

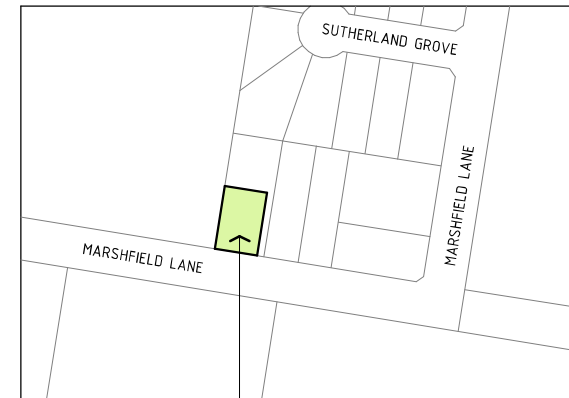


WOODS

# PROPOSED RESIDENCE WITH ATTACHED GRANNY FLAT

DUAL OCCUPANCY APPLICATION WITH TORRENS TITLE SUBDIVISION

LOT 24, 34 MARSHFIELD LANE,  
MUDGEE, NSW, 2850



SITE LOCATION  
34 MARSHFIELD LANE, MUDGEE  
LOT 24 - DP1307933

## 01 | LOCALITY PLAN NOT TO SCALE

### DRAWING SCHEDULE

0535-A 01	TITLE SHEET, LOCATION PLAN & 3D PERSPECTIVE
0535-A 02	SITE PLAN
0535-A 03	FLOOR PLAN
0535-A 04	ELEVATIONS
0535-A 05	ELEVATIONS
0535-A 06	SECTION & GENERAL NOTES
0535-A 07	ELECTRICAL & MECHANICAL PLAN
0535-A 08	BASIX CERTIFICATE COMMITMENTS

FINAL SUBMISSION

Rev	Date	Description
A	11/07/24	ISSUED FOR QUOTING
B	6/09/24	ISSUED FOR QUOTING
C	30/09/24	FINAL SUBMISSION

#### NOTE:

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 - STRUCTURAL ENGINEERS DOCUMENTATION  
 - PCA DOCUMENTS (WHERE APPLICABLE)  
 - BASIX CERTIFICATE  
 - ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP

Client: WOODS

Project: HOUSE & ATTACHED GRANNY  
FLAT AT LOT 24 MARSHFIELD  
LANE, MUDGEE

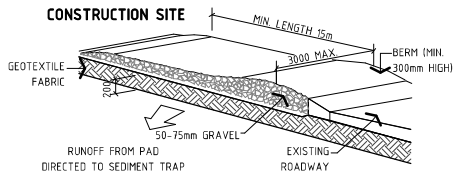


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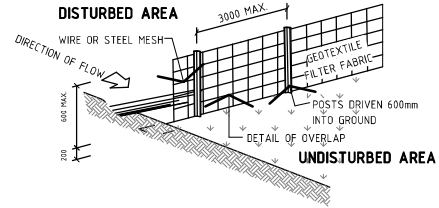
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Drawing Title: TITLE SHEET, LOCATION PLAN & 3D PERSPECTIVE

Design	LBG	Sheet 01 of 08
Drawn	G.HACKETT	Drawing Number
Check	J.LYNCH	Revision
		0535 - A01 C



**DETAIL PLAN: CONSTRUCTION ENTRY / EXIT**  
NOT TO SCALE



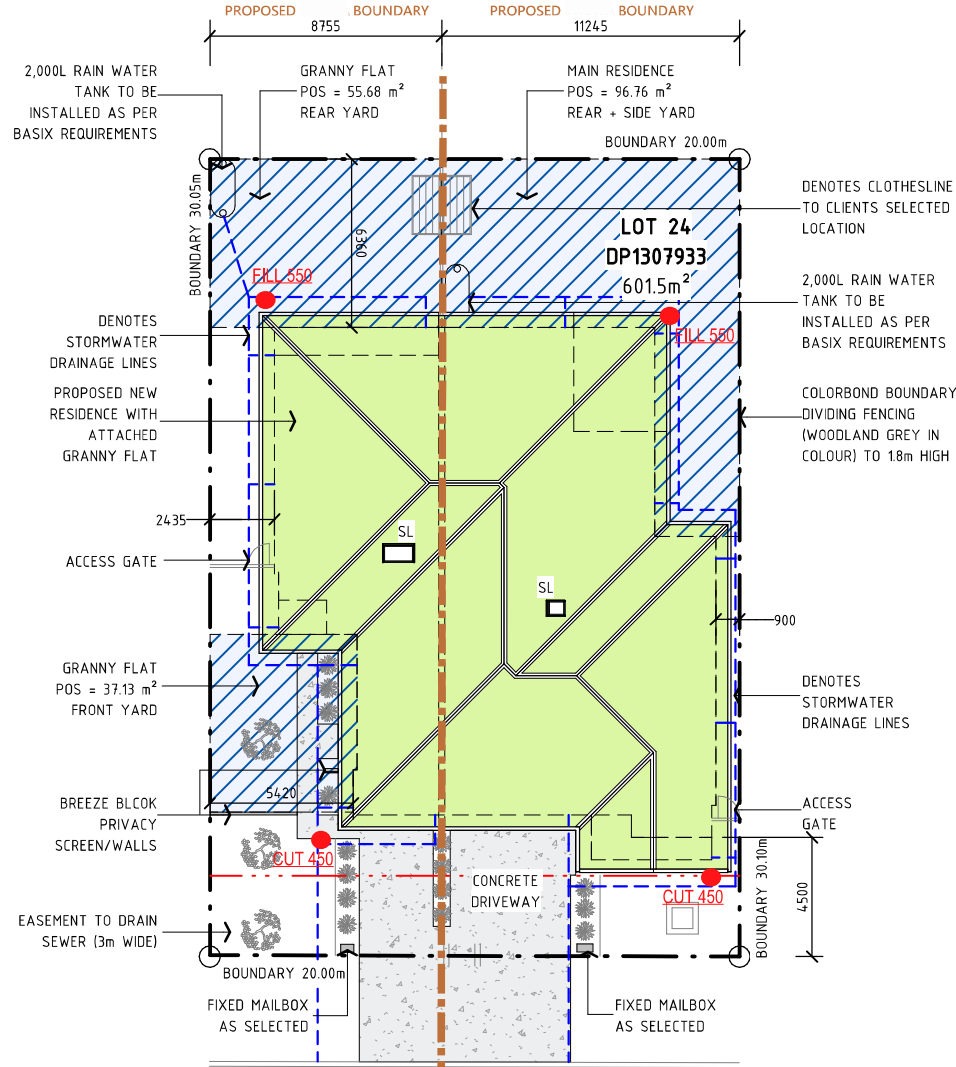
**DETAIL PLAN: SEDIMENT FENCE**  
NOT TO SCALE

**EROSION & SEDIMENT CONTROL NOTES:**

1. ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
2. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER AT LEAST WEEKLY. IF STRUCTURES ARE TO BE REMOVED, THEY ARE TO BE REINSTALLED & INSPECTED BY THE BUILDER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.
4. ACCESS TO SITE IS TO BE THROUGH USE OF THE ENTRY/EXIT SHOWN
5. ALL VEGETATION OUTSIDE OF THE CONSTRUCTION AREA IS TO BE RETAINED WHERE POSSIBLE (VEGETATION BUFFER)
6. STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE.
7. NO STORAGE OF MATERIALS OR VEHICLE MOVEMENTS ARE TO OCCUR OUTSIDE THE SITE BOUNDARIES.

**SITework NOTES:**

1. CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK
2. THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS
3. THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
4. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
5. BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.



MARSHFIELD LANE

GRANNY FLAST - Approx. 256.93m<sup>2</sup>  
MAIN DWELLING - Approx 344.57m<sup>2</sup>

**01 | SITE PLAN**  
SCALE: 1 : 200 (A3)

**LEGEND:**

- TEMPORARY SITE MATERIAL DISPOSAL AREA DURING CONSTRUCTION. TO BE PROTECTED BY A SEDIMENT FENCE OR STRAW BALE FILTER.
- SITE ACCESS DURING CONSTRUCTION

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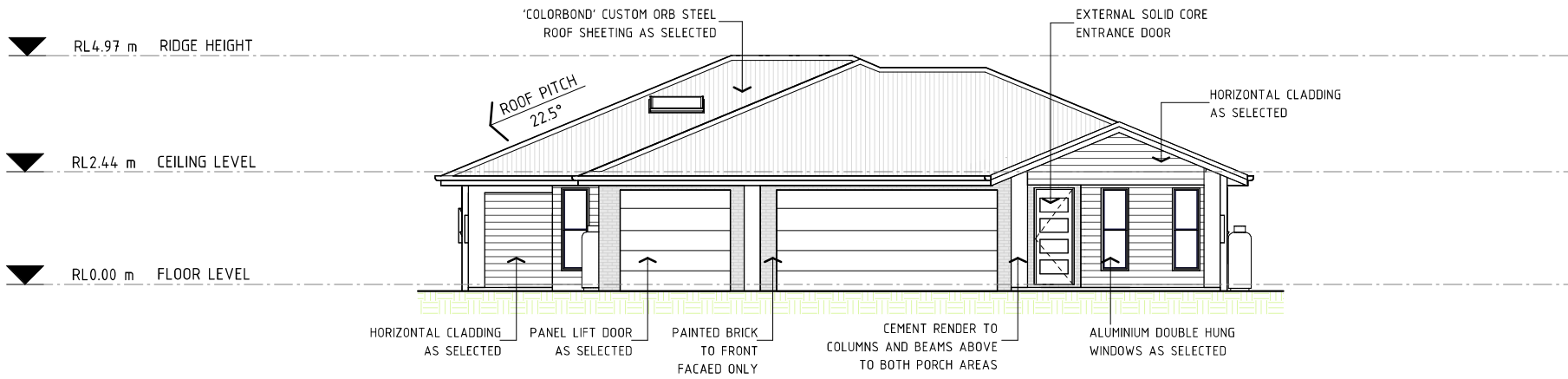


LYNCH BUILDING GROUP  
Client: **WOODS**  
Project: **HOUSE & ATTACHED GRANNY FLAT AT LOT 24 MARSHFIELD LANE, MUDGEE**

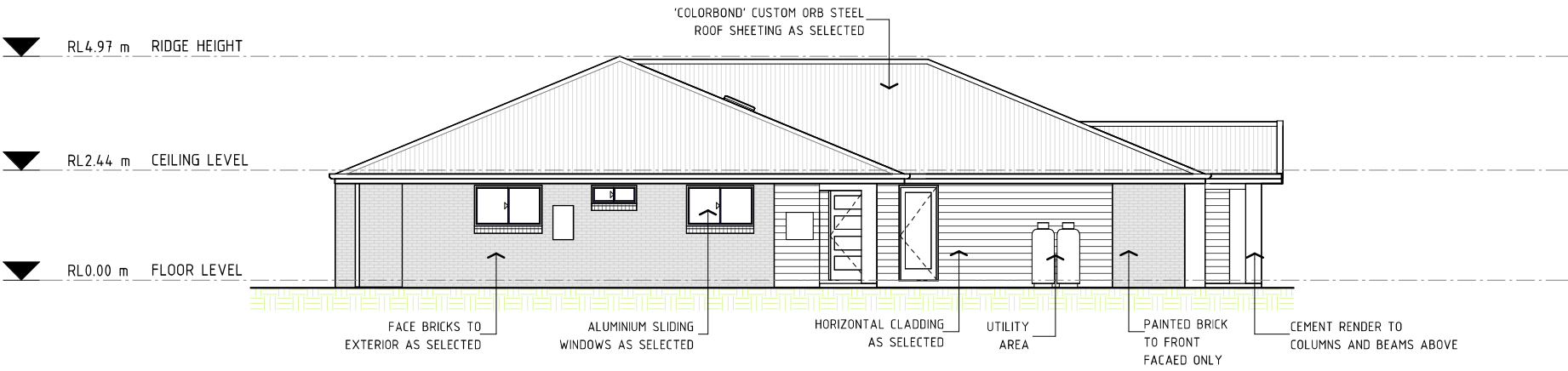


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Drawing Title: <b>SITE &amp; LOCATION PLAN</b>	Sheet <b>02</b> of <b>08</b>	Revision
Design <b>LBG</b>	Drawing Number	
Drawn <b>G.HACKETT</b>	<b>0535 - A02</b>	<b>C</b>
Check <b>J.LYNCH</b>		



**03 | ELEVATION: SOUTH FACADE**  
SCALE: 1 : 100 (A3)



**04 | ELEVATION: WEST FACADE**  
SCALE: 1 : 100 (A3)

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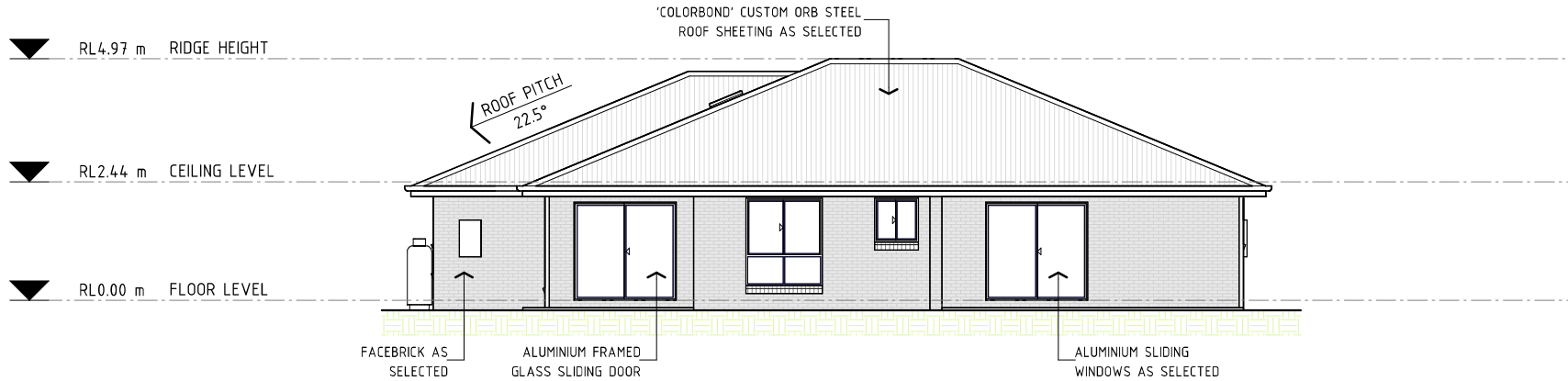


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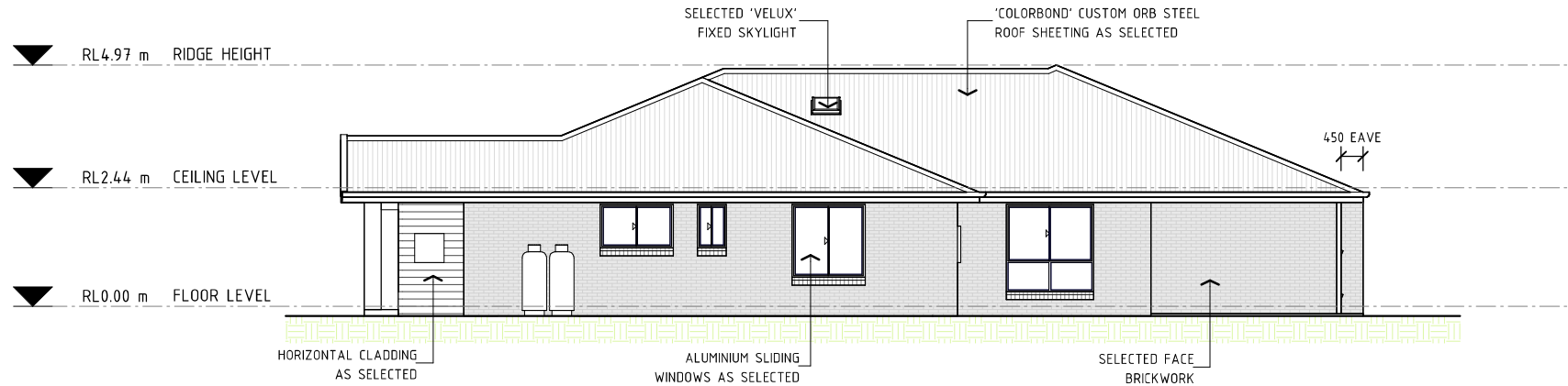


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Drawing Title: ELEVATIONS	
Design	LBG
Drawn	G.HACKETT
Check	J.LYNCH
Sheet 04 of 08	Drawing Number
<b>0535 - A04</b>	Revision
	<b>C</b>



**05** ELEVATION: NORTH FACADE  
SCALE: 1 : 100 (A3)



**06** ELEVATION: EAST FACADE  
SCALE: 1 : 100 (A3)

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Drawing Title: **ELEVATIONS**  
Design **LBG** Sheet **05** of **08**  
Drawn **G.HACKETT** Drawing Number  
Check **J.LYNCH** **0535 - A05** Revision **C**

## GRANNY FLAT BASIX CERTIFICATE COMMITMENTS:

### THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

#### FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.94 (OR 3.50 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED / CLADDLED	3.00 (OR 3.50 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF - FLAT	CEILING - 4.5 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL BACKED BLANKET	DARK (SOLAR ABSORBANCE >0.79)

### ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

<b>HOT WATER:</b>	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS
<b>COOLING SYSTEM:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
<b>HEATING SYSTEM:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
<b>VENTILATION:</b>	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
<b>ARTIFICIAL LIGHTING:</b>	THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLOURESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
<b>NATURAL LIGHTING:</b>	THE APPLICANT MUST INSTALL A WINDOW IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING THE APPLICANT MUST INSTALL A WINDOW IN THE BATHROOM OF THE DWELLING FOR NATURAL LIGHTING
<b>OTHER:</b>	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING

### GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW / DOOR	ORIENTATION	SIZE	SHADING	TYPE
KITCHEN	NORTH	2.0m x 2.1m	E: 164.0mm A/H: 220mm	ALUMINIUM, DOUBLE GLAZED (UVALUE: <=2.5, SHGC: >0.60)
ENTRY	SOUTH	1.8m x 0.6m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BED 1	WEST	0.9m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BATHROOM	WEST	0.4m x 1.0m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BED 2	WEST	0.9m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)

### WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

<b>FIXTURES:</b>	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (-4.5--6L/min). THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 5 STAR. THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN. THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
<b>ALTERNATIVE WATER SOURCE:</b>	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 85m <sup>2</sup> ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO: - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER; - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

## MAIN DWELLING BASIX CERTIFICATE COMMITMENTS:

### THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

#### FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.94 (OR 3.50 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED / CLADDLED	3.00 (OR 3.50 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	1.08 (OR 1.50 INCLUDING CONSTRUCTION)	
CEILING & ROOF - FLAT	CEILING - 5.5 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL BACKED BLANKET	DARK (SOLAR ABSORBANCE >0.79)

### ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

<b>HOT WATER:</b>	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS
<b>COOLING SYSTEM:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
<b>HEATING SYSTEM:</b>	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
<b>VENTILATION:</b>	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
<b>ARTIFICIAL LIGHTING:</b>	THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLOURESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
<b>NATURAL LIGHTING:</b>	THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING; - AT LEAST 3 BATHROOMS/TOILETS
<b>OTHER:</b>	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE EACH REFRIGERATOR SPACE MSUT BE CONSTRUCTED SO THAT IS WELL VENTILATED

### GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW / DOOR	ORIENTATION	SIZE	SHADING	TYPE
ENS	NORTH	0.9m x 0.9m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
MAIN BED	NORTH	1.8m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
LIVING	NORTH	2.0m x 2.1m	E: 600mm A/H: 150mm	ALUMINIUM, DOUBLE GLAZED (UVALUE: <=2.5, SHGC: >0.60)
LIVING	EAST	1.8m x 1.8m	E: 600mm A/H: 150mm	ALUMINIUM, DOUBLE GLAZED (UVALUE: <=2.5, SHGC: >0.60)
BED 2	EAST	1.5m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
WC	EAST	0.9m x 0.6m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BATHROOM	EAST	0.9m x 1.5m	E: 600mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)
BED 3 (x2)	SOUTH	1.8m x 0.6m	E: 1300mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (UVALUE: <=6.0, SHGC: >0.74)

### WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

<b>FIXTURES:</b>	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (-4.5--6L/min). THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR. THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN. THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
<b>ALTERNATIVE WATER SOURCE:</b>	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 163m <sup>2</sup> ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO: - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER; - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

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Drawing Title: **BASIX CERTIFICATE COMMITMENTS**  
Design **LBG** Sheet **08** of **08**  
Drawn **G.HACKETT** Drawing Number  
Check **J.LYNCH** **0535 - A08** Revision **C**