



WOODS

PROPOSED RESIDENCE WITH ATTACHED GRANNY FLAT

DUAL OCCUPANCY APPLICATION WITH STRATA SUBDIVISION

LOT 24, 34 MARSHFIELD LANE,
MUDGEE, NSW, 2850

DRAWING SCHEDULE

0535-A 01	TITLE SHEET & 3D PERSPECTIVE
0535-A 02	SITE & LOCATION PLAN
0535-A 03	FLOOR PLAN
0535-A 04	ELEVATIONS
0535-A 05	ELEVATIONS
0535-A 06	SECTION & GENERAL NOTES
0535-A 07	ELECTRICAL & MECHANICAL PLAN
0535-A 08	BASIX CERTIFICATE COMMITMENTS

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

NOTE:

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
 - ALL SHEETS TO THIS SET OF PLANS
 - SEPERATE SPECIFICATION DOCUMENTS
 - STRUCTURAL ENGINEERS DOCUMENTATION
 - PCA DOCUMENTS (WHERE APPLICABLE)
 - BASIX CERTIFICATE
 - ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP

Client: [REDACTED]

Project: HOUSE & ATTACHED GRANNY
FLAT AT LOT 24 MARSHFIELD
LANE, MUDGEE

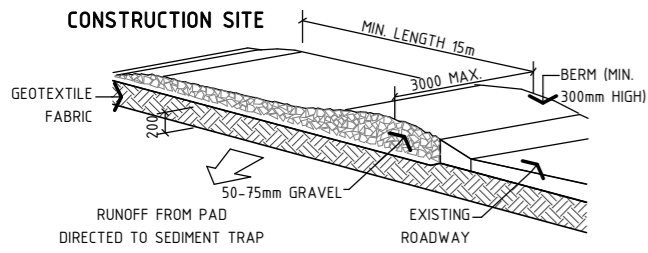


POSTAL:

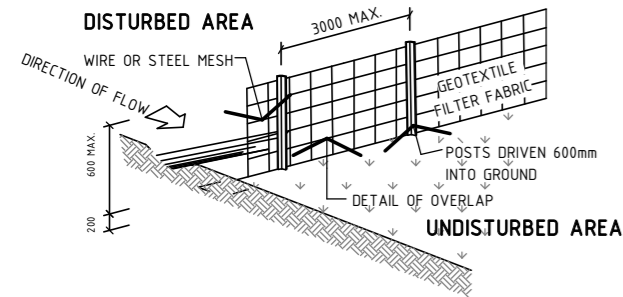
[REDACTED]
[REDACTED]
[REDACTED]

Drawing Title: TITLE SHEET & 3D PERSPECTIVE

Design **LBG** Sheet **01** of **08**
 Drawn [REDACTED] Drawing Number
 Check [REDACTED] **0535 - A01** Revision **C**



DETAIL PLAN: CONSTRUCTION ENTRY / EXIT
NOT TO SCALE



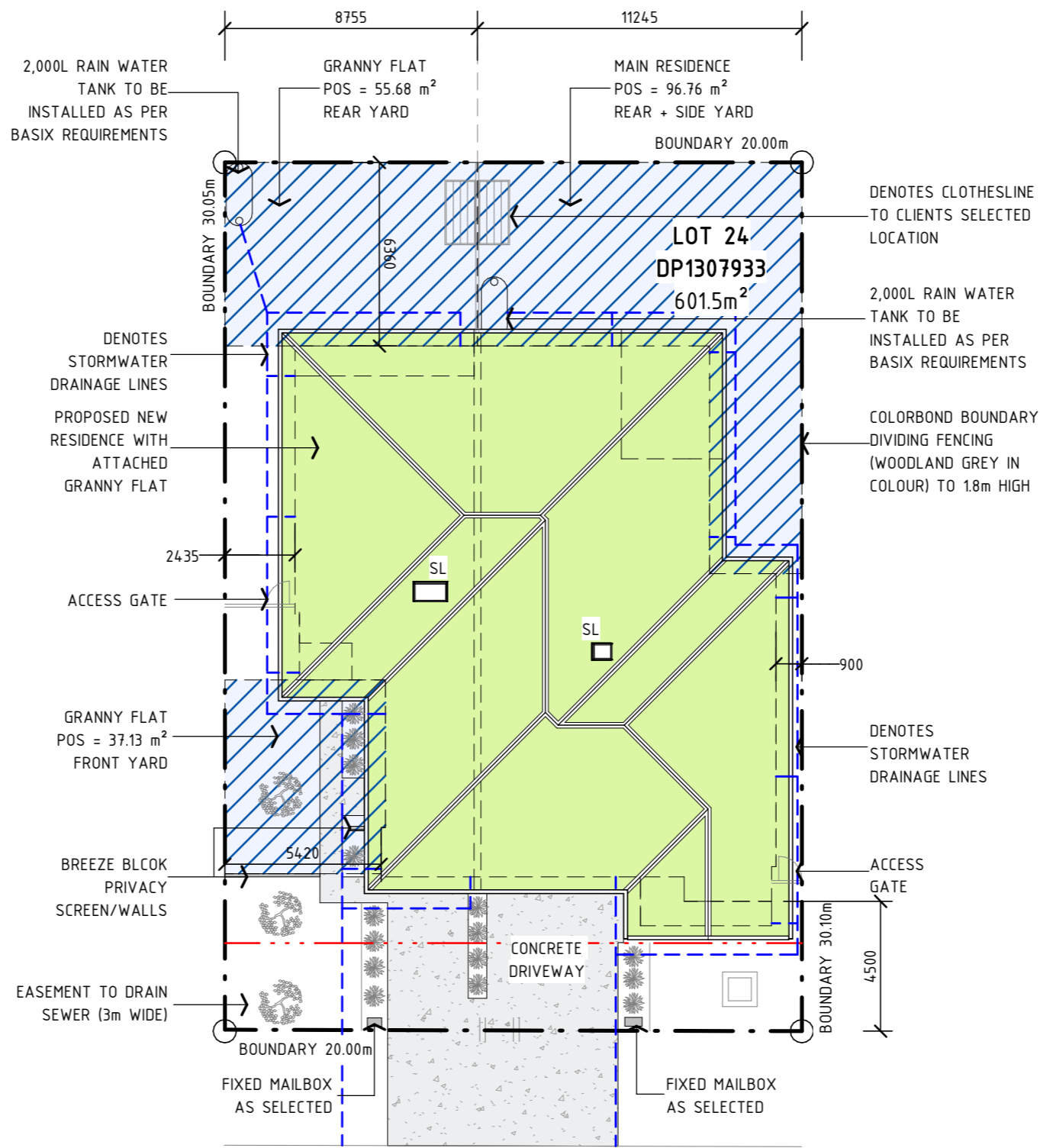
DETAIL PLAN: SEDIMENT FENCE
NOT TO SCALE

EROSION & SEDIMENT CONTROL NOTES:

1. ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
2. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER AT LEAST WEEKLY. IF STRUCTURES ARE TO BE REMOVED, THEY ARE TO BE REINSTALLED & INSPECTED BY THE BUILDER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.
4. ACCESS TO SITE IS TO BE THROUGH USE OF THE ENTRY/EXIT SHOWN
5. ALL VEGETATION OUTSIDE OF THE CONSTRUCTION AREA IS TO BE RETAINED WHERE POSSIBLE (VEGETATION BUFFER)
6. STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE.
7. NO STORAGE OF MATERIALS OR VEHICLE MOVEMENTS ARE TO OCCUR OUTSIDE THE SITE BOUNDARIES.

SITWORK NOTES:

1. CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK
2. THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS
3. THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
4. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
5. BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.



01 | SITE PLAN
SCALE: 1 : 200 (A3)

- LEGEND:**
- TEMPORARY SITE MATERIAL DISPOSAL AREA DURING CONSTRUCTION. TO BE PROTECTED BY A SEDIMENT FENCE OR STRAW BALE FILTER.
 - || SITE ACCESS DURING CONSTRUCTION

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

NOTE:
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
- ALL SHEETS TO THIS SET OF PLANS
- SEPERATE SPECIFICATION DOCUMENTS
- STRUCTURAL ENGINEERS DOCUMENTATION
- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS

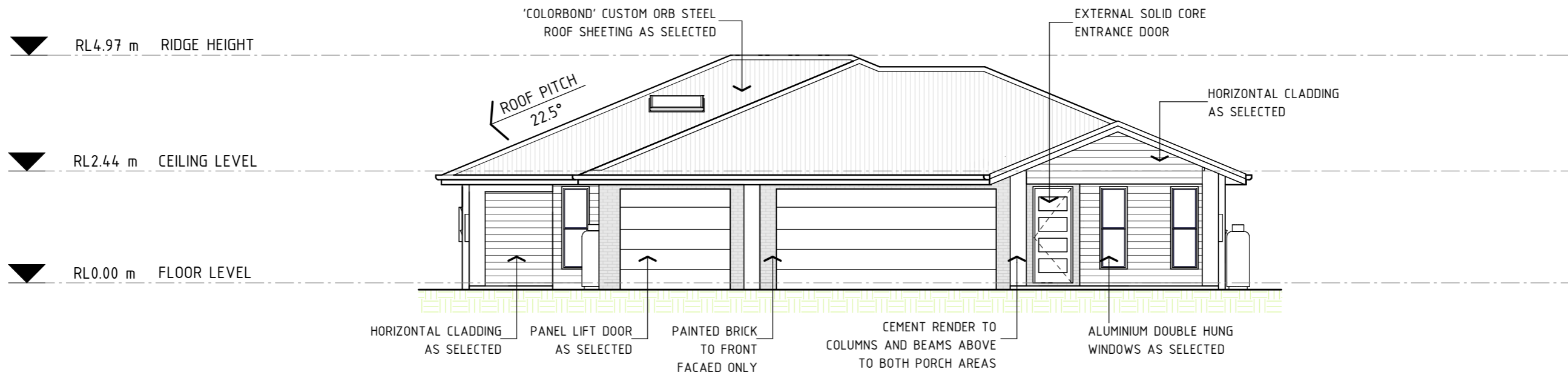


LYNCH BUILDING GROUP
Client: [REDACTED]
Project: HOUSE & ATTACHED GRANNY FLAT AT LOT 24 MARSHFIELD LANE, MUDGEE

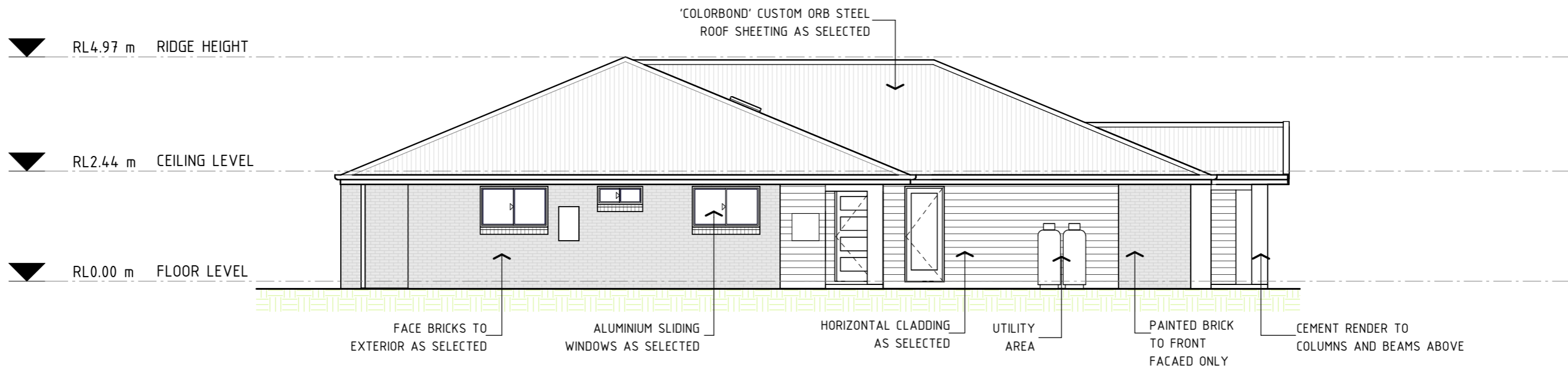


POSTAL: [REDACTED]
www.lynchbuildinggroup.com.au

Drawing Title:	SITE & LOCATION PLAN		
Design:	LBG	Sheet	02 of 08
Drawn:	[REDACTED]	Drawing Number	
Check:	[REDACTED]		Revision
		0535 - A02	C



03 | ELEVATION: SOUTH FACADE
SCALE: 1 : 100 (A3)



04 | ELEVATION: WEST FACADE
SCALE: 1 : 100 (A3)

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

NOTE:
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
- ALL SHEETS TO THIS SET OF PLANS
- SEPERATE SPECIFICATION DOCUMENTS
- STRUCTURAL ENGINEERS DOCUMENTATION
- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS

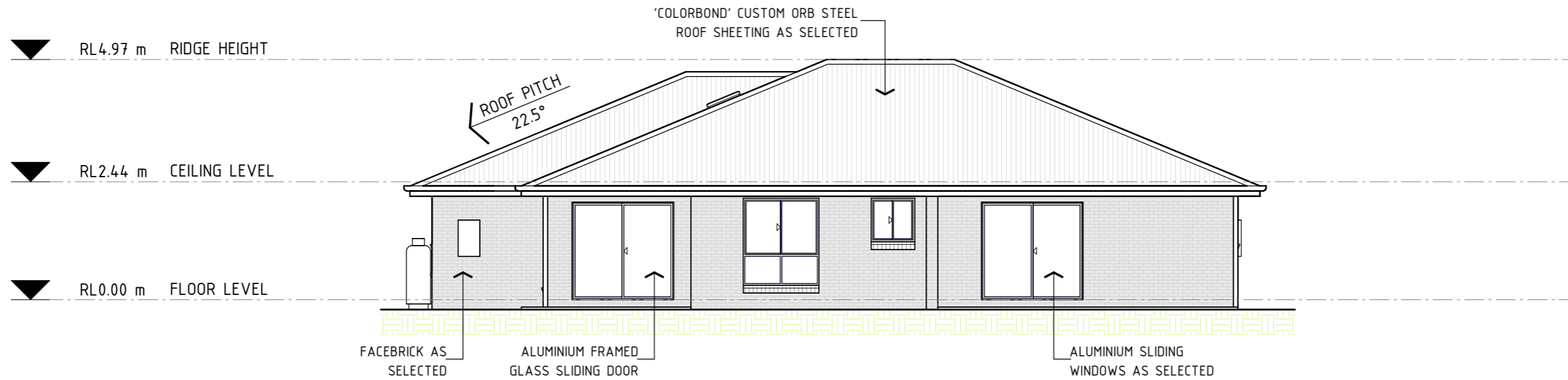


LYNCH BUILDING GROUP
Client: [REDACTED]
Project: HOUSE & ATTACHED GRANNY FLAT AT LOT 24 MARSHFIELD LANE, MUDGEE

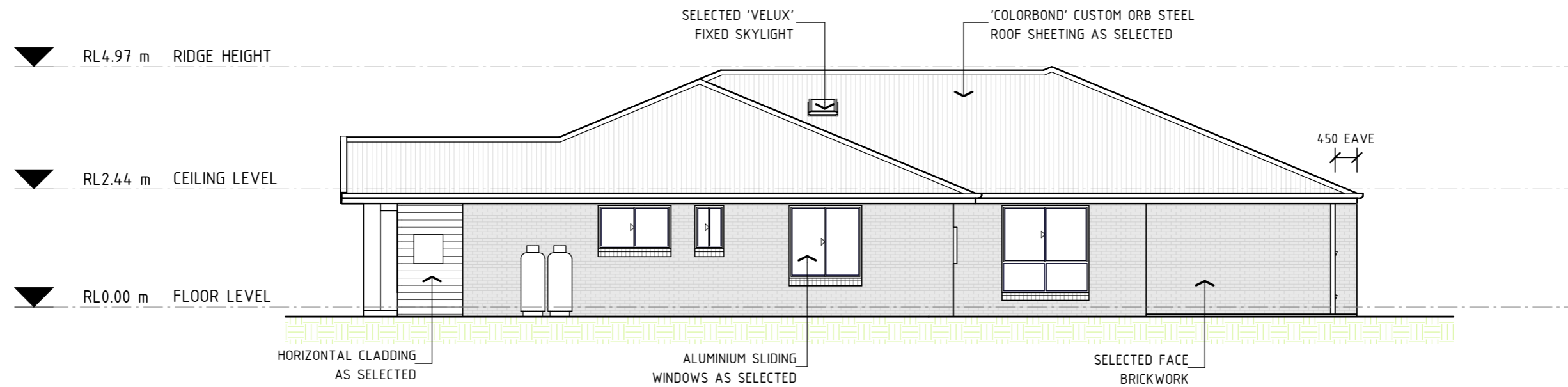


POSTAL: [REDACTED]
CONTACT US: [REDACTED]

Drawing Title: ELEVATIONS
Design: LBG
Drawn: [REDACTED]
Check: [REDACTED]
Sheet 04 of 08
Drawing Number: 0535 - A04
Revision: C



05 | ELEVATION: NORTH FACADE
SCALE: 1 : 100 (A3)



06 | ELEVATION: EAST FACADE
SCALE: 1 : 100 (A3)

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

NOTE:
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
- ALL SHEETS TO THIS SET OF PLANS
- SEPERATE SPECIFICATION DOCUMENTS
- STRUCTURAL ENGINEERS DOCUMENTATION
- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS

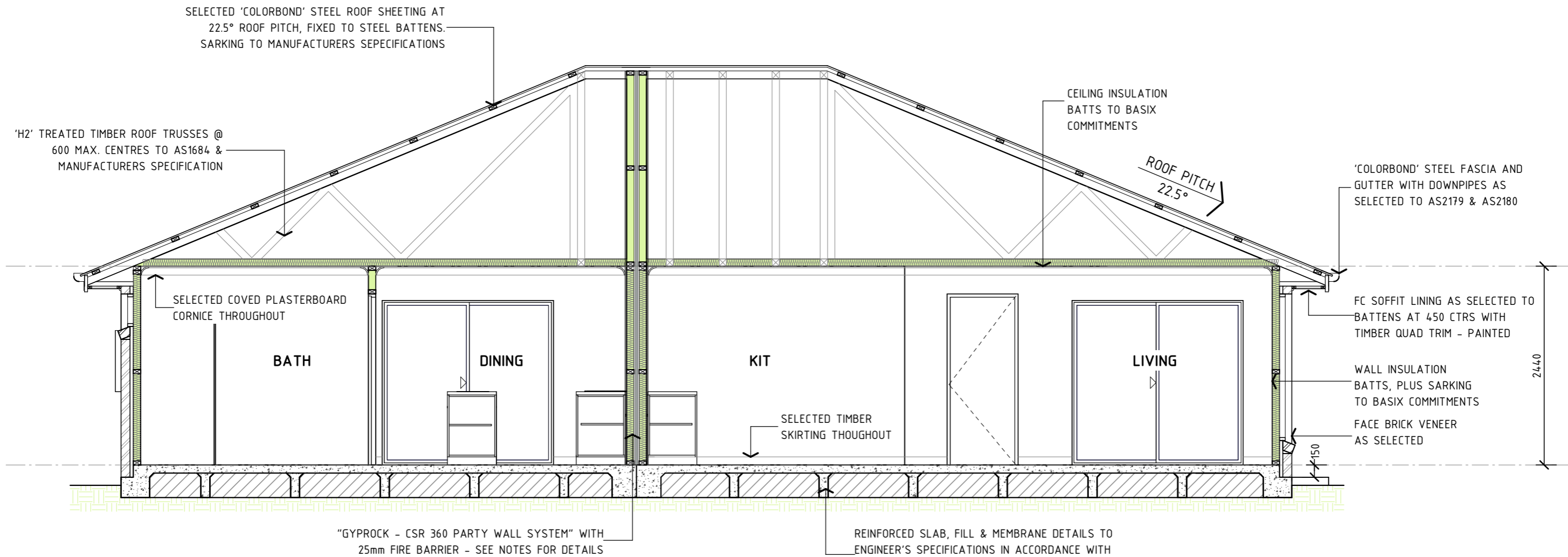


LYNCH BUILDING GROUP
Client: [REDACTED]
Project: HOUSE & ATTACHED GRANNY FLAT AT LOT 24 MARSHFIELD LANE, MUDGEE



POSTAL:
[REDACTED]

Drawing Title: ELEVATIONS
Design: LBG
Drawn: [REDACTED]
Check: [REDACTED]
Sheet 05 of 08
Drawing Number: 0535 - A05
Revision: C



07 SECTION: TYPICAL SECTION
SCALE: 1 : 50 (A3)

GENERAL NOTES:

- PLANS DOCUMENTED FOR THE EXCLUSIVE USE OF THE NOTES CLIENTS BELOW ONLY & SUBJECT TO COPYRIGHT LAWS.
- ALL DIMENSIONS & INFORMATION WITHIN THESE SET OF PLANS ARE DOCUMENTED DUE TO CARE.
- ALL DRAWINGS WITHIN THIS SET OF PLANS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DESIGNS & SPECIFICATIONS & WITH OTHER WRITTEN INSTRUCTIONS ISSUED DURING ESTIMATIONS & CONSTRUCTION WITH SELECTED BUILDER.
- ALL DISCREPANCIES SHALL BE REFERRED TO, IN WRITING TO LYNCH BUILDING GROUP FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. DIMENSIONS ARE TO STRUCTURAL ELEMENTS OF THE DRAWING & NOT TO FINISHED SURFACES IE. TILING, PLASTERBOARD ETC.
- ALL RELEVANT DIMENSIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & FABRICATION WITH REGARDS TO ONSITE & OFF SITE REQUIREMENTS & WORK
- TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH AS3660.
- THE RELEVANT SERVICE AUTHORITIES SHALL BE CONSULTED IN REGARDS TO CONFIRMING / CHECKING ALL DIMENSIONS, LEVELS, SERVICES & SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED & APPROVAL SORT FROM / OBTAINED PRIOR TO CONSTRUCTION, IF & WHEN NECESSARY.
- STUD WALL & TRUSSED ROOF DESIGN, BRACING & TIE DOWN TO SELECTED FRAME & TRUSS MANUFACTURERS ENGINEERED SPECIFICATIONS TO AS1684 WHERE APPLICABLE.
- SHALL NO WIND CLASSIFICATION BE NOTED, CLIENT TO BE ADVISED BY PCA OR ENGINEERING CONSULTANT.
- SITE CLASSIFICATION TO BE DETERMINED BY QUALIFIED GEOTECHNICAL ENGINEER & ALL REINFORCED CONCRETE FOOTINGS & SLABS TO BE CONSTRUCTED TO AS2870.
- ALL STORMWATER FROM ROOF TO BE DISPURSED TO REQUIRED DOWNPIPES & TO STREET/RAIN WATER TANK TO AUSTRALIAN STANDARDS & PCA REQUIREMENTS.
- A MINIMUM WATER ALLOWANCE SHALL BE PROVIDED FOR RURAL PROPERTIES FOR FIRE FIGHTING PURPOSES AS SPECIFIED BY PCA.

- WHERE A SITE REQUIRES CUT & FILL TO OCCUR OR RETAINING WALLS CONSTRUCTED, ENGINEERS SHALL BE CONSULTED WHERE NECESSARY & BUILDING CONTRACTOR TO ENSURE ALL FINAL LEVELS, GROUND LINES & GRADIENTS DIVERT ALL SURFACE STORM WATER FROM THE PROPOSED RESIDENCE EITHER BY MEANS OF PIPES, DETENTION AREAS OR GRADING TO KERB. NEIGHBOURING PROPERTIES MUST BE TAKEN INTO CONSIDERATION WITH THE DESIGN OF THE FLOW OF THE STORM WATER.
- SEWER DRAINAGE LINES TO BE CONNECTED TO SEWER MAIN OR IN CASE OF A RURAL PROPERTY, CONNECTED TO A SEPTIC SYSTEM, IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS & LOCAL PCA.
- A QUALIFIED CONTRACTOR SHALL COMPLETE THE FINAL DRAINAGE LAYOUT TO BE SUBMITTED TO THE LOCAL PCA FOR THEIR RECORDS & APPROVAL.
- THE HOT WATER SYSTEM IS AS SPECIFIED WITHIN THE BASIX CERTIFICATE & LOCATION NOTED ON THE FLOOR PLAN.
- WHERE BRICK VENEER CONSTRUCTION IS SPECIFIED, CONTROL JOINTS FOR ARTICULATION MUST BE PROVIDED AT NOMINAL 6.0m MAX. CENTRES OR TO STRUCTURAL ENGINEERS DETAILS.

SECTION NOTES:

- FOR COMPLETE SLAB DETAILS & DESIGN REFER TO ENGINEERS SPECIFICATIONS & DESIGNS.
- TERMITE TREATMENT SHALL BE INCLUDED TO PROTECT AGAINST INFESTATION TO AS3660.1-2000.
- PARTY WALL DETAILS -
 - SEPERATING PARTY WALL MUST NOT BE CROSSED BY TIMBER OR OTHER COMBUSTIBLE BUILDING ELEMENTS WITH THE EXCEPTION OF STEEL ROOFING BATTENS WITH THE DIMENSIONS 75x50mm OR ROOF SARKING, MUST ALSO BE PACKED USING FIRE RESISTANT MATERIAL IN ACCORDANCE WITH THE BCA
 - 25mm GYPROCK SHAFT LINER PANEL BETWEEN STEEL "H" WITH 20-40mm OF SEPERATION BETWEEN FRAMES & GYPROCK SHAFT LINER PANEL.
 - STUDS AT 600mm MAX CENTRES
 - 10mm GYPROCK "SUPERCEK" PLASTERBOARD WALL LINING TO FACE OF PARTY WALL (GYPROCK EWFA 45743 CSR 360 PARTY WALL SYSTEM)
 - SELECT WALL FRAMING WITH R2.7 GOLD WALL INSULATION BATTES TO BE INSTALLED.
 - FIRE RESISTANT MINERAL FIRE BLANKET TO BE INSTALLED DIRECTLY ABOVE PART WALL TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH THE BCA

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

NOTE:
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
- ALL SHEETS TO THIS SET OF PLANS
- SEPERATE SPECIFICATION DOCUMENTS
- STRUCTURAL ENGINEERS DOCUMENTATION
- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP
Client: [REDACTED]
Project: HOUSE & ATTACHED GRANNY FLAT AT LOT 24 MARSHFIELD LANE, MUDGEE



POSTAL: [REDACTED]
[REDACTED]
[REDACTED]
www.lynchbuildinggroup.com.au

Drawing Title: SECTION & GENERAL NOTES

Design: LBG
Drawn: [REDACTED]
Check: [REDACTED]
Sheet 06 of 08
Drawing Number
0535 - A06
Revision
C

GRANNY FLAT BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.94 (OR 3.50 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED / CLADED	3.00 (OR 3.50 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF - FLAT	CEILING - 4.5 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL BACKED BLANKET	DARK (SOLAR ABSORBANCE >0.79)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS
COOLING SYSTEM:	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
HEATING SYSTEM:	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
VENTILATION:	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
ARTIFICIAL LIGHTING:	THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLOURESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
NATURAL LIGHTING:	THE APPLICANT MUST INSTALL A WINDOW IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING THE APPLICANT MUST INSTALL A WINDOW IN THE BATHROOM OF THE DWELLING FOR NATURAL LIGHTING
OTHER:	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING

GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW / DOOR	ORIENTATION	SIZE	SHADING	TYPE
KITCHEN	NORTH	2.0m x 2.1m	E: 1640mm A/H: 220mm	ALUMINIUM, DOUBLE GLAZED (UVALUE: <=2.5, SHGC: >0.60)
ENTRY	SOUTH	1.8m x 0.6m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BED 1	WEST	0.9m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BATHROOM	WEST	0.4m x 1.0m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BED 2	WEST	0.9m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FIXTURES:	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (>4.5<=6L/min). THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 5 STAR. THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN. THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
ALTERNATIVE WATER SOURCE:	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 85m ² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO: - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER; - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

MAIN DWELLING BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.94 (OR 3.50 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED / CLADED	3.00 (OR 3.50 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	1.08 (OR 1.50 INCLUDING CONSTRUCTION)	
CEILING & ROOF - FLAT	CEILING - 5.5 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL BACKED BLANKET	DARK (SOLAR ABSORBANCE >0.79)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS
COOLING SYSTEM:	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
HEATING SYSTEM:	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
VENTILATION:	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
ARTIFICIAL LIGHTING:	THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLOURESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
NATURAL LIGHTING:	THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING; - AT LEAST 3 BATHROOMS/TOILETS
OTHER:	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE EACH REFRIGERATOR SPACE MSUT BE CONSTRUCTED SO THAT IS WELL VENTILATED

GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW / DOOR	ORIENTATION	SIZE	SHADING	TYPE
ENS	NORTH	0.9m x 0.9m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
MAIN BED	NORTH	1.8m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
LIVING	NORTH	2.0m x 2.1m	E: 600mm A/H: 150mm	ALUMINIUM, DOUBLE GLAZED (UVALUE: <=2.5, SHGC: >0.60)
LIVING	EAST	1.8m x 1.8m	E: 600mm A/H: 150mm	ALUMINIUM, DOUBLE GLAZED (UVALUE: <=2.5, SHGC: >0.60)
BED 2	EAST	1.5m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
WC	EAST	0.9m x 0.6m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BATHROOM	EAST	0.9m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BED 3 (x2)	SOUTH	1.8m x 0.6m	E: 1300mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FIXTURES:	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (>4.5<=6L/min). THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR. THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN. THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
ALTERNATIVE WATER SOURCE:	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 163m ² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO: - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER; - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

NOTE:
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH:
- ALL SHEETS TO THIS SET OF PLANS
- SEPERATE SPECIFICATION DOCUMENTS
- STRUCTURAL ENGINEERS DOCUMENTATION
- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP
Client: [REDACTED]
Project: HOUSE & ATTACHED GRANNY FLAT AT LOT 24 MARSHFIELD LANE, MUDGEE



POSTAL:
[REDACTED]

Drawing Title: **BASIX CERTIFICATE COMMITMENTS**

Design: **LBG** Sheet **08** of **08**
Drawn: [REDACTED] Drawing Number
Check: [REDACTED] **0535 - A08** Revision **C**