (Solar Absorbance)	Detail
Fibro Timber Stud Frame Panel Direct Fix	Anti-glare foil with bulk insulation R2.7	Light and Dark	
Fibro Timber Stud Frame Panel Direct Fix	None	Light	Garage walls
Timber Stud Frame Brick Veneer	Anti-glare foil with bulk insulation R2.7	Medium	
Timber Stud Frame Brick Veneer	None	Medium	Garage walls
Internal Wall Construction	Insulation	Detail	
Cavity wall, direct fix plasterboard, single gap	None	Internal walls	
Cavity wall, direct fix plasterboard, single gap	Bulk insulation R2.7	Internal walls adjoining garages	
Ceiling Construction	Insulation	Detail	
Plasterboard with Timber	Bulk insulation R5.0	External ceilings	
Timber above Plasterboard	None	Internal ceilings	
Roof Construction	Insulation	Colour (Solar Absorbance)	Detail
Corrugated Iron	Bulk, reflective side down, no air gap above R1.3	Dark	10° 15° & 20° pitch
Waterproofing membrane	None	Medium	1° pitch
Floor Construction	Insulation	Covering	
300mm Waffle Pod Slab	None	Timber, Tiles and Bare	
Windows	Glass and frame type	U Value	SHGC Area m2
BRD-109-09 A Aluminium framed TB	4ET-12Ar-4ET Hinged Doors Double Glazed	2.12	0.44
BRD-102-09 A Aluminium framed TB	4ET-12Ar-4ET Sliding Windows Double Glazed	2.50	0.42
BRD-043-06 A Aluminium framed	6EA Louvre Windows Single Glazed	4.53	0.52
BRD-101-09 A Aluminium framed TB	4ET-12Ar-4ET Sliding Doors Double Glazed	2.12	0.47
<i>U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 5% higher or lower than the above figures.</i>			
Fixed shading – Eaves	Width includes guttering, offset is distance above windows		
As drawn	Nominal only, refer to plan for detail		
Fixed shading – Other	Verandah to certain units only		
Shaded areas and shade devices as drawn, adjoining buildings and boundary fences			

127 Gladstone Street, Mudgee
 SUMMARY OF BASIX COMMITMENTS
 This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.

WATER COMMITMENTS				
Fixtures				
Alternative Water – Rainwater Tank Size 2,000(L) Tank/Unit Connected To:				
All Toilets	Laundry W/M Cold Tap	One Outdoor Tap		
Fixtures				
3 Star Shower Heads	3 Star Toilet	3 Star Kitchen Taps	3 Star Basin Taps	
THERMAL COMFORT COMMITMENTS – Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Electric heat pump – 31 to 35 STCs			
Cooling System	Living	1-phase air conditioning – ducted EER 3.0-3.5		
	Bedrooms	1-phase air conditioning – ducted EER 3.0-3.5		
Heating System	Living	1-phase air conditioning – ducted EER 3.5-4.0		
	Bedrooms	1-phase air conditioning – ducted EER 3.5-4.0		
Ventilation	Bathrooms	Fan ducted to roof/façade	Manual on/off	
	Kitchen	Fan ducted to roof/façade	Manual on/off	
	Laundry	Natural ventilation		
Natural Lighting	Window/Skylight in Kitchen			As Drawn
	Window/Skylight in Bathrooms/Toilets	As Drawn		
Artificial Lighting	Number of bedrooms	All	Dedicated	Yes
	Number of Living/Dining rooms	All	Dedicated	Yes
	Kitchen	Yes	Dedicated	Yes
Primarily lit by fluoro or LED	All Bathrooms/Toilets	Yes	Dedicated	Yes
	Laundry	Yes	Dedicated	Yes
	All Hallways	Yes	Dedicated	Yes
OTHER COMMITMENTS				
Outdoor clothes line	Yes	Indoor or sheltered clothes drying line		No
Stove/Oven	Electric cooktop, electric oven			
Other	Ceiling fans to be installed – Refer to NatHERS Certificate for locations			

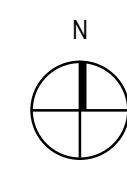
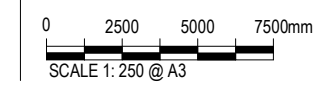


12.08.24	G	DA RFI RESPONSE_FOR CLIENT APPROVAL
17.07.24	F	DA RFI
10.07.24	E	DA RFI
DATE	REV	AMENDMENT

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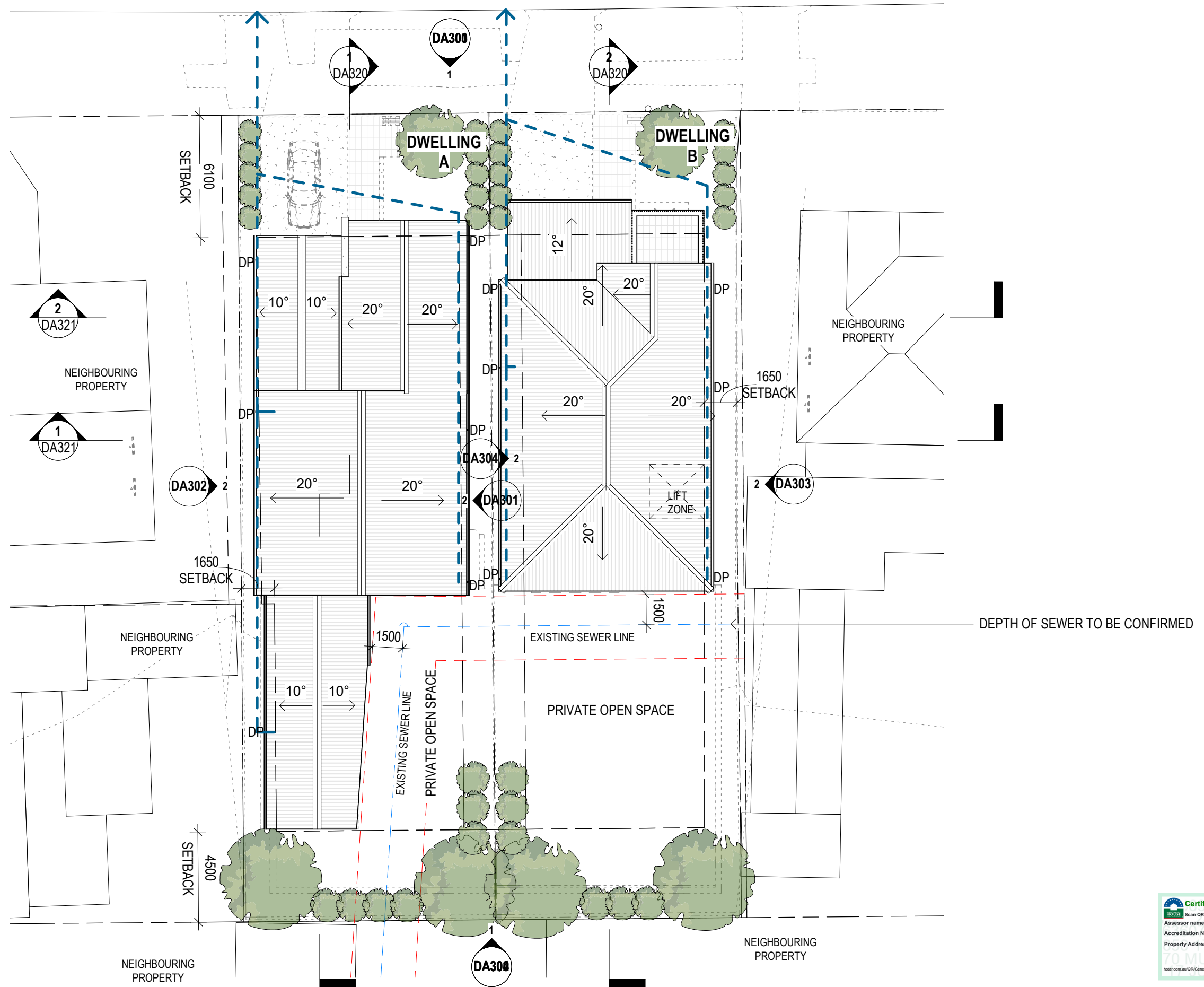
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PROJECT: GLADSTONE ST SDA
 CONCEPT DESIGN
 127 Gladstone Street, Mudgee NSW 2850
 DRAWING TITLE: EXISTING SITE PLAN



SCALE @ A3: 1:250
 APV: DW
 DWN: MM
 PROJ. NO. LH156
 DRAWING NO. DA100
 REV: G

GLADSTONE ROAD



Certificate No. 0009636070
 Assessor name: Marcello Belcastro
 Accreditation No. DMN/18/1887
 Property Address: 127 Gladstone Street, Mudgee, NSW, 2850
 70 MUDGEE NSW 2850
 40009636070

12.08.24	F	DA RFI RESPONSE_FOR CLIENT APPROVAL
10.07.24	E	DA RFI
17.06.24	D	FOR DA APPROVAL
DATE	REV	AMENDMENT

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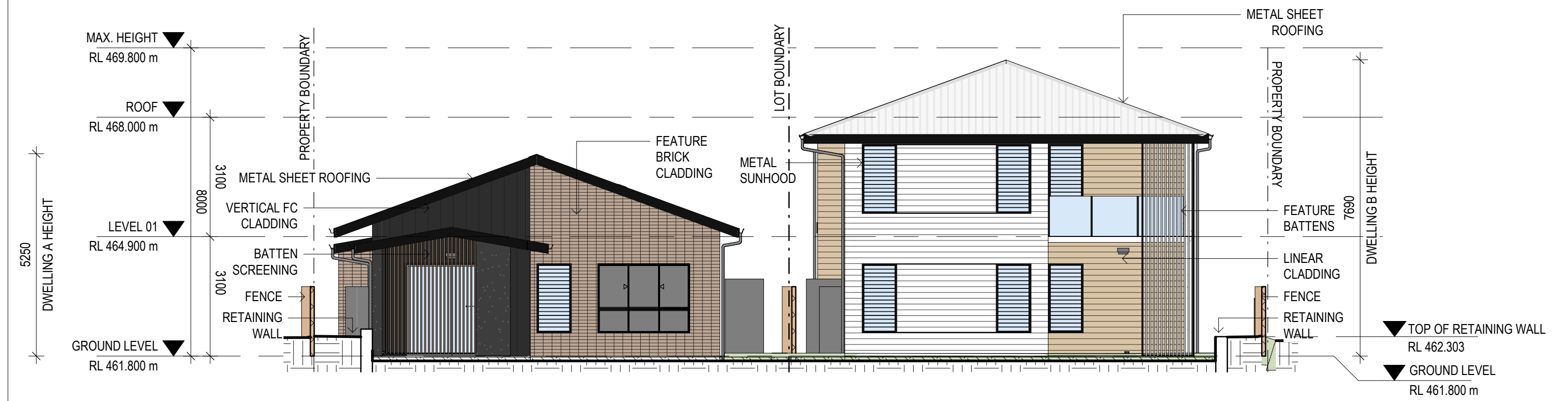
DRAWING TITLE: ROOF PLAN



SCALE @ A3: 1 : 200
 APV: DW
 DWN: MM
 PROJ. NO. LH156
 DRAWING NO. DA112
 REV: F



1 STREET ELEVATION
1 / DA110
1 : 100



2 REAR ELEVATION
1 / DA110
1 : 100

12.08.24	J	DA RFI RESPONSE_FOR CLIENT APPROVAL
17.07.24	H	DA RFI
10.07.24	G	DA RFI
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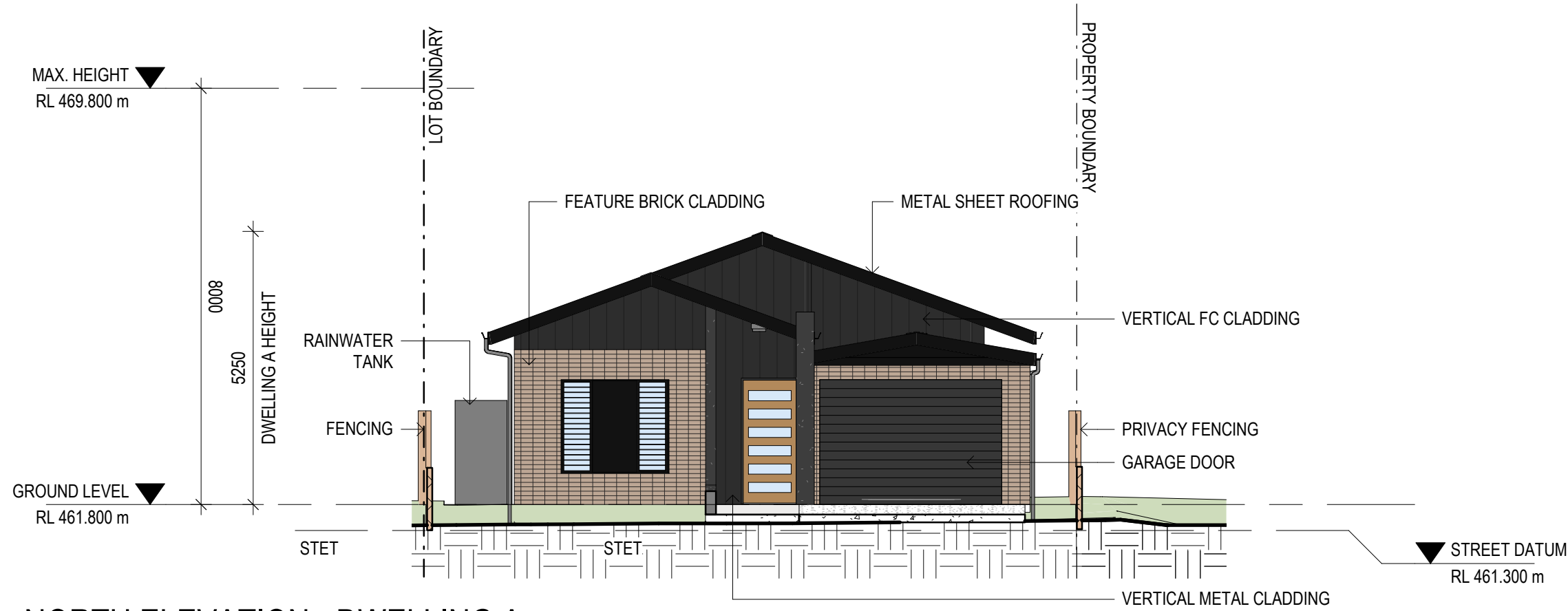
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127 Gladstone Street, Mudgee NSW 2850

DRAWING TITLE: ELEVATIONS SHEET ONE

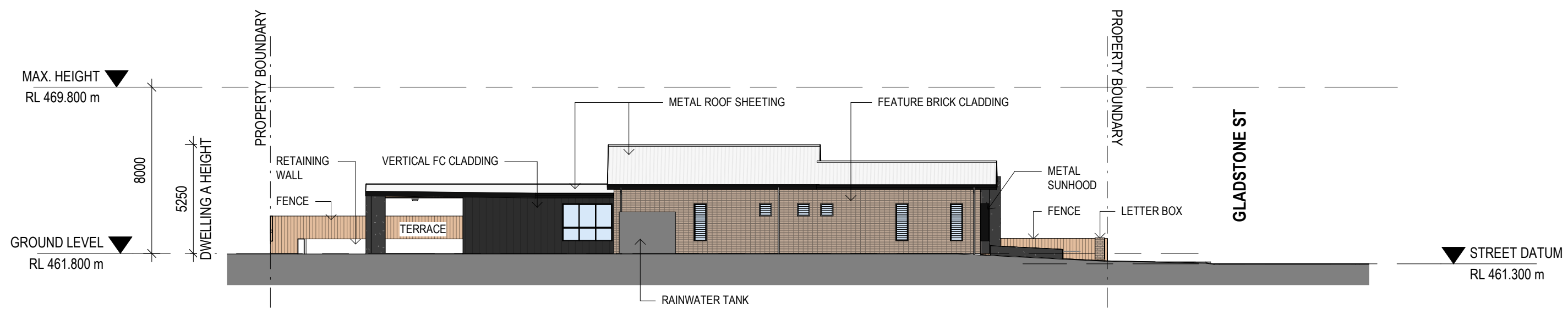
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DWN: MM

PROJ. NO. DRAWING NO. REV:
LH156 **DA300** **J**

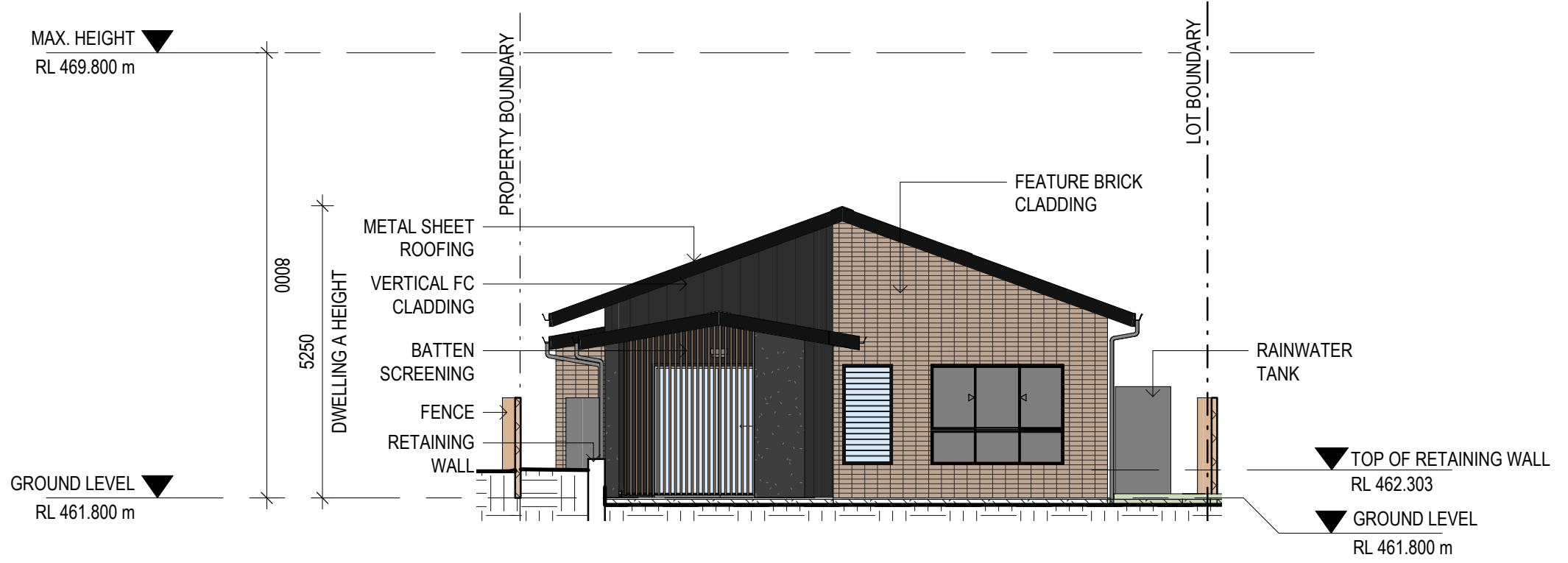
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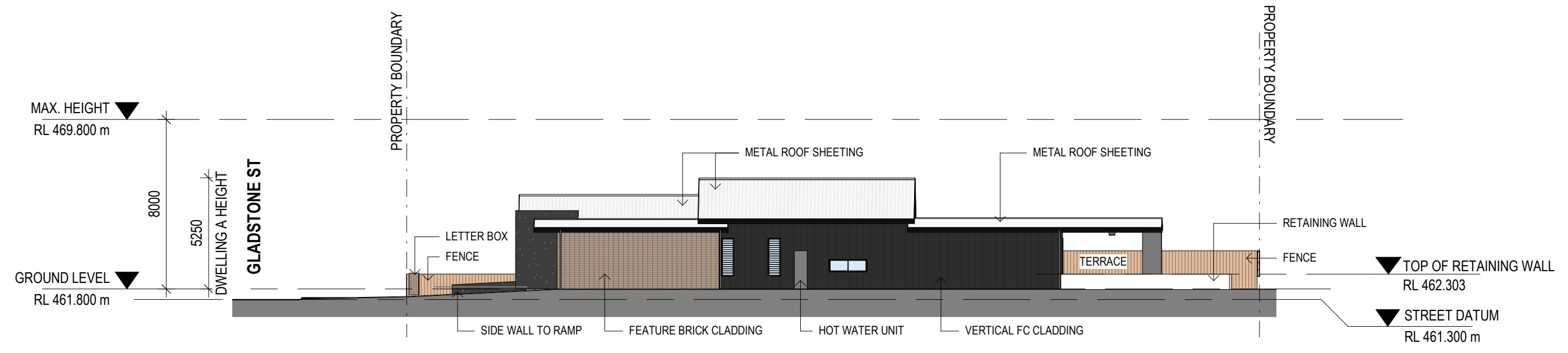
1 NORTH ELEVATION - DWELLING A
1/DA110 1 : 100



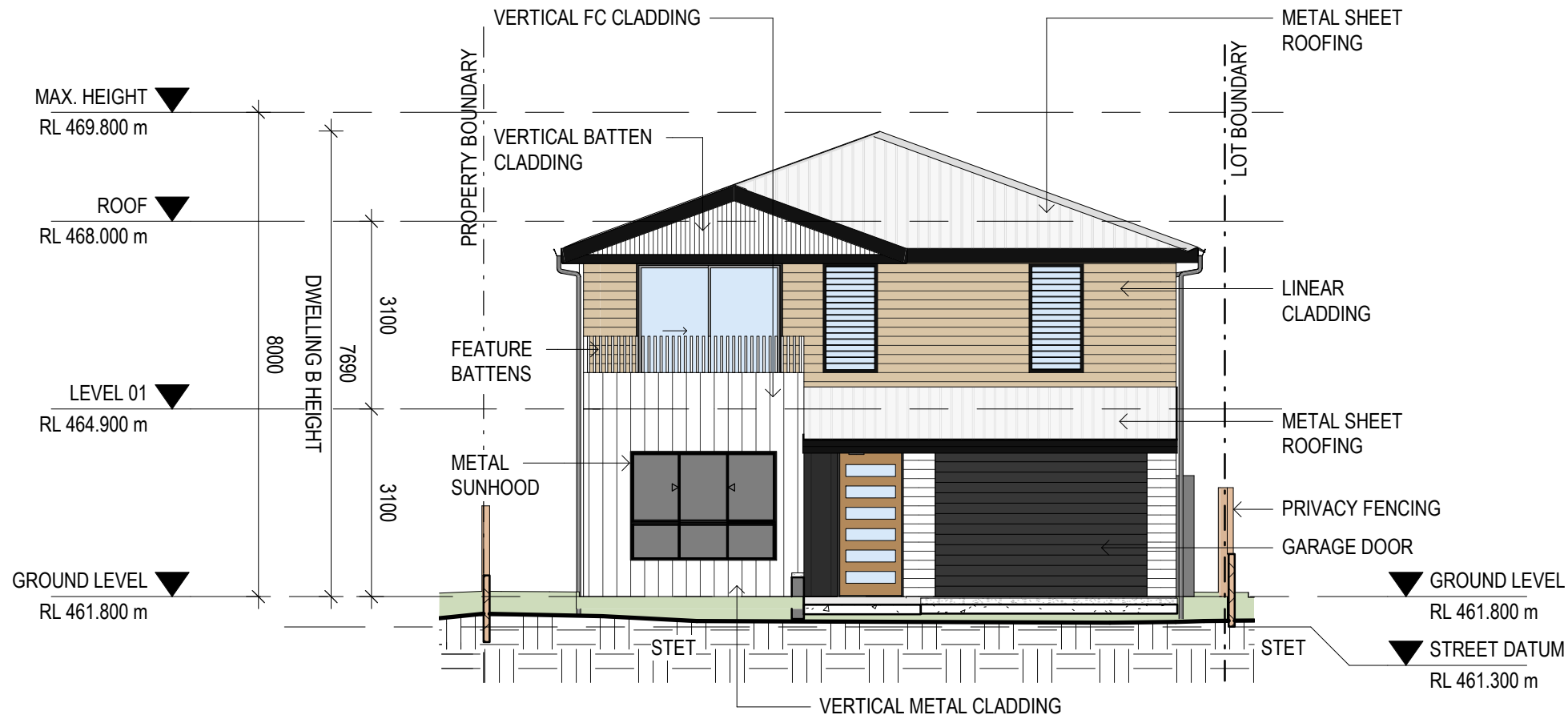
2 EAST ELEVATION - DWELLING A
1/DA110 1 : 200



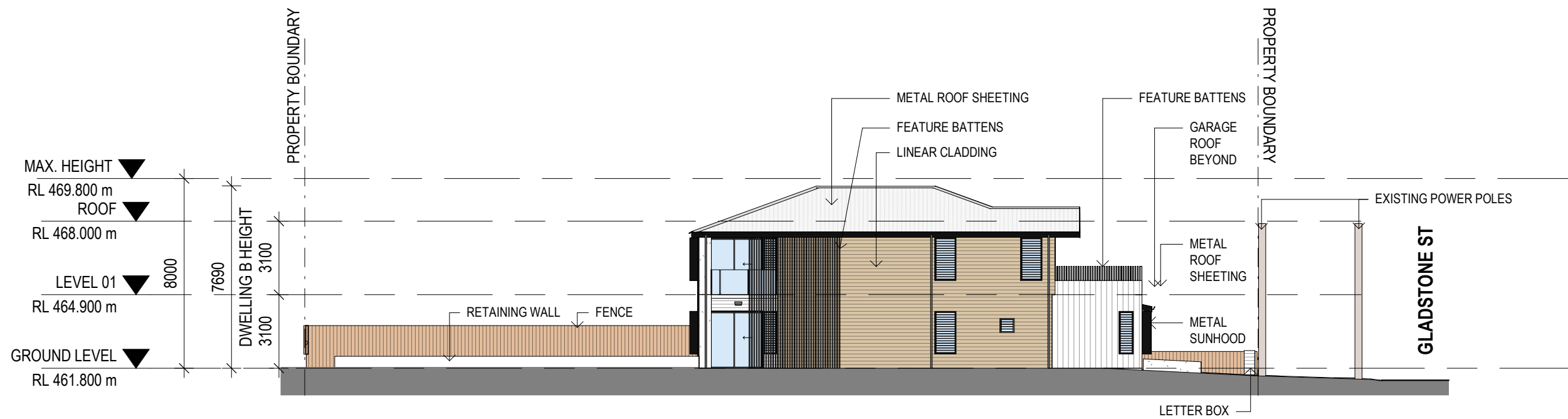
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 1 / DA110 1 : 100



2 WEST ELEVATION - DWELLING A
 1 / DA110 1 : 200



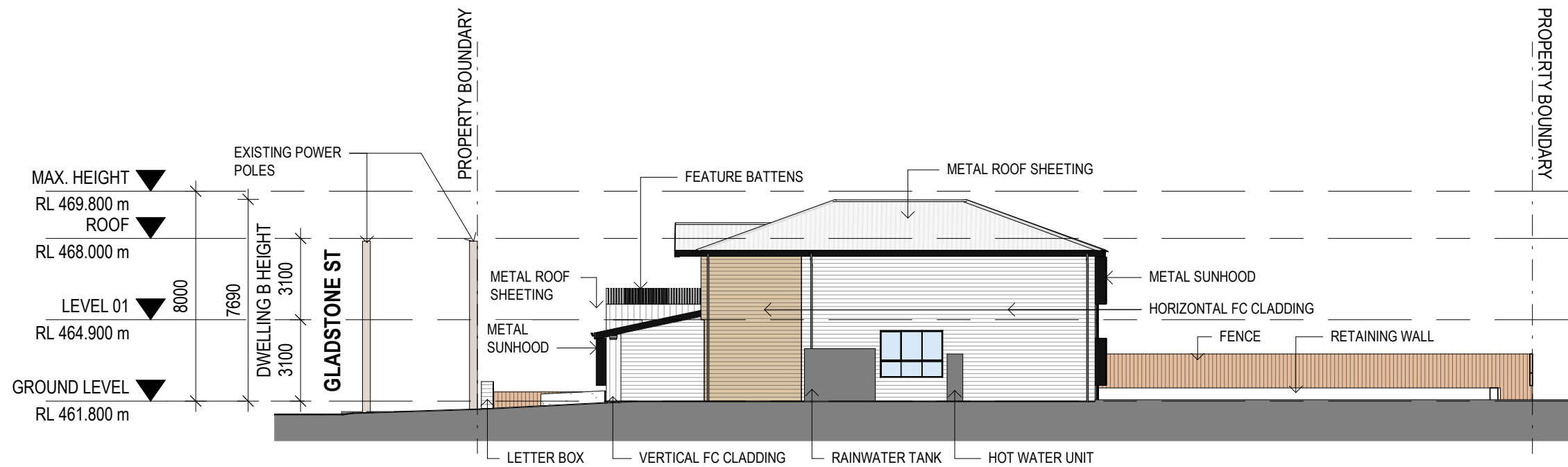
1 NORTH ELEVATION - DWELLING B
 1/DA110 1 : 100



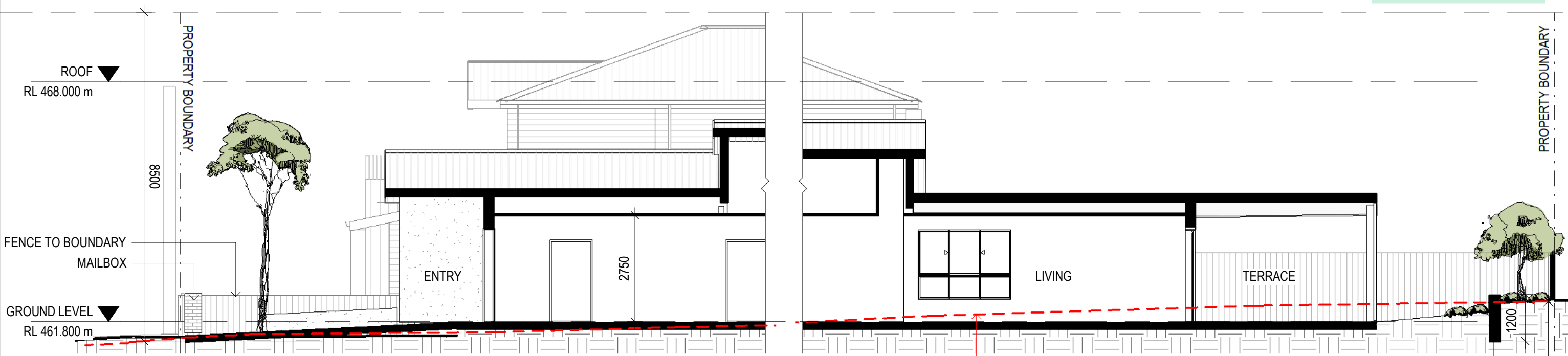
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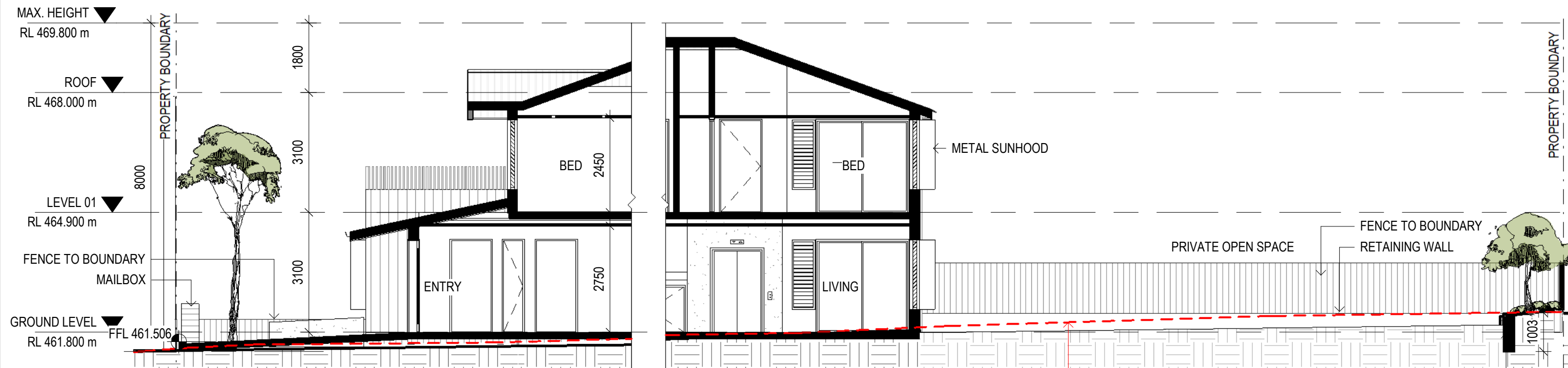
1 SOUTH ELEVATION - DWELLING B
 1 / DA110 1 : 100



2 WEST ELEVATION - DWELLING B
 1 / DA110 1 : 200



1 DWELLING A SECTION
 1/DA110 1:100



2 DWELLING B SECTION
 1/DA110 1:100

12.08.24	H	DA RFI RESPONSE_FOR CLIENT APPROVAL
10.07.24	G	DA RFI
17.06.24	F	FOR DA APPROVAL
DATE	REV	AMENDMENT

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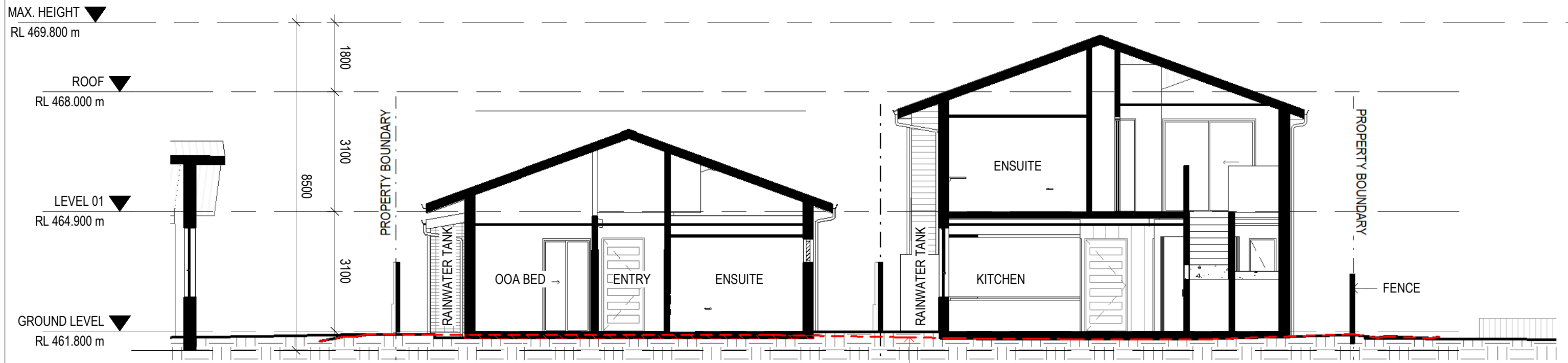
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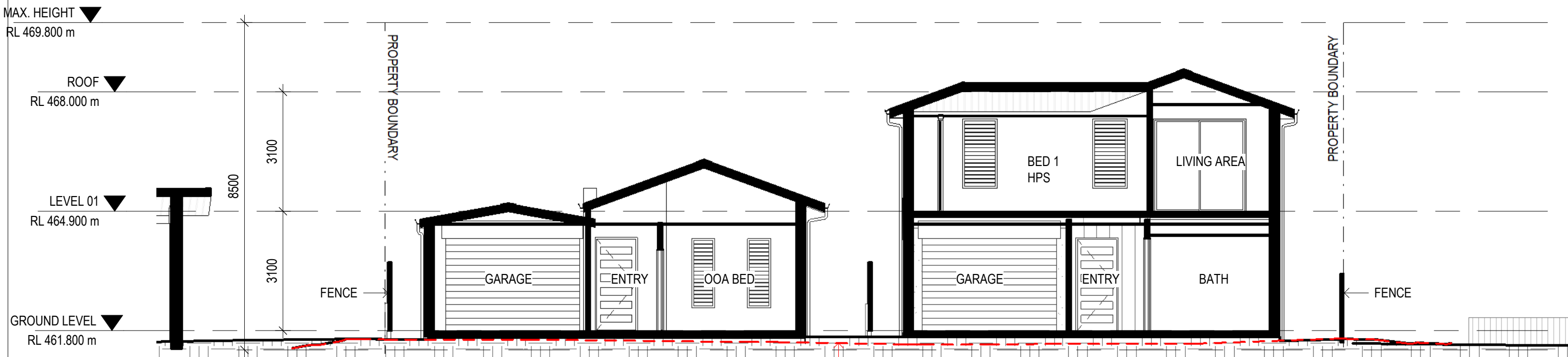
DRAWING TITLE: SECTIONS SHEET ONE

SCALE @ A3: 1:100
 APV: DW
 DWN: MM

PROJ. NO. DRAWING NO. REV:
 LH156 DA320 H



1 CROSS SECTION A
1/DA110 1:100



2 CROSS SECTION B
1/DA110 1:100

DATE	REV	AMENDMENT
12.08.24	F	DA RFI RESPONSE_FOR CLIENT APPROVAL
10.07.24	E	DA RFI
17.06.24	D	FOR DA APPROVAL



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DRAWING TITLE: SECTIONS SHEET TWO

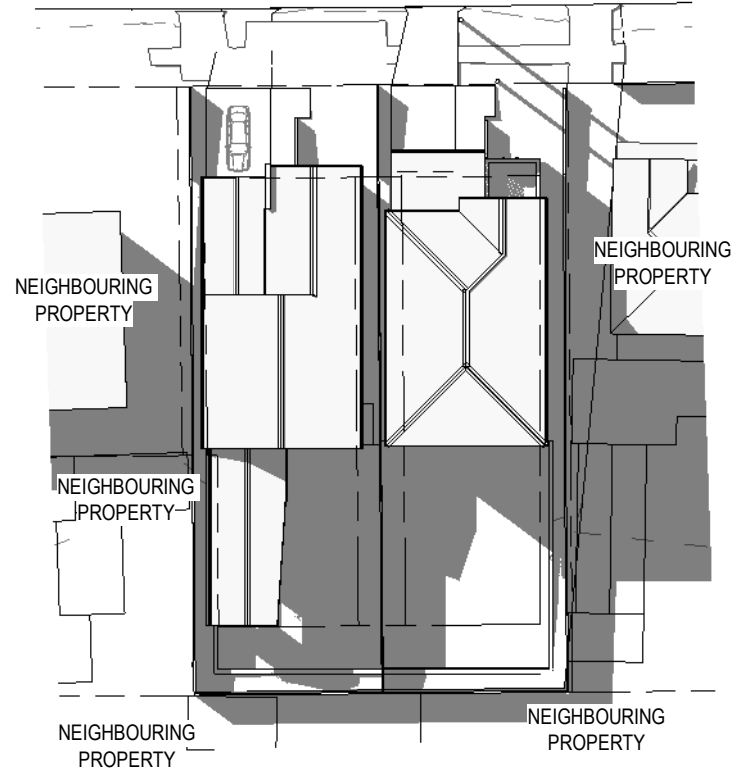
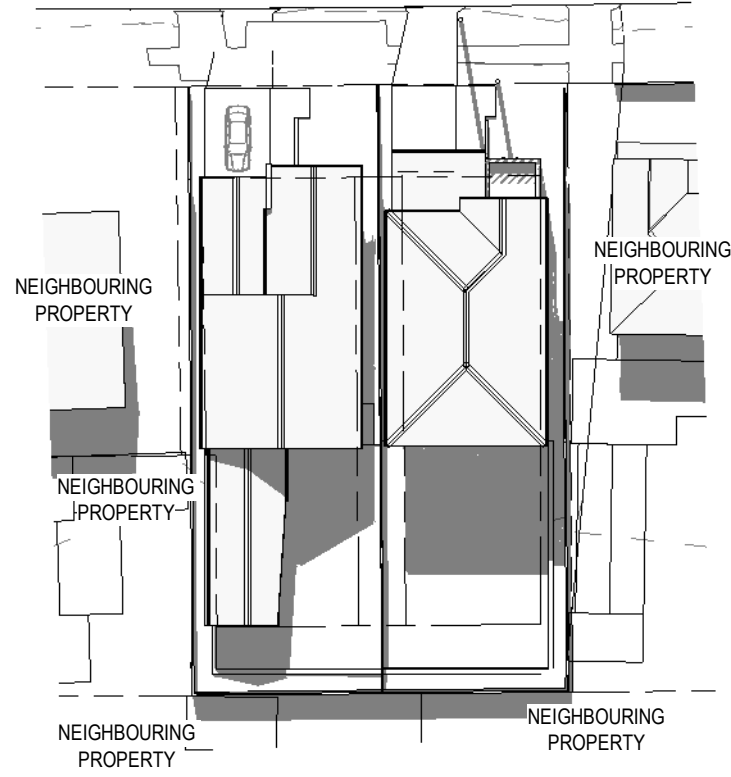
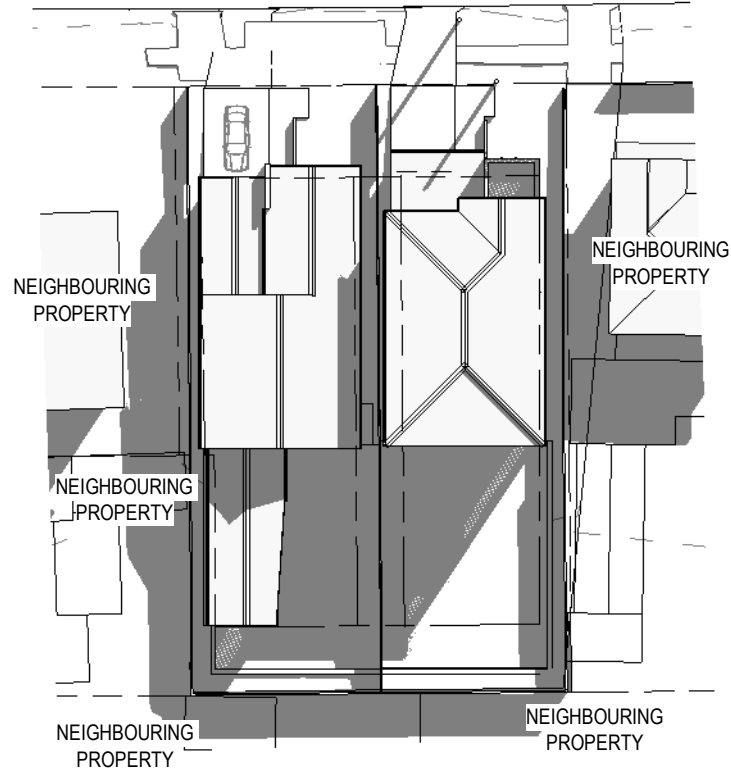
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DWN: MM

PROJ. NO. DRAWING NO. REV:
LH156 DA321 F

GLADSTONE ROAD

GLADSTONE ROAD

GLADSTONE ROAD



1 WINTER - 9AM
1 / DA300 1 : 500

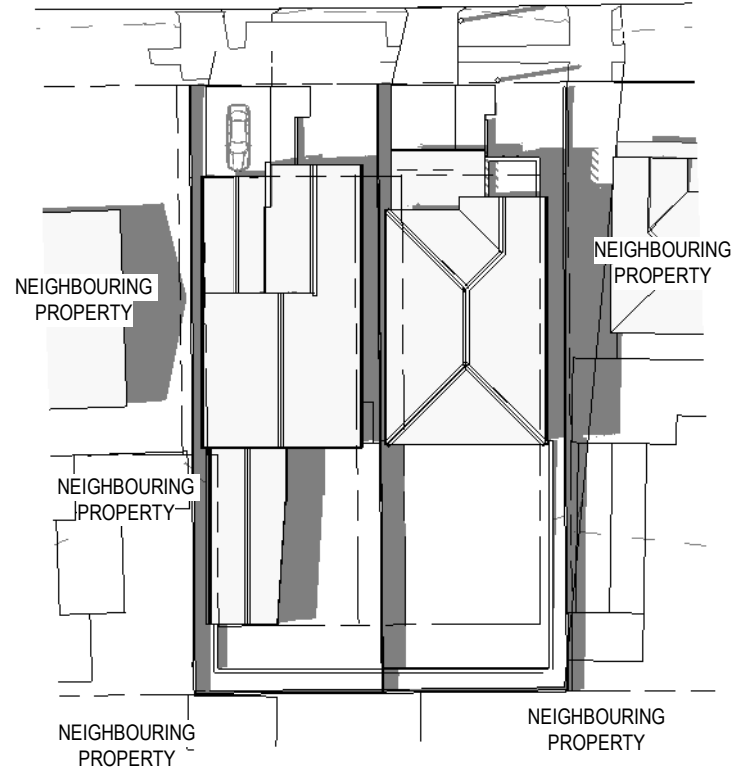
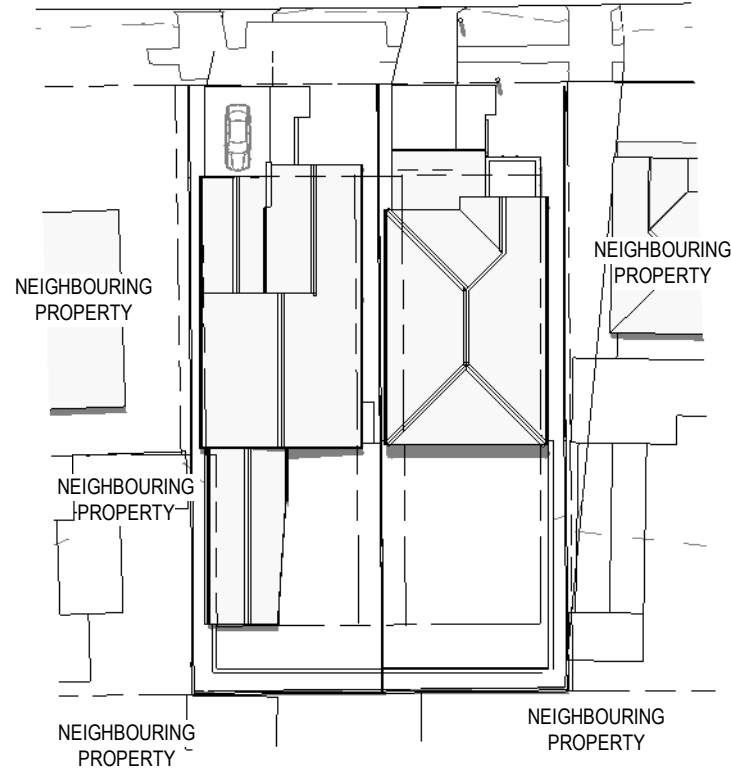
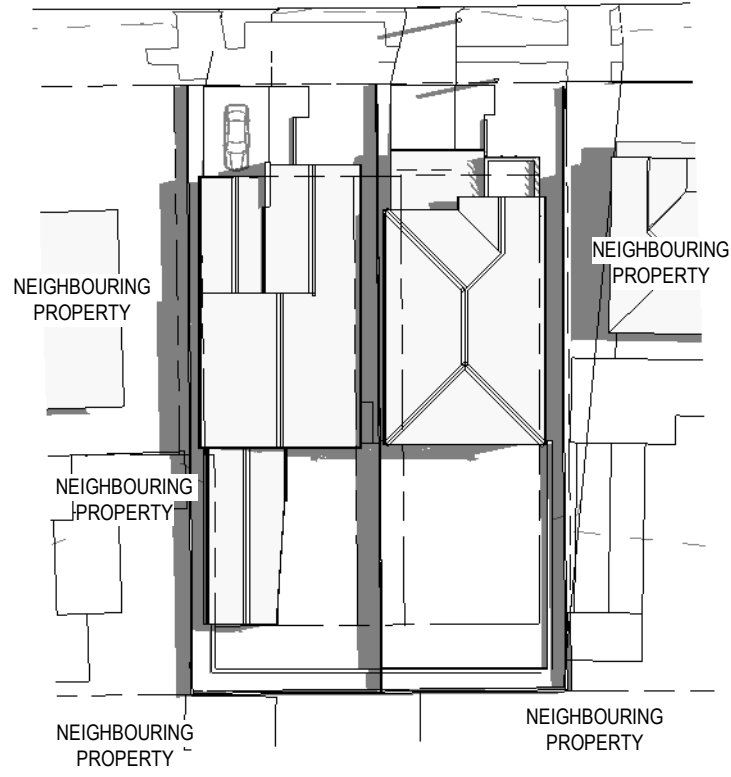
2 WINTER - 12PM
1 / DA300 1 : 500

3 WINTER - 3PM
1 / DA300 1 : 500

GLADSTONE ROAD

GLADSTONE ROAD

GLADSTONE ROAD



4 SUMMER - 9AM
1 / DA300 1 : 500

5 SUMMER - 12PM
1 / DA300 1 : 500

6 SUMMER - 3PM
1 / DA300 1 : 500

NOTE: OUTDOOR TERRACES/BALCONIES HAVE BEEN LOCATED TO ALLOW FOR DAYLIGHT INTO LIVING AREAS

12.08.24	J	DA RFI RESPONSE_FOR CLIENT APPROVAL
17.06.24	H	FOR DA APPROVAL
05.06.24	G	FOR DA APPROVAL
DATE	REV	AMENDMENT

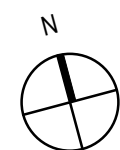
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CONCEPT DESIGN
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DRAWING TITLE: SHADOW STUDIES



SCALE @ A3: 1 : 500 APV: DW
DWN: MM

PROJ. NO. DRAWING NO. REV:
LH156 **DA950** **J**

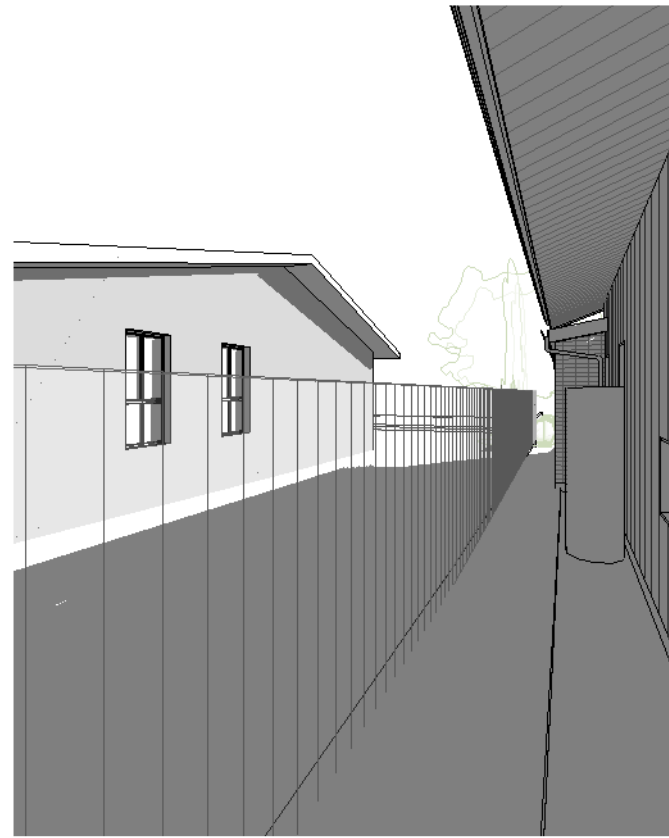
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NOTE: FENCE SHOWN TRANSPARENT FOR CLARITY

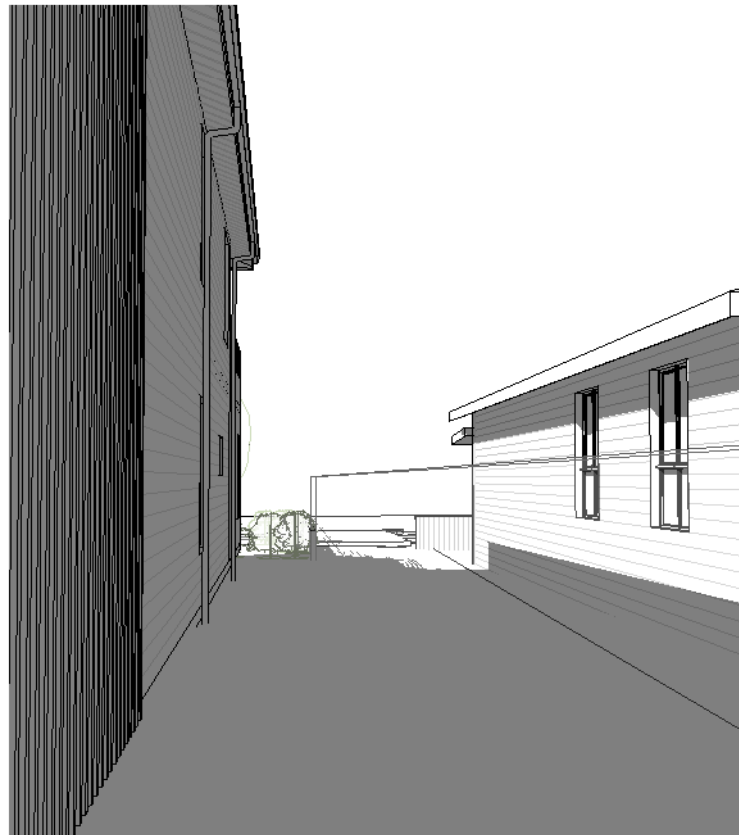
Certificate No. 0009636070
 Scan QR code or follow website link for rating details.
 Assessor name: Marcello Belcastro
 Accreditation No. DMN/18/1887
 Property Address: 127 Gladstone Street, Mudgee, NSW, 2850
 70 MUDGEE NSW 2850
 2024
 27/08/2024 4:00:09636070




1 DWELLING A - SUMMER 9AM DIAGRAM



2 DWELLING A - WINTER 9AM DIAGRAM



3 DWELLING B - SUMMER 3PM DIAGRAM



4 DWELLING B - WINTER 3PM DIAGRAM

12.08.24	F	DA RFI RESPONSE_FOR CLIENT APPROVAL
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05.06.24	D	FOR DA APPROVAL
DATE	REV	AMENDMENT



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CONCEPT DESIGN
127 Gladstone Street, Mudgee NSW 2850

DRAWING TITLE: SHADOW DIAGRAMS

SCALE @ A3: APV: DW
DWN: MM

PROJ. NO. DRAWING NO. REV:
LH156 **DA951** **F**

3D VIEWS/PERSPECTIVES NOTE

3D REPRESENTATION OF THE DEVELOPMENT IS AN ARTIST IMPRESSION ONLY AND IS SUBJECT TO CHANGE THROUGHOUT THE DESIGN DEVELOPMENT PROCESS.



1 STREET VIEW PERSPECTIVE A



2 STREET VIEW PERSPECTIVE B



DATE	REV	AMENDMENT
12.08.24	F	DA RFI RESPONSE_FOR CLIENT APPROVAL
17.06.24	E	FOR DA APPROVAL
05.06.24	D	FOR DA APPROVAL



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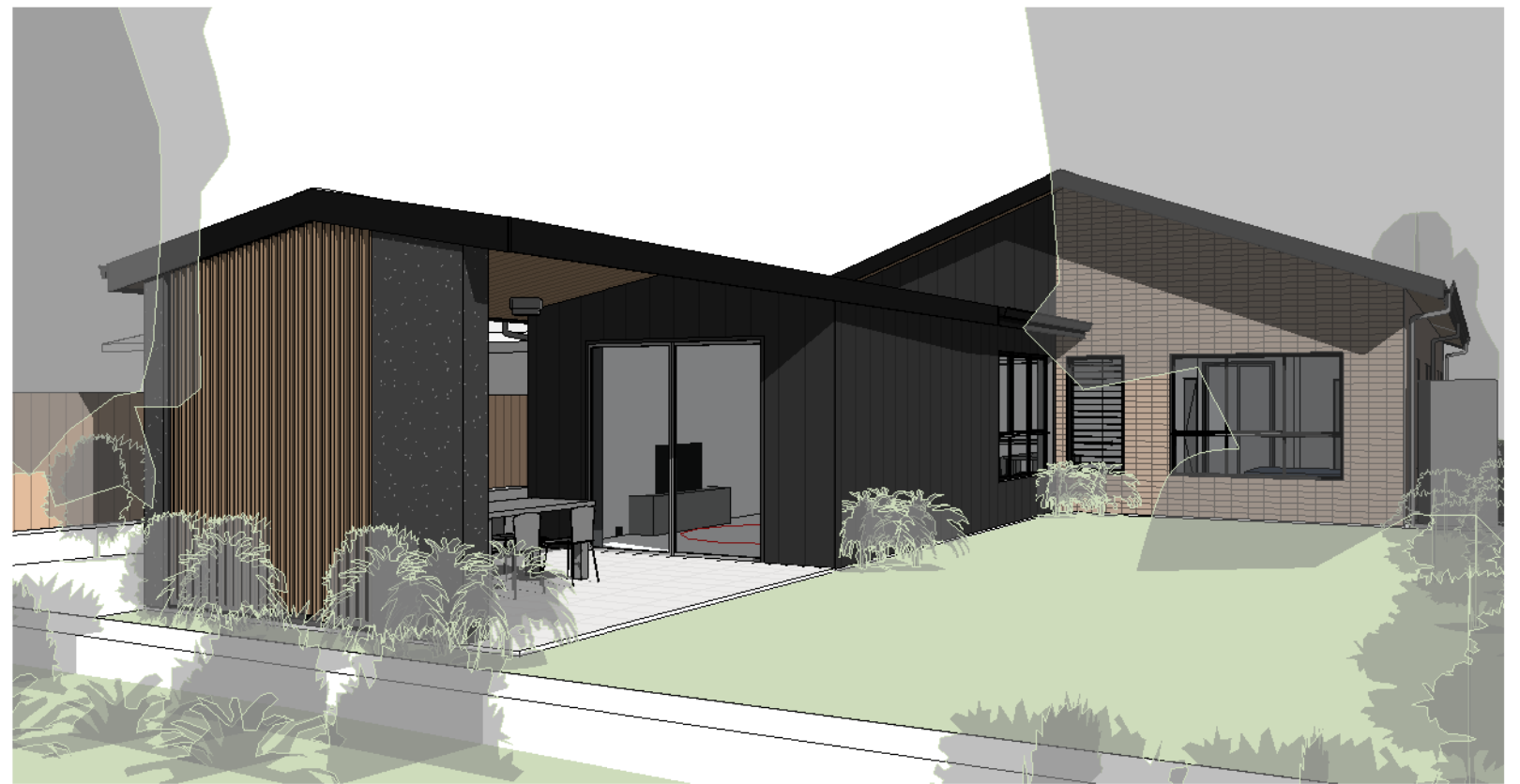
DRAWING TITLE: PERSPECTIVES SHEET ONE

SCALE @ A3: 1 : 100
APV: DW
DWN: MM

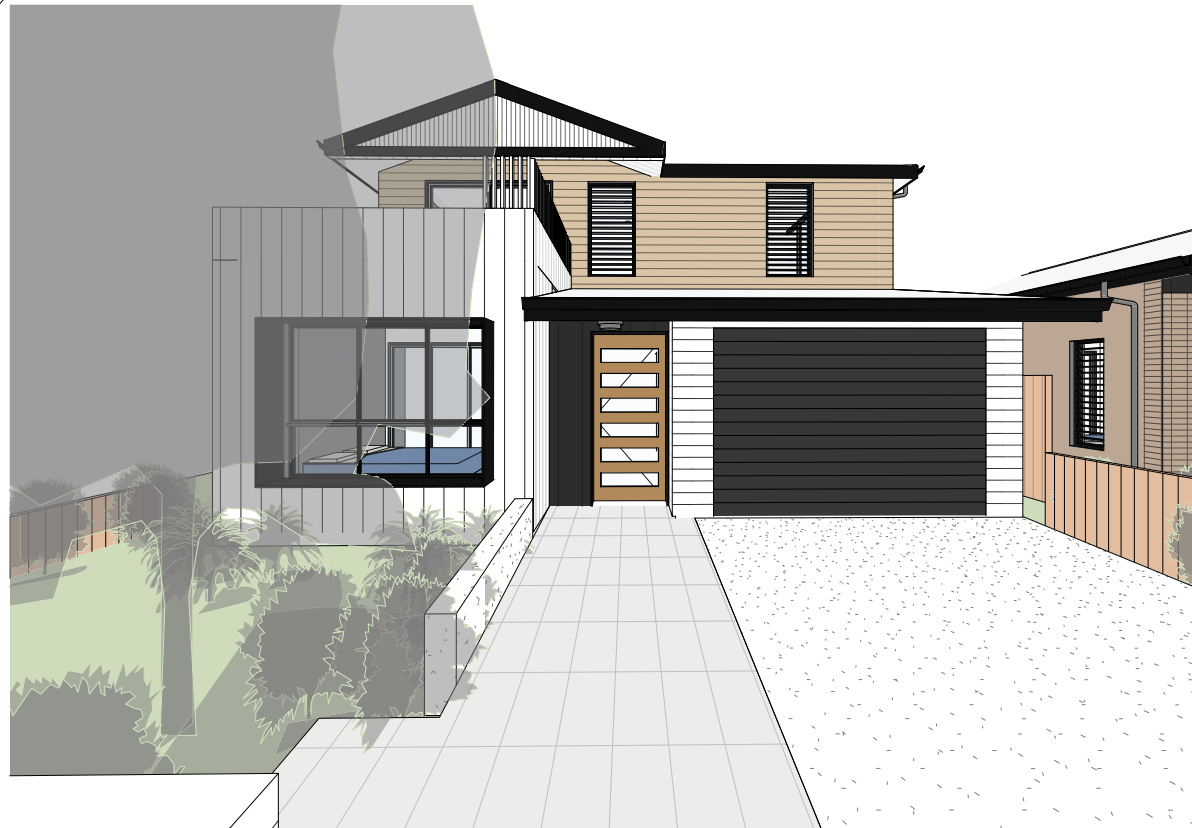
PROJ. NO. DRAWING NO. REV:
LH156 **DA970** **F**



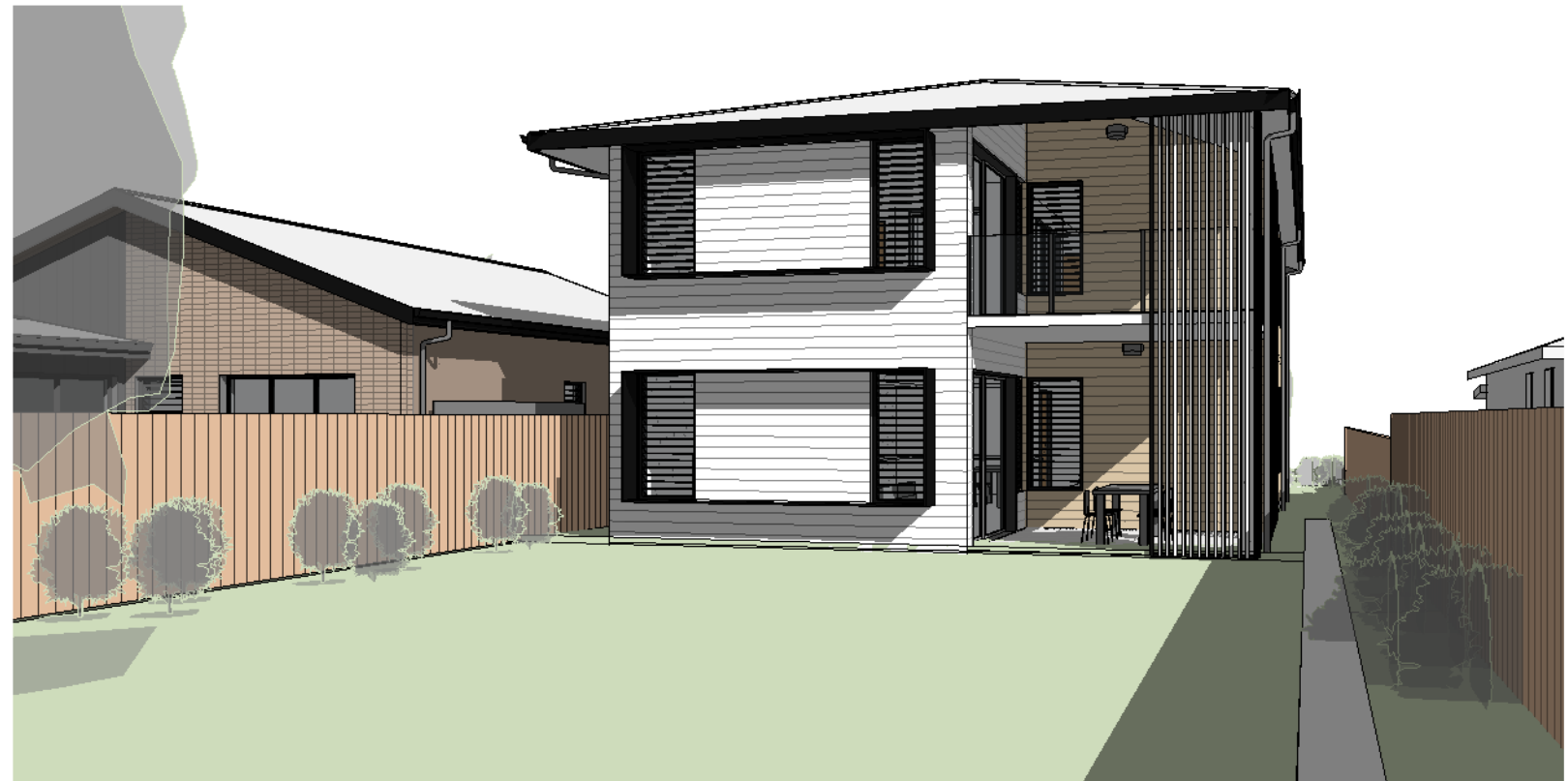
1 ENTRY VIEW - DWELLING A



2 REAR VIEW - DWELLING A



3 ENTRY VIEW - DWELLING B



4 REAR VIEW - DWELLING B

DATE	REV	DESCRIPTION
12.08.24	E	DA RFI RESPONSE_FOR CLIENT APPROVAL
17.07.24	D	DA RFI
17.06.24	C	FOR DA APPROVAL
		AMENDMENT



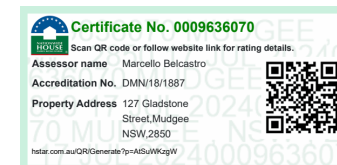
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DRAWING TITLE: PERSPECTIVES SHEET TWO



SCALE @ A3: APV: DW
DWN: MM

PROJ. NO. DRAWING NO. REV:
LH156 DA971 E