

PROPOSED RESIDENCE -

L3, 9 ARMSTRONG STREET
RYLSTONE, NSW 2849

NCC 2022- SPECIFICATIONS FOR RESIDENTIAL (CLASS 1 AND 10) BUILDINGS
NOTE: THE BUILDING WILL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT STANDARDS REFERRED TO BELOW. NOT ALL STANDARDS REFERENCED BELOW WILL BE APPLICABLE.

CLIENT SIGNATURE: _____

DATE: _____

H1 - STRUCTURE

SITE PREPARATION

- All earthworks will be carried out in accordance with H1D3 of the NCC 2022 or in accordance with Parts 3.2 & 4.22 of the ABCB Housing Provisions

FOOTINGS AND SLABS

- Footings and slabs will be designed and installed in accordance with H1D4 of the NCC 2022 and will comply with AS 2870; or, AS 3600; or to Parts 4 of the ABCB Housing Provisions 2022 as outlined in accordance with H1D4 of the NCC 2022

MASONRY

- Masonry veneer, unreinforced masonry, reinforced masonry and masonry accessories will be designed and installed in accordance with H1D5 of the NCC 2022 and will comply with AS 3700; or, AS 4773, Parts 1 and 2; or, Part 5.2 of the ABCB Housing Provisions as outlined in accordance with H1D5 of the NCC 2022

FRAMING - GENERAL

- All framing will be carried out in accordance with H1D6 of the NCC 2022
- Steel framing will be designed and constructed in accordance with H1D6 of the NCC 2022 and will comply with:
 - Residential and low-rise steel framing: NASH Standard 'Residential and Low-Rise Steel Framing' Part 1 or Part 2.
 - AS 4100 – Steel structures.
 - AS/NZS 4600 – Cold-formed steel structures.
- Timber framing will be designed and constructed in accordance with the following as per the NCC H1D6:
 - Design of timber structures: AS 1720.1.
 - Design of nailplated timber roof trusses: AS 1720.5.
 - Residential timber-framed construction – non-cyclonic areas: AS 1684.2 or AS 1684.4.
 - Residential timber-framed construction – cyclonic areas: AS 1684.3.
 - Installation of particleboard flooring: AS 1860.2.
- Structural steel members will be designed and constructed in accordance with the following as per the NCC H1D6:
 - Steel structures: AS 4100.
 - Cold-formed steel structures: AS/NZS 4600.
 - For structural stability, strength and deflection, and subject to (6), Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022
 - For corrosion protection, clause 6.3.9 of Part 6.3 of the ABCB Housing Provisions as outlined in accordance with H1D6 of the NCC 2022

ROOF CLADDING

- Roof Cladding will be carried out in accordance with H1D7 of the NCC 2022
 - Metal roofing: AS 1562.1; and with Figure 2.2.3 in Section 2 of the ABCB Housing Provisions (cyclonic areas)
 - Plastic sheet roofing: AS 1562.3.
 - Metal sheet roofing: Part 7.2 of the ABCB Housing Provisions, provided the building is located in an area with a wind class of more than N3.
 - Terracotta, fibre-cement and timber slates and shingles: AS 4597.
 - Roof tiles: AS 2050; or Part 7.3 of the ABCB Housing Provisions as outlined in H1D7 of the NCC 2022

WALL CLADDING

- Timber and composite wall cladding will be carried out in accordance with H1D7 of the NCC 2022
 - Autoclaved aerated concrete wall cladding, AS 5146.1; or
 - wall cladding, part 7.5 of the ABCB Housing Provisions
- Metal wall cladding will be designed and constructed in accordance with AS 1562.1

GLAZING

- glazing and windows, glazed assemblies, glazed assemblies at risk of human impact will be designed and constructed in accordance with H1D8 of the NCC 2022 and will comply with AS 2047; AS 4055; AS 1288 and/or comply with Part 8.4 of the ABCB Housing Provisions as specifically outlined under H1D8 of the NCC 2022

EARTHQUAKE AREAS

- Class 1 and 10 buildings constructed in areas subject to seismic activity is satisfied if the building is constructed in accordance with Section 2 of the ABCB Housing Provisions 2022 as outlined under H1D9 of the NCC 2022

FLOOD HAZARD AREAS

- Class 1 building constructed in a flood hazard area is satisfied if the building is constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas as outlined under H1D10 of the NCC 2022

ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE

- The attachment of a deck or balcony to an external wall will be designed and constructed in accordance Part 12.3 of the ABCB Housing Provisions as outlined under H1D11 of the NCC 2022

PILED FOOTINGS

- Piled footings are to be designed and installed in accordance with H1D12 of the NCC 2022 & AS 2159.

H2 - DAMP & WEATHERPROOFING

DRAINAGE

- All drainage works will be carried out in accordance with H2D2 of the NCC 2022 and will comply with AS/NZS 3500.5 or in accordance with Parts 3.3 of the ABCB Housing Provisions as outlined under H2D2 of the NCC 2022

FOOTINGS AND SLABS

- Footings and slabs will be designed and installed in accordance with H2D3 of the NCC 2022

MASONRY

- Masonry veneer, unreinforced masonry, reinforced masonry and masonry accessories will be designed and installed in accordance with H2D4 of the NCC 2022 and will comply with AS 3700; or, AS 4773, Parts 1 and 2; or, Part 5.2 of the ABCB Housing Provisions as outlined in accordance with H2D4 of the NCC 2022

SUBFLOOR VENTILATION

- Subfloor ventilation will be designed and installed in accordance with part 6.2 of the ABCB Housing Provisions 2022 as outlined under H2D5 of the NCC 2022

ROOF AND WALL CLADDING

- Gutters & Downpipes will be carried out in accordance with H2D6 of the NCC 2022 and comply with AS/NZS 3500.3; or, Part 7.4 of the ABCB Housing Provisions as outlined in accordance with H2D6 of the NCC 2022

GLAZING

- Weatherproofing Glazing will be carried out in accordance with H2D7 of the NCC 2022 & in accordance with H2D8 of the NCC 2022

EXTERNAL WEATHERPROOFING

- Construction of external waterproofing for roofing systems on flat roofs, roof terraces, balconies and terraces and other similar horizontal surfaces located above internal spaces of a building will be constructed in accordance with H2D8 of the NCC 2022
- Membranes and the design and installation used in the external waterproofing system will comply with AS 4654.1

H3 - FIRE SAFETY

FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS

- The following materials may be used wherever a non combustible material is required as outlined under H3D2 of the NCC 2022.
 - Plasterboard, Perforated Gypsum Lath with normal paper finish, Fibrous-plaster sheet, Fibre reinforced cement sheeting, Pre finished metal sheeting(as outlined), Sarking-type materials & Bonded laminated materials (as outlined).
- Fire hazard properties for Class 1 Building, including floor or ceiling spaces common with Class 10 buildings will be carried out in accordance with H3D2 of the NCC 2022.

FIRE SEPARATION OF EXTERNAL WALLS

- Fire separation of external walls will be carried out in accordance with Part 9.2 of the ABCB Housing Provisions as outlined under H3D3 of the NCC 2022

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS

- Fire protection of separation walls and floors will be carried out in accordance with Part 9.3 of the ABCB Housing Provisions as outlined under H3D4 of the NCC 2022

FIRE SEPARATION OF GARAGE-TOP-DWELLINGS

- Fire protection of separation walls and floors will be carried out in accordance with Part 9.4 of the ABCB Housing Provisions as outlined under H3D5 of the NCC 2022

SMOKE ALARMS AND EVACUATION LIGHTING

- Smoke alarms and evacuation lighting will be carried out in accordance with Part 9.5 of the ABCB Housing Provisions as outlined under H3D6 of the NCC 2022
- A Class 1 building includes a Class 10a private garage located above or below will be carried out in accordance with H3D6 of the NCC 2022.

H4 - AMENITY

WET AREAS

- Wet areas will be designed and constructed in accordance with AS370; or, Parts 10.2 of the ABCB Housing Provisions as outlined under H4D2 of the NCC 2022

MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS

- Materials will be designed and constructed in accordance with AS370; or, relevant Parts under 10.2 of the ABCB Housing Provisions as outlined under H4D3 of the NCC 2022

ROOM HEIGHTS

- Room heights will be designed and constructed in accordance with Parts 10.3 of the ABCB Housing Provisions as outlined under H4D4 of the NCC 2022

FACILITIES

- Facilities will be designed and constructed in accordance with Parts 10.4 of the ABCB Housing Provisions as outlined under H4D5 of the NCC 2022

LIGHT

- Lighting will be designed and constructed in accordance with Parts 10.5 of the ABCB Housing Provisions as outlined under H4D6 of the NCC 2022

VENTILATION

- Room heights will be designed and constructed in accordance with H4D7 of the NCC 2022 & Parts 10.6 of the ABCB Housing Provisions as outlined under H4D7 of the NCC 2022

SOUND INSULATION

- Sound insulation will be designed and constructed in accordance with Parts 10.7 of the ABCB Housing Provisions as outlined under H4D8 of the NCC 2022

CONDENSATION MANAGEMENT

- Condensation management will be designed and constructed in accordance with Parts 10.8 of the ABCB Housing Provisions as outlined under H4D9 of the NCC 2022

H5 - SAFE MOVEMENT AND ACCESS

STAIRWAY AND RAMP CONSTRUCTION

- Stairway and ramps will be designed and constructed in accordance with Parts 11.2 of the ABCB Housing Provisions as outlined under H5D2 of the NCC 2022

BARRIERS AND HANDRAILS

- Barriers and handrails will be designed and constructed in accordance with Parts 11.3 of the ABCB Housing Provisions as outlined under H5D3 of the NCC 2022

STAIRWAY AND RAMP CONSTRUCTION

- Stairway and ramp construction will be designed and constructed in accordance with Parts 11.2 of the ABCB Housing Provisions as outlined under H5D2 of the NCC 2022

H6 - ENERGY EFFICIENCY

APPLICATION OF PART H6

- Thermal building performance will comply with S42C2, using house energy rating software and S42C4(1); or Parts 13.2-13.5 of the ABCB Housing Provisions as outlined under H6D2 of the NCC 2022

H7 - ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS

SWIMMING POOLS

- Swimming pools with depths greater than 300mm and associated water reticulation systems will be designed and constructed in accordance with H7D2 of the NCC 2022 and will comply with AS1926.1; AS1926.2; and, AS1926.3

CONSTRUCTION IN ALPINE AREAS

- Building located in alpine areas will be designed and constructed in accordance with Parts 12.2 of the ABCB Housing Provisions as outlined under H7D3 of the NCC 2022
- The Deemed-to-Satisfy Provisions of this Part apply in addition to other Deemed-to-Satisfy Provisions of NCC Volume Two and the ABCB Housing Provisions.
- Where any Deemed-to-Satisfy Provisions are in conflict, the provisions of H7D3 take precedence.

CONSTRUCTION IN BUSHFIRE AREAS

- Class 1 building, or a Class 10a building or deck associated with a Class 1 building will be designed and constructed in accordance with H7D4 of the NCC 2022 and will comply with AS3959; or, NASH Standard - Steel Framed Construction in Bushfire Areas

HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUTES

- Heating appliances will be installed in accordance with H7D5 of the NCC 2022 and will comply with AS/NZS 2918; or, Parts 12.4 of the ABCB Housing Provisions as outlined under H7D4 of the NCC 2022

H8 - LIVABLE HOUSING DESIGN

LIVABLE HOUSING DESIGN

- Class 1a dwellings will be designed and constructed in accordance with the ABCB Standard for Livable Housing Design as outlined under H8D2 of the NCC 2022

DRAWING LIST	
000	Cover Page & General Construction Notes
001	Illustration of Design
100	Site Plan
200	Ground Floor Plan
210	Roof Plan
300	Elevations
500	Slab Plan
600	Electrical Plans
800	Colour Selections

Cover Page & General Construction Notes

imagine
by design

JOB ADDRESS:

L3, 9 ARMSTRONG STREET
RYLSTONE, NSW 2849

CLIENT:

STEPHEN SHAW

DESIGN:

Randell Modified

REV

DATE

DESCRIPTION

DRAWN

STAGED PLAN:

WIND RATING:

DWG No:

ISSUE:

PRE
A
B
C
D

22.08.24
20.09.24
04.10.24
14.10.24
Date 5

PRELIMINARY DESIGN
WORKING DRAWINGS - Initial
WORKING DRAWINGS - Amendments
WORKING DRAWINGS - Tree Removal Notes
WORKING DRAWINGS - Basis

LP
LP
LP
LP
LP

PRELIMINARY

N3 TBC.

000

D

S.P:
DP1010093

LAND AREA:
1350ha

SCALE:
@ A2

PRELIM - NOT FOR CONSTRUCTION

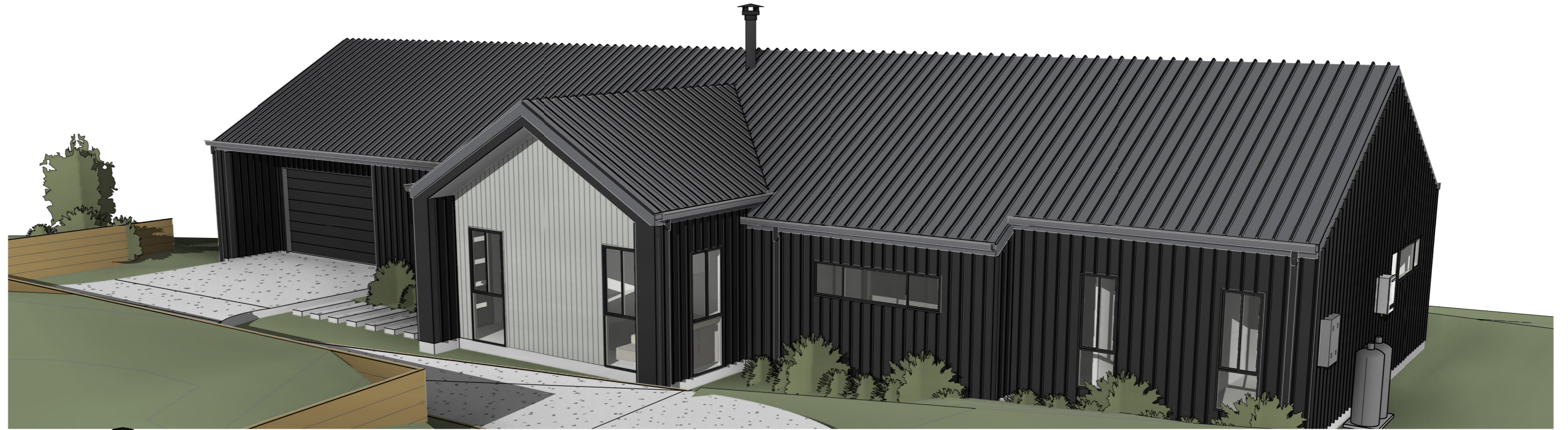


Illustration of Design

imagine
by design

JOB ADDRESS:
**L3, 9 ARMSTRONG STREET
RYLSTONE, NSW 2849**

CLIENT:
STEPHEN SHAW

DESIGN:
Randell Modified

PRELIM - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	DRAWN
PRE	22.08.24	PRELIMINARY DESIGN	LP
A	20.09.24	WORKING DRAWINGS - Initial	LP
B	04.10.24	WORKING DRAWINGS - Amendments	LP
C	14.10.24	WORKING DRAWINGS - Tree Removal Notes	LP
D	Date 5	WORKING DRAWINGS - Basic	LP

STAGED PLAN:
PRELIMINARY

WIND RATING:
N3 TBC.

S.P:
DP1010093

LAND AREA:
1350ha

DWG No: **001**

ISSUE: **D**

SCALE:
@ A2

LEGAL DESCRIPTION

ADDRESS: 9 ARMSTRONG STREET
RYLSTONE, NSW 2849
LOT 3, DP1010093

SITE AREA: 2.85ha

LGA: MID-WESTERN REGIONAL COUNCIL

ZONE: RU5 - VILLAGE

SITE COVERAGE: 1350m² = 17.3%

OVERLAYS:

ANY CUT OR FILL ON THE PROPERTY TO BE BATTERED AT A RATIO NOT GREATER THAN 1:2 (V:H) WITHIN THE PROPERTY BOUNDARY, STABILISED AND PROVIDED WITH A DISH DRAIN OR SIMILAR AT THE BASE

NOTE: STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS. MIN GRADE TO RUBBLE PITS ON SITE TO BE 1%. ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2 & 3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

AREA SCHEDULE

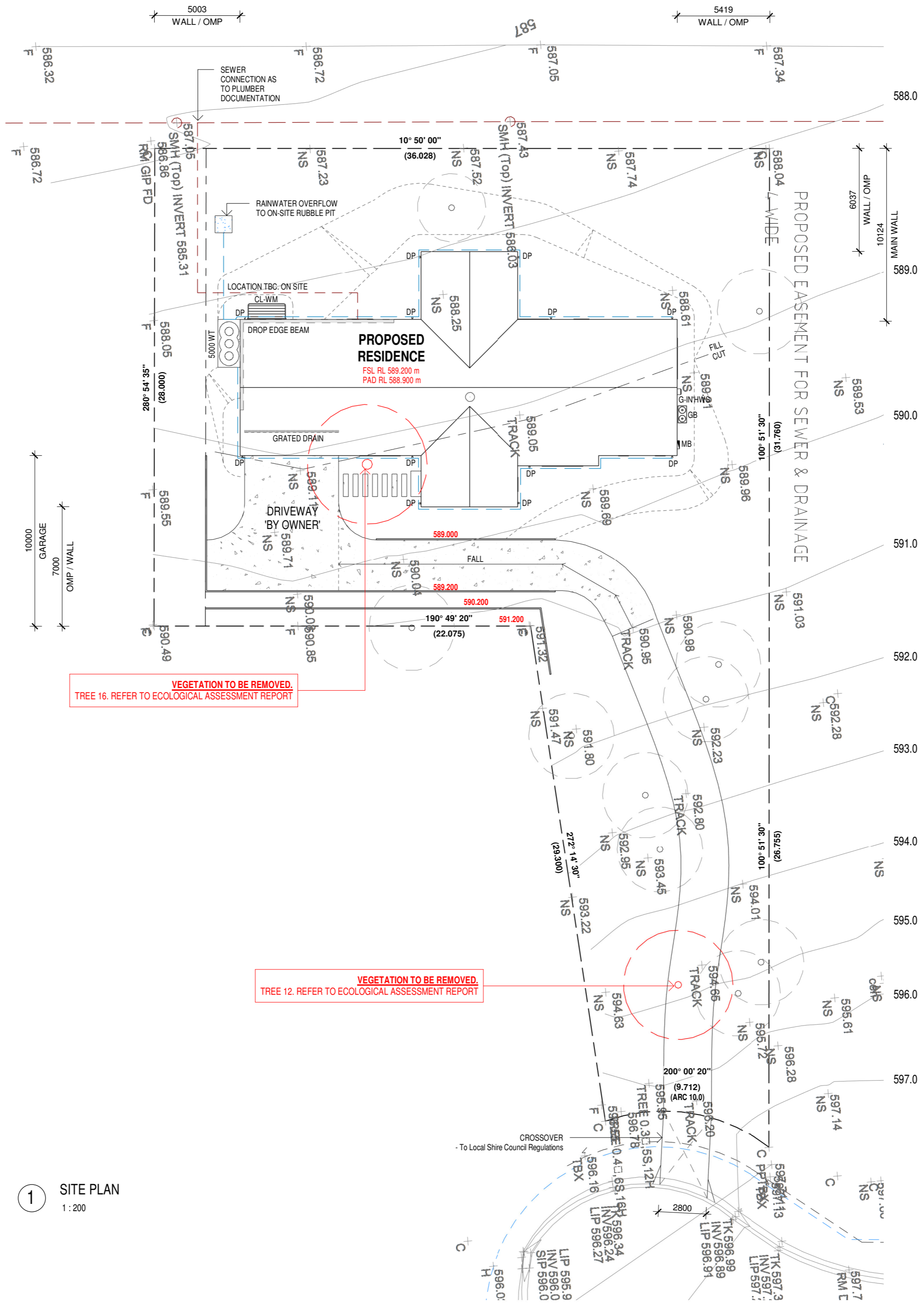
Name	Area
ALFRESCO	23.0 m ²
GARAGE	39.7 m ²
GROUND FLOOR LIVING	171.0 m ²
Ground Floor	233.7 m ²
Grand total	233.7 m ²

LEGEND

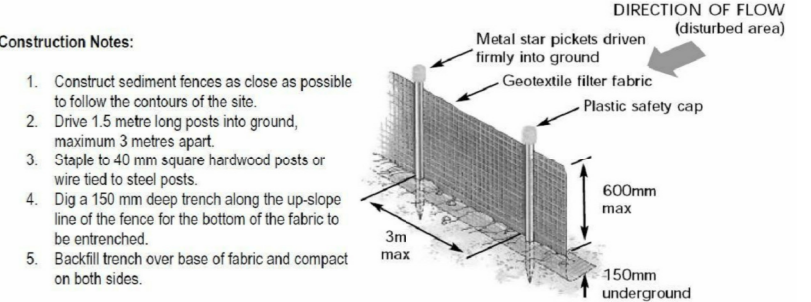
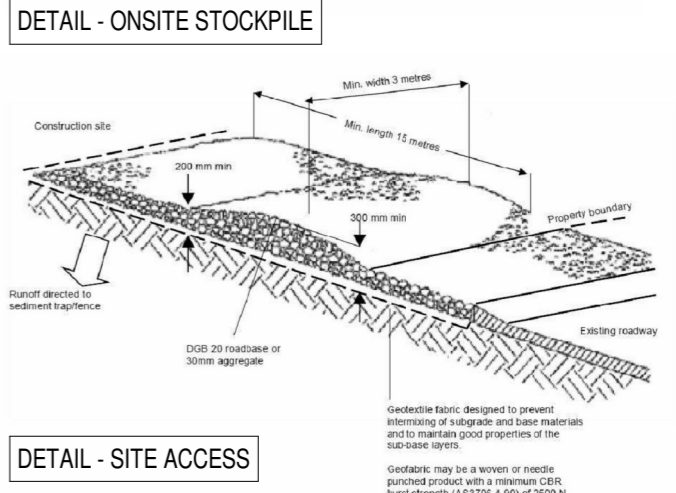
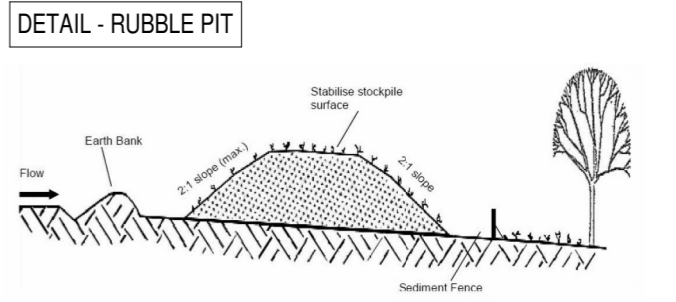
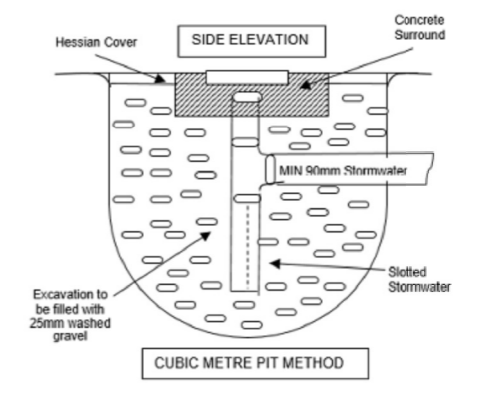
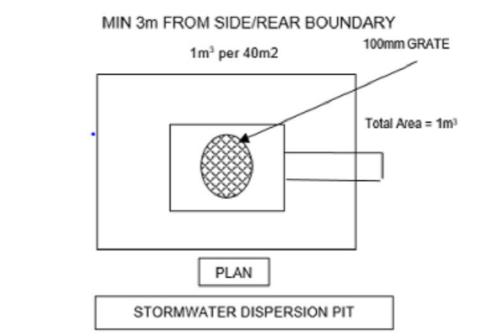
5000 WT	5000L SLIMLINE RAINWATER TANK 1150x2600mm
CL-WM	WALL MOUNTED CLOTHES LINE
DP	DOWNPIPE
G-IN/HWS	GAS HOT WATER SYSTEM - INSTANTANEOUS
GB	GAS BOTTLES
MB	METER BOX

WIND CATEGORY: TBC
STANDARD CONSTRUCTION SPECIFICATION SUITABLE TO N3 OR BELOW

NOTE:
CADASTRAL BOUNDARIES ARE INDICATIVE ONLY. ALL DISTANCES, BEARINGS, SITE LEVELS AND AREAS ARE APPROXIMATE ONLY AND ARE NOT TO BE REFERENCED FOR CONSTRUCTION PURPOSES.



1 SITE PLAN
1:200



2 DETAILS - Site Construction
1:1



JOB ADDRESS: L3, 9 ARMSTRONG STREET RYLSTONE, NSW 2849

CLIENT: STEPHEN SHAW

DESIGN: Randell Modified

REV	DATE	DESCRIPTION	DRAWN	STAGED PLAN:	WIND RATING:	DWG No:	ISSUE:
PRE	22.08.24	PRELIMINARY DESIGN	LP	PRELIMINARY	N3 TBC.	100	D
A	20.09.24	WORKING DRAWINGS - Initial	LP				
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C	14.10.24	WORKING DRAWINGS - Tree Removal Notes	LP				
D	04.11.24	WORKING DRAWINGS - Basic	LP				

S.P. DP1010093

LAND AREA: 1350ha

SCALE: As indicated @ A2

PRELIM - NOT FOR CONSTRUCTION

NOTES:

DOWNPIPES ARE TO SERVICE 12m MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN CLAUSE 7.4.5 OF THE ABCB HOUSING PROVISIONS

GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ2179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273

ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZ54200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY & HAVE A MAXIMUM 5 FLAMMABILITY INDEX. TO BE IN ACCORDANCE WITH CLAUSE 7.3.4 OF THE ABCB HOUSING PROVISIONS

ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES

DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE. BE INSTALLED NO LESS THAN 100mm FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN 50mm FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)

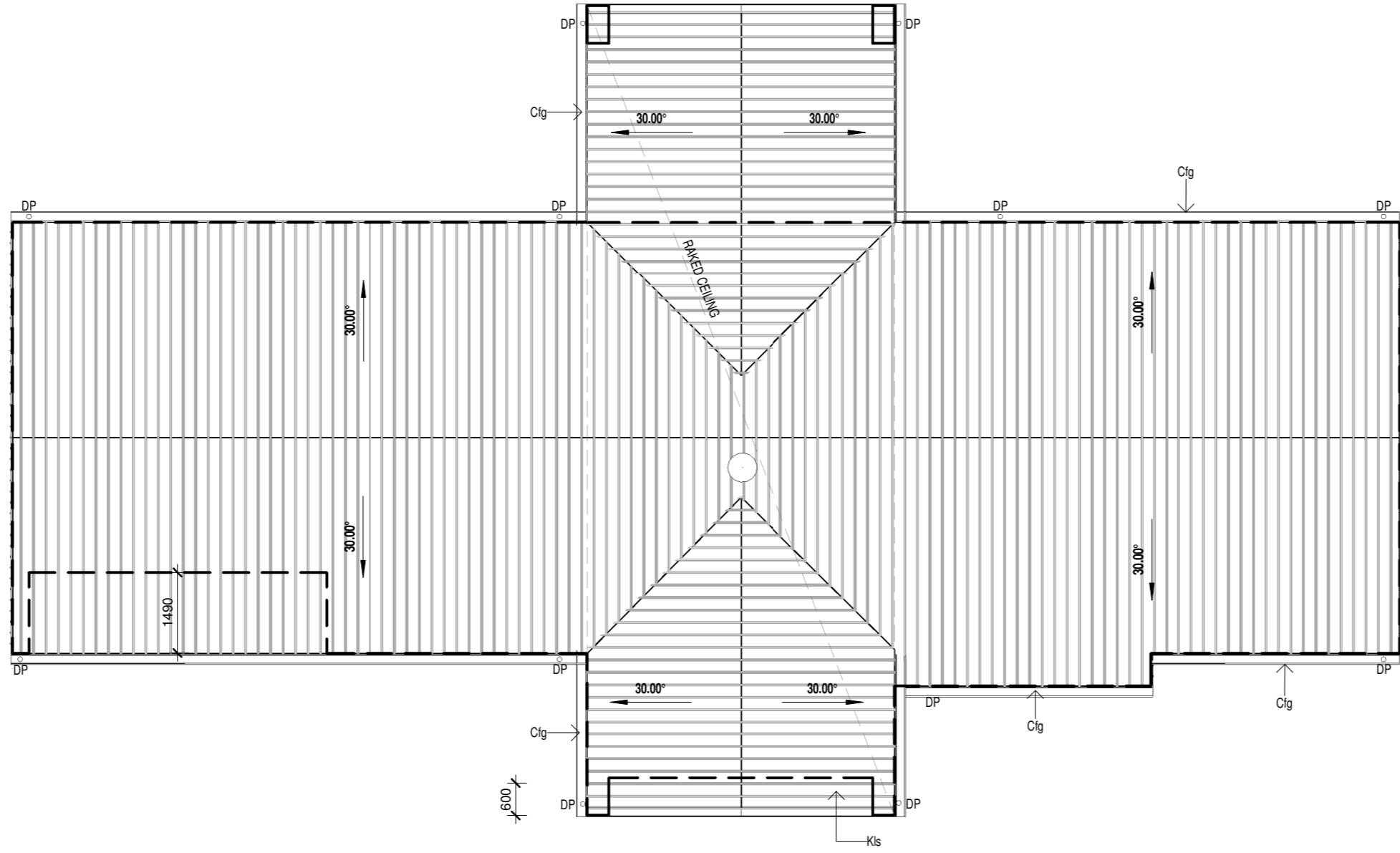
CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY

CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3

OVERFLOW MEASURES IN ACCORDANCE WITH CLAUSE 7.4.6 OF THE ABCB HOUSING PROVISIONS

ROOF PLAN PROVIDED IS A GUIDE ONLY.

LEGEND	
Cfg	Colorbond Fascia & Gutter
DP	DOWNPIPE
Kls	Klip-Lok Steel Roof Sheeting



1 ROOF PLAN
1 : 100

Roof Plan



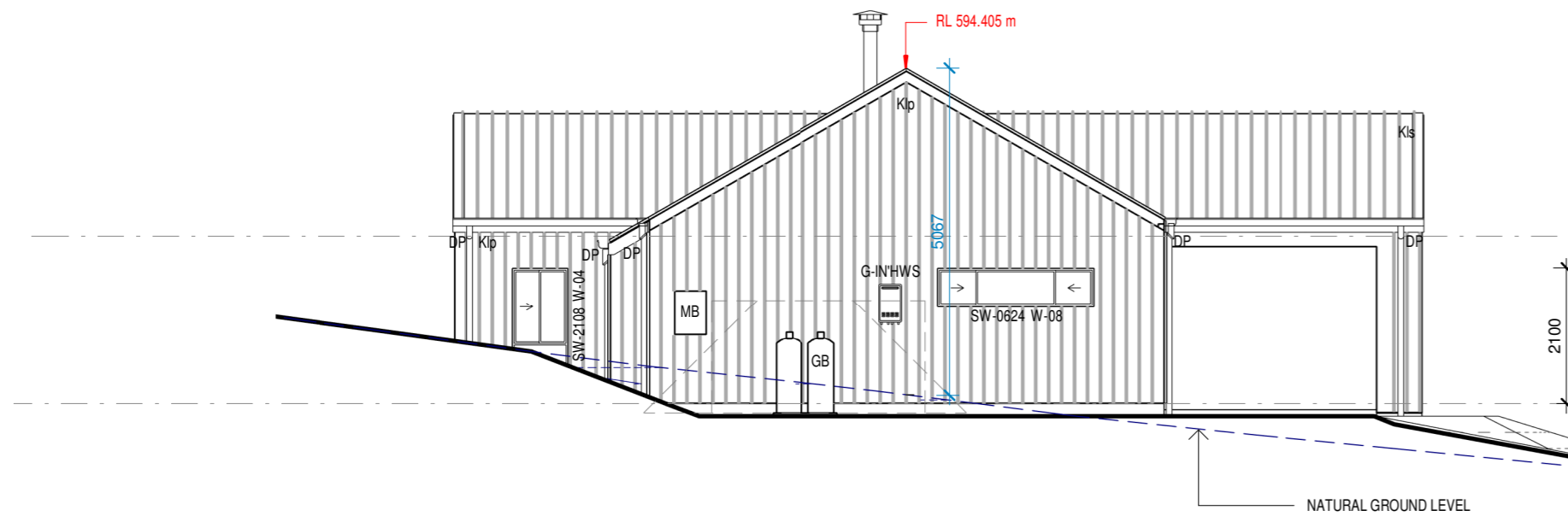
JOB ADDRESS: L3, 9 ARMSTRONG STREET RYLSTONE, NSW 2849
 CLIENT: STEPHEN SHAW
 DESIGN: Randell Modified

PRELIM - NOT FOR CONSTRUCTION

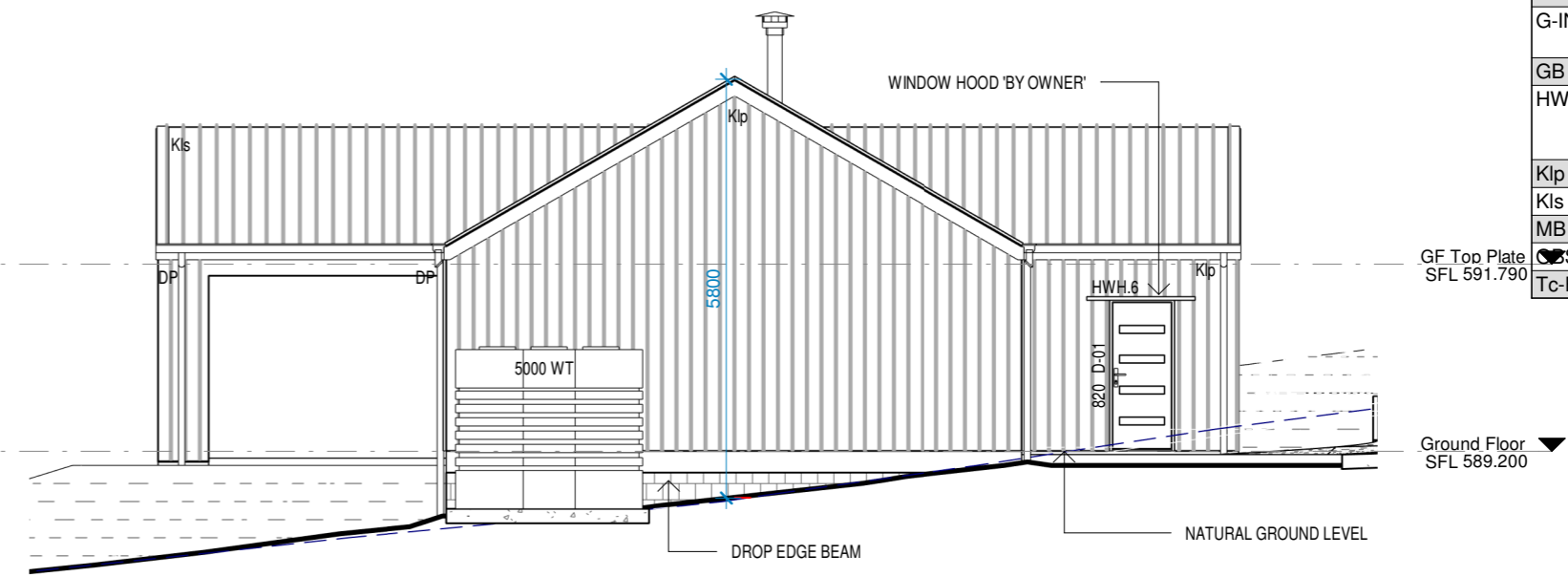
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PRE	22.08.24	PRELIMINARY DESIGN	LP	PRELIMINARY	N3 TBC.	210	D
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S.P: DP1010093
 LAND AREA: 1350ha
 SCALE: 1 : 100 @ A2

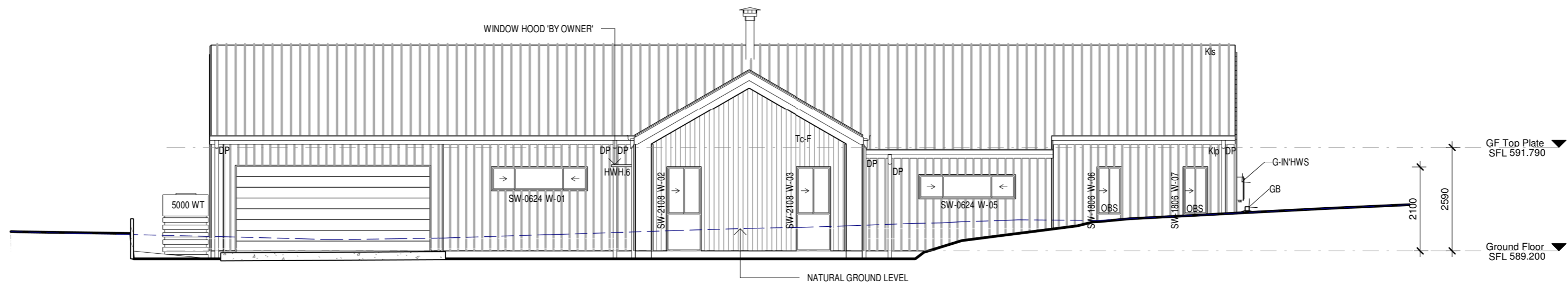
LEGEND	
5000 WT	5000L SLIMLINE RAINWATER TANK 1150x2600mm
Cm	Concrete Masonry
DP	DOWNPIPE
G-IN'HWS	GAS HOT WATER SYSTEM - INSTANTANEOUS
GB	GAS BOTTLES
HWH.6	'HEKAHOOD' METAL WINDOW HOOD - 600mm DEEP - BY OTHERS
Klp	Klip-Lok 700 wall cladding
Kls	Klip-Lok Steel Roof Sheetting
MB	METER BOX
OBS	OBSCURE GLAZING
Tc-F	Feature Timber Cladding



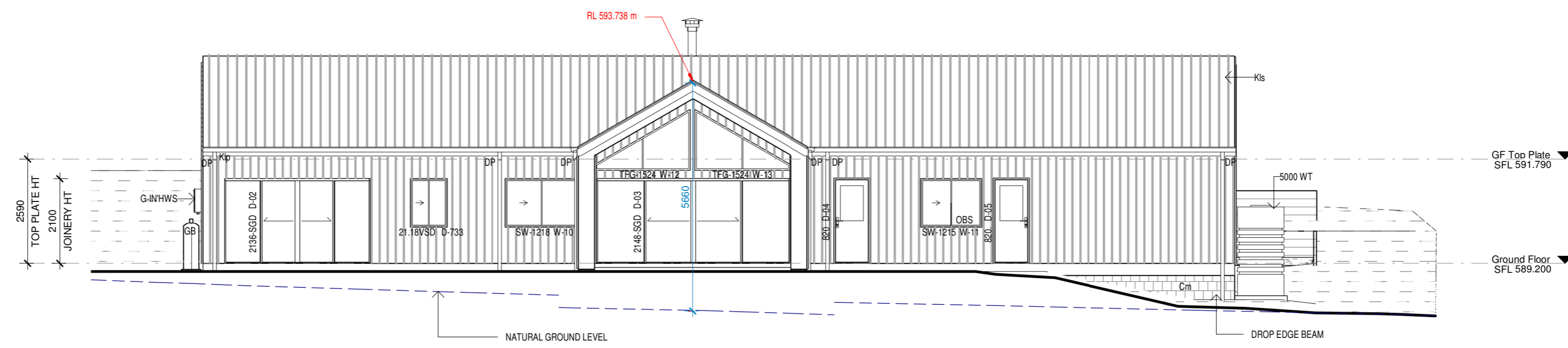
1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION
1:100



3 EAST ELEVATION
1:100



4 WEST ELEVATION
1:100

6100 OVERALL

Elevations

PRELIM - NOT FOR CONSTRUCTION



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STAGED PLAN:	WIND RATING:	DWG No:	ISSUE:
PRELIMINARY	N3 TBC.	300	D
S.P:	LAND AREA:	SCALE:	
DP1010093	1350ha	1:100 @ A2	