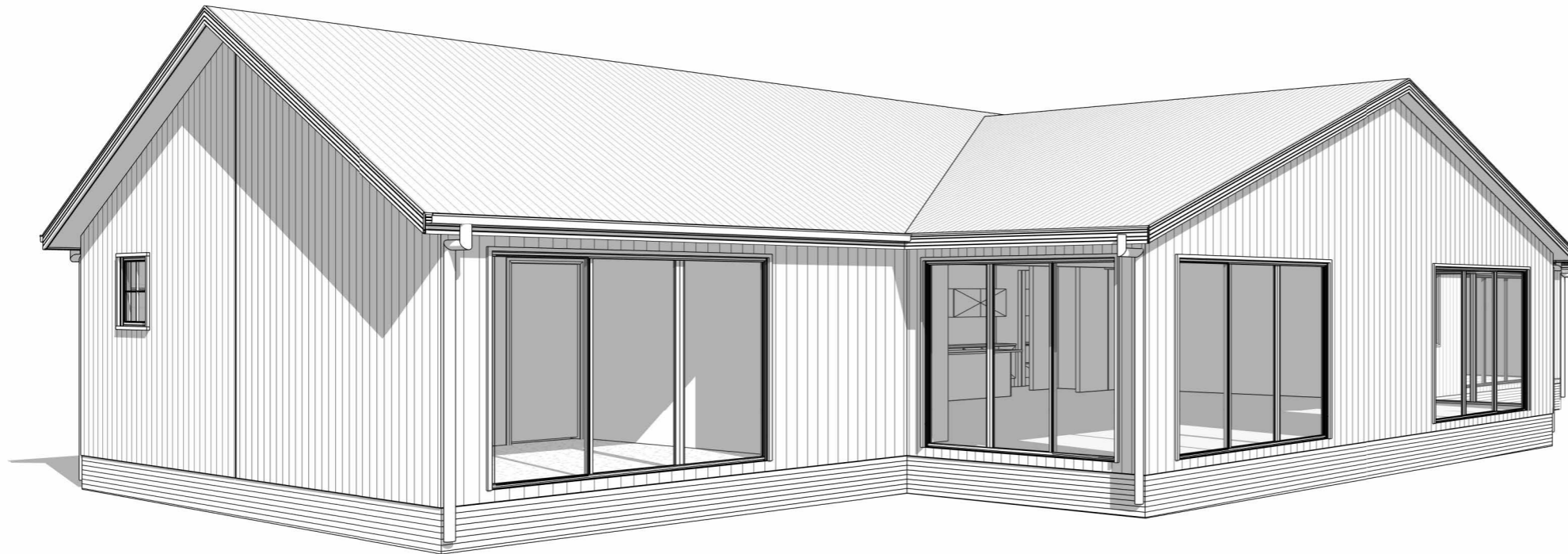
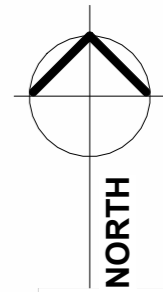


# PROPOSED RESIDENCE

AT: LOT 899 DP 1278019  
435 KALUDABAH ROAD, PIAMBONG NSW 2850

FOR: HEAP.G & M



## SHEET LIST

Sheet Name	Sheet No	REV	Sheet Issue Date
TITLE SHEET & LOCATION	01		18/10/2024
SITE PLAN & GENERAL NOTES	02	1	28/10/2024
SITE PLAN & EARTHWORK	03	1	28/10/2024
FLOOR PLAN	04	8	28/10/2024
ELEVATIONS	05		18/10/2024
ELEVATIONS	06		18/10/2024
PERSPECTIVE	07	3	18/10/2024
PERSPECTIVE	08	3	18/10/2024
SECTION PLAN	09		05/11/2024
WINDOWS SCHEDULE	10		18/10/2024
DOORS SCHEDULE	11		18/10/2024
ELECTRICAL PLAN	12		18/10/2024

CLIENT DRAWING APPROVAL  
DRAWINGS HAVE BEEN REVIEWED AND APPROVED (WITH OR WITHOUT COMMENTS) IN CONJUNCTION WITH STANDARD INCLUSIONS, AGREED SELECTIONS, COUNCIL & CONDITIONS, & AGREED VARIATIONS (WHERE UPGRADES HAVE BEEN SELECTED).

NAME/S: \_\_\_\_\_

DATE: \_\_\_\_\_

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NO.	REVISION NOTE	DATE	BY

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JOB N°: 1225  
JOB TYPE: PROPOSED RESIDENCE  
CLIENT: HEAP.G & M  
ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



## ISSUED FOR APPROVAL

BAL RATING: BAL 29  
WIND SPEC: N3  
SITE SPEC: H1  
SHEET N°: 01 of 12  
DRAWING: TITLE SHEET & LOCATION  
DRAWING N°: MG5381V4  
REVISION N°: CHECK BY: Planning  
SCALE: 1 : 200  
DRAW BY: MTK





**GENERAL NOTES**

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB AND PROPERTY BOUNDARY. STOCK PILES SHOULD BE PROTECTED OR MOVED FROM THE SITE.
2. ROOF DRAINAGE TO BE CONNECTED TO THE APPROVED STORM WATER SYSTEM AS SOON AS POSSIBLE.
3. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY VEHICLES ARE TO BE FILLED AS SOON AS PRACTICAL.
4. ONLY ONE EXIT POINT SHOULD BE USED AND SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL FROM REACHING THE ROAD AND TO STOP BOGGING.
5. DRAINAGE DITCHES ABOVE AND BELOW CUT AND FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.
6. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH ALL RELEVANT BUILDING CODES AND GOVERNING AUTHORITIES REQUIREMENTS.
7. THESE DRAWINGS DO NOT SHOW ANY STRUCTURAL ENGINEERING DETAILS.
8. DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. FIGURED DIMENSIONS TO TAKE REFERENCE OVER SCALING OF DRAWINGS. DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
9. EXCAVATED MATERIALS RELOCATED ON SITE FOR GARDENS. BRICKS, CONCRETE, TIMBER AND OTHER PRODUCTS ARE TO BE SORTED AND DISPOSED TO LOCAL RECYCLING FACILITY AS PER WASTE BOARD GUIDE.
10. DO NOT KEEP SUPERSEDED DRAWINGS ON SITE.
11. WHILE EVERY EFFORT HAS BEEN MADE TO DEPICT THE PROPOSAL ACCURATELY, ANY VARIATION BETWEEN THESE DRAWINGS AND THE AGREED QUOTE, THE QUOTE IS TO TAKE PREFERENCE.
12. THIS DEVELOPMENT WILL NOT HAVE ANY AVERSE EFFECTS ON THE ENVIRONMENT OR ITS SURROUNDS.
13. THERE ARE NO TREES TO BE REMOVED WITHIN THE CONSTRUCTION AREA.
14. LEVELS TO ASSUMED HEIGHT DATUM. REFER SITE PLAN, ELEVATIONS AND SECTION.
15. NO SUBTERRANEAN INVESTIGATION OF SERVICES OF SERVICES HAS BEEN CARRIED OUT.

**CONTROL MEASURES**

ALL PERSONS ENTERING THE SITE MUST BE MADE AWARE OF THESE DANGERS AND TAKE RELEVANT ACTION TO ENSURE THAT THEIR WORK AREA IS MAINTAINED AS SAFE TO PROCEED. IF YOU ARE UNABLE TO PROCEED DUE TO THE EXISTENCE OF AN UNSAFE WORK AREA, YOU MUST NOTIFY YOUR SITE SUPERVISOR IMMEDIATELY SO THAT ACTION CAN BE TAKEN TO REMEDY THE SITUATION.

LEGEND	
-sf-	SEDIMENT FENCE
-sw-	STORM WATER DRAINAGE
-s-	SEWER DRAINAGE
KO	DENOTES KERB OUTLET
WC,ET,TC	DENOTES SERVICE CONDUIT
SV	DENOTES STOP VALVE
HYRAD	DENOTES HYDRANT
DW	DISHWASHER SPACE

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DATE: \_\_\_\_\_

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NO.	REVISION NOTE	DATE	BY
1	Add shed to site plans	28/10/2024	MTK

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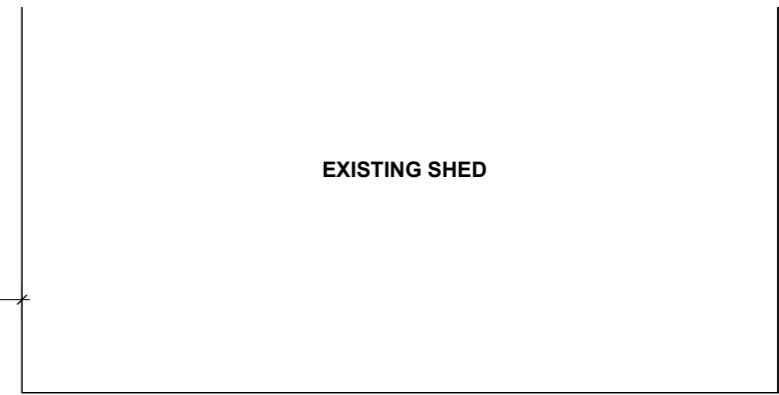
JOB N°: 1225  
JOB TYPE: PROPOSED RESIDENCE  
CLIENT: HEAP, G & M  
ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



BAL RATING:	BAL 29	DRAWING:	SITE PLAN & GENERAL NOTES
WIND SPEC:	N3	DRAWING N°:	MG5381V4
SITE SPEC:	H1	REVISION N°: 1	CHECK BY: Planning
SHEET N°:	02 of 12	SCALE: 1:6000	DRAW BY: MTK

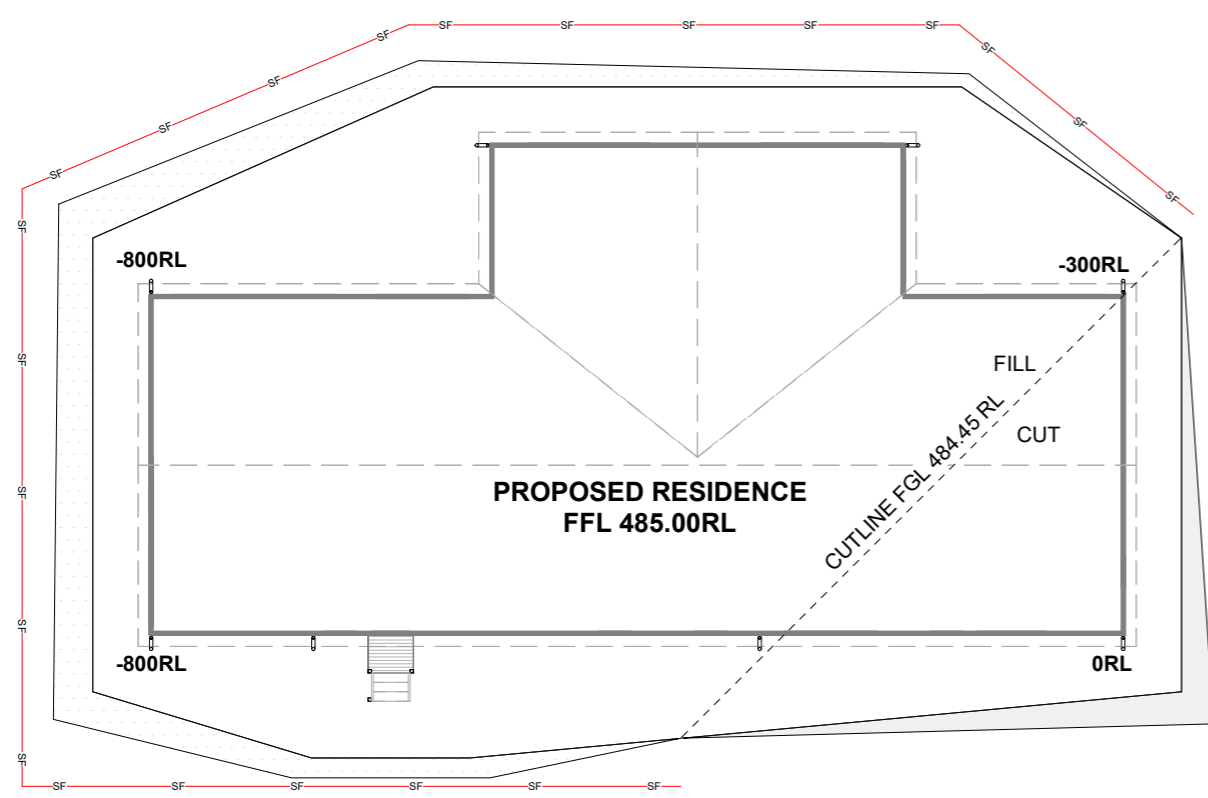
**ISSUED FOR APPROVAL**





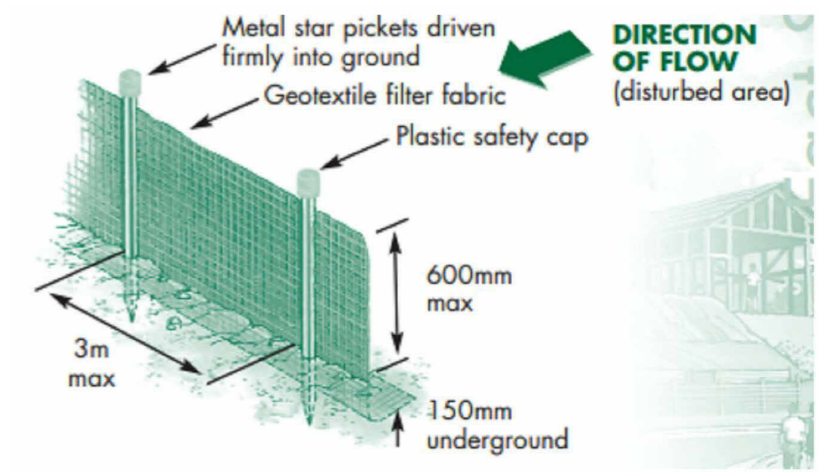
25000

20000



**SEDIMENT CONTROL NOTES**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 400MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 100% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.



**LEGEND**

-sf-	SEDIMENT FENCE
-sw-	STORM WATER DRAINAGE
-s-	SEWER DRAINAGE
KO	DENOTES KERB OUTLET
WC,ET,TC	DENOTES SERVICE CONDUIT
SV	DENOTES STOP VALVE
HYRAD	DENOTES HYDRANT
DW	DISHWASHER SPACE

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NAME/S: \_\_\_\_\_

DATE: \_\_\_\_\_

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NO.	REVISION NOTE	DATE	BY
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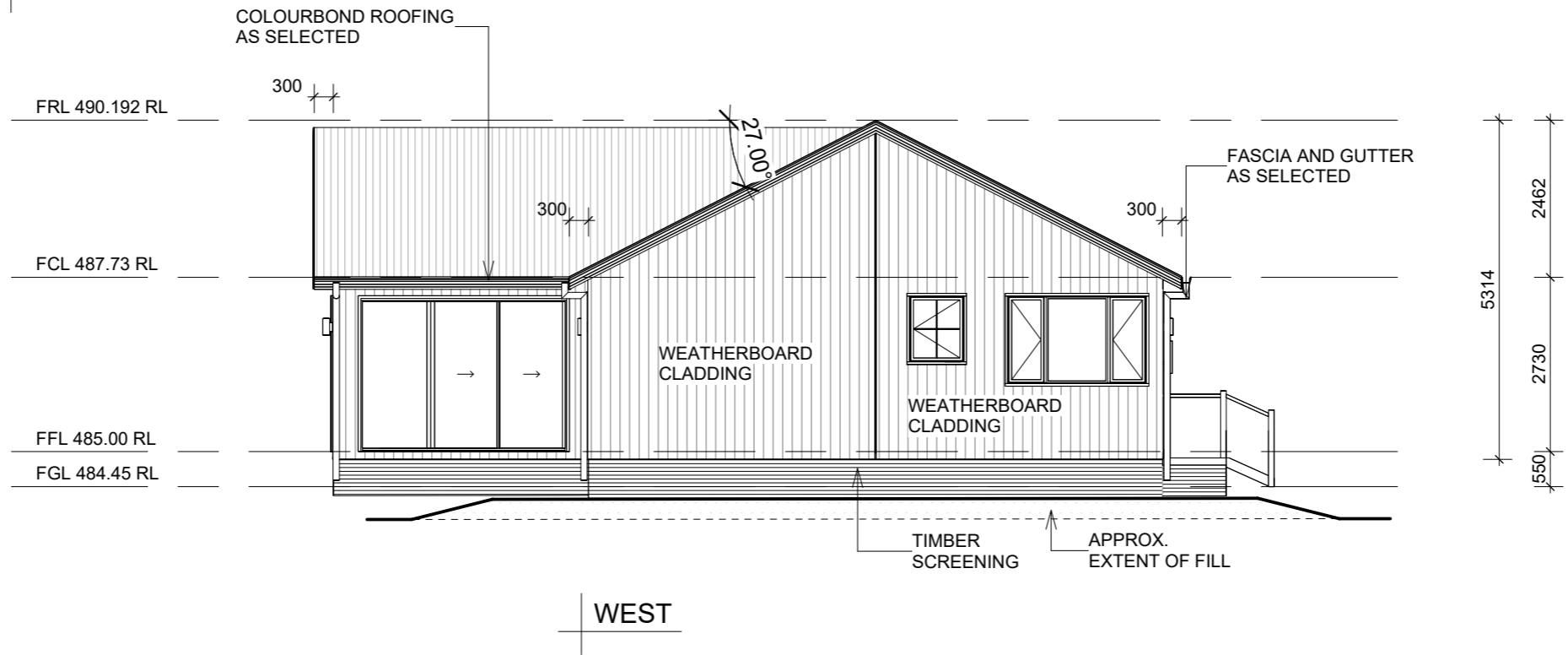
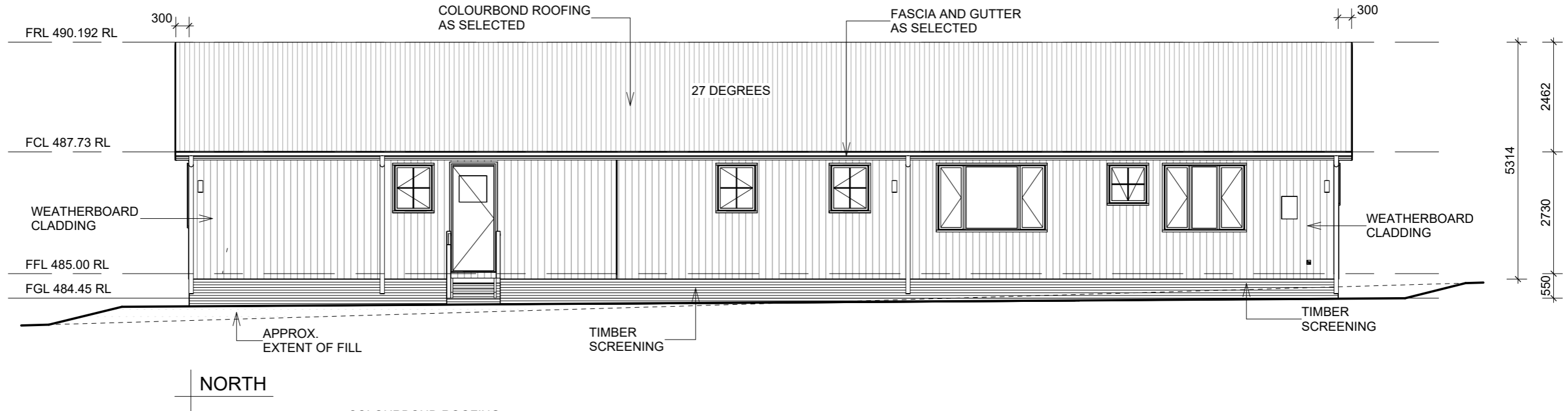
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BAL RATING:	BAL 29	DRAWING:	SITE PLAN & EARTHWORK
WIND SPEC:	N3	DRAWING N°:	MG5381V4
SITE SPEC:	H1	REVISION N°: 1	CHECK BY: Planning
SHEET N°:	03 of 12	SCALE:	1 : 200
		DRAW BY:	MTK

**ISSUED FOR APPROVAL**



LEGEND	
FGL	DENOTES FINISH GROUND LEVEL
FFL	DENOTES FINISH FLOOR LEVEL
FCL	DENOTES FINISH CEILING LEVEL
FRL	DENOTES FINISH RIDGE LEVEL

NOTES:  
 1. HEIGHTS BETWEEN FFL & FGL SHOWN HERE ARE APPROXIMATES  
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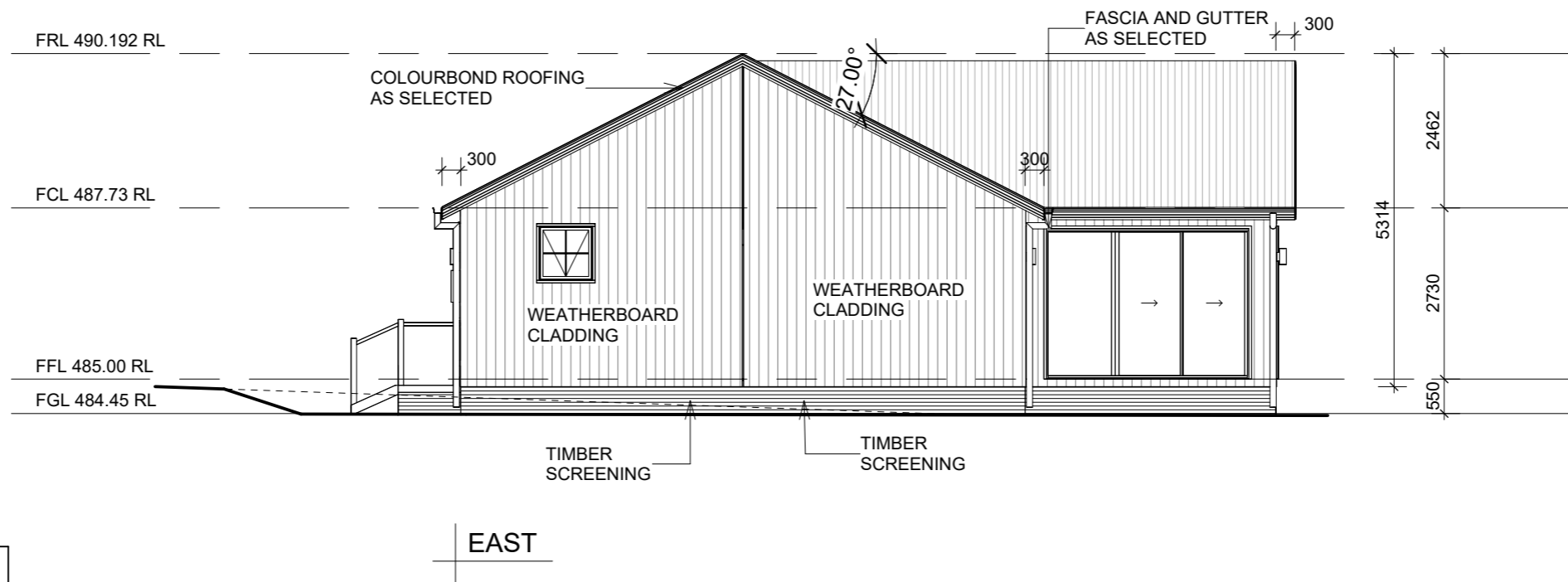
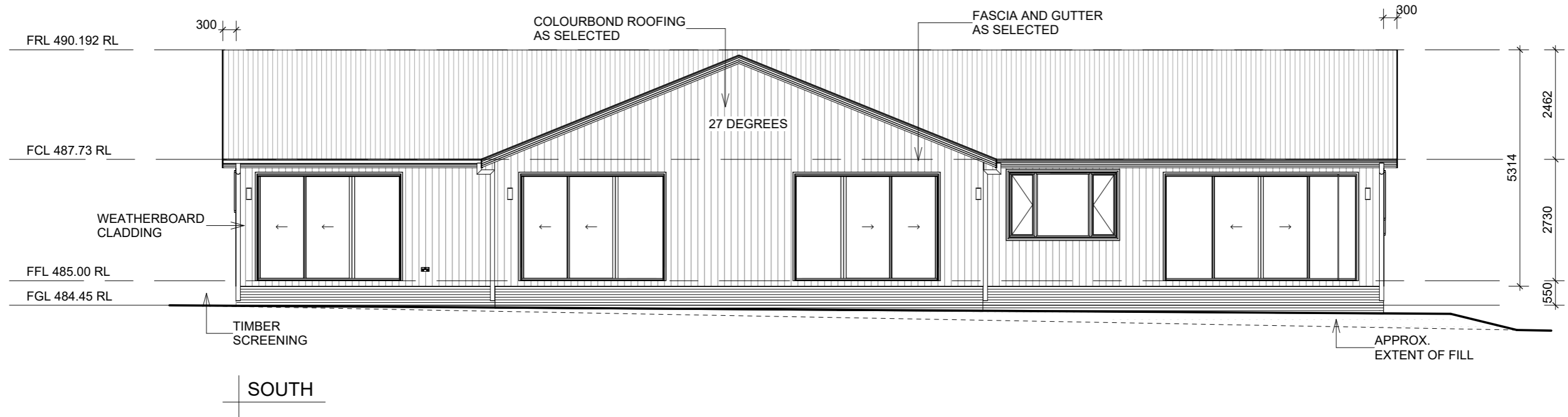
JOB N°: 1225  
 JOB TYPE: PROPOSED RESIDENCE  
 CLIENT: HEAP, G & M  
 ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



BAL RATING: BAL 29  
 WIND SPEC: N3  
 SITE SPEC: H1  
 SHEET N°: 05 of 12

DRAWING: ELEVATIONS  
 DRAWING N°: MG5381V4  
 REVISION N°: CHECK BY: Planning  
 SCALE: 1:100 DRAW BY: MTK

ISSUED FOR APPROVAL



**LEGEND**

FGL	DENOTES FINISH GROUND LEVEL
FFL	DENOTES FINISH FLOOR LEVEL
FCL	DENOTES FINISH CEILING LEVEL
FRL	DENOTES FINISH RIDGE LEVEL

**NOTES:**  
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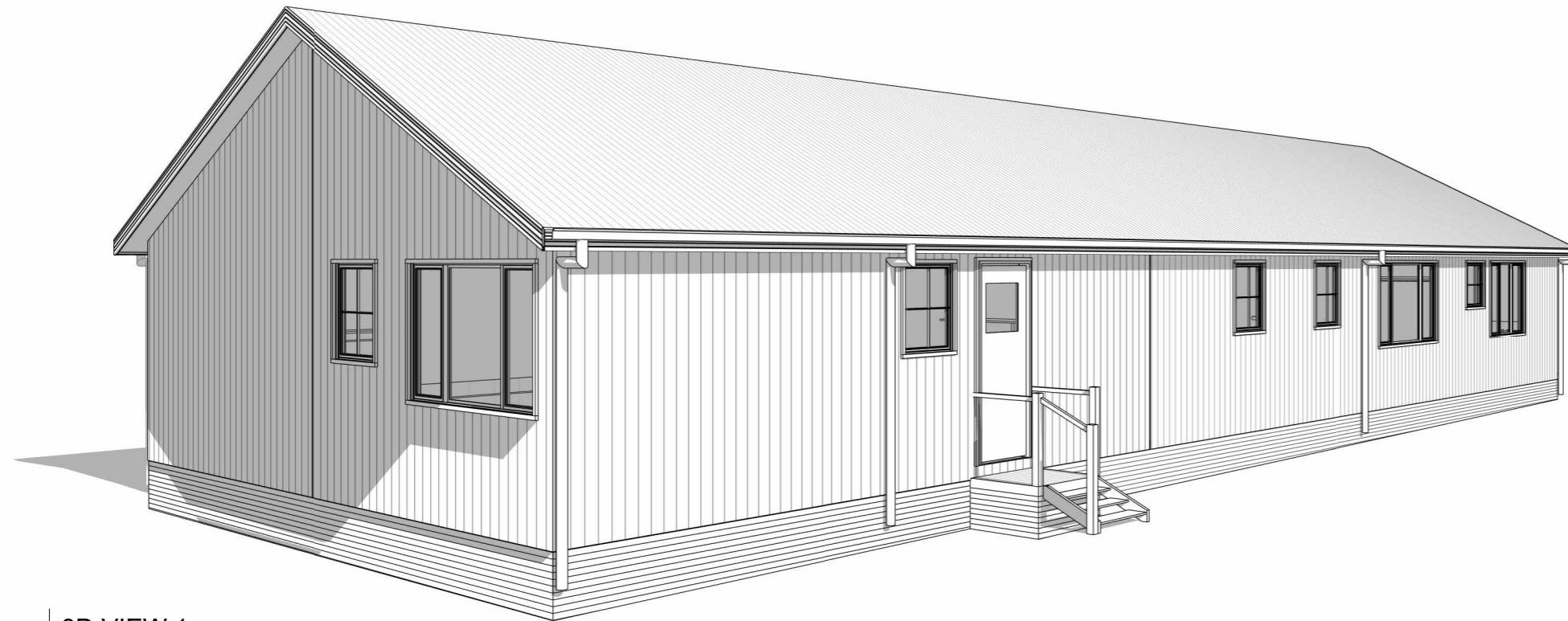
JOB N°: 1225  
 JOB TYPE: PROPOSED RESIDENCE  
 CLIENT: HEAP, G & M  
 ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



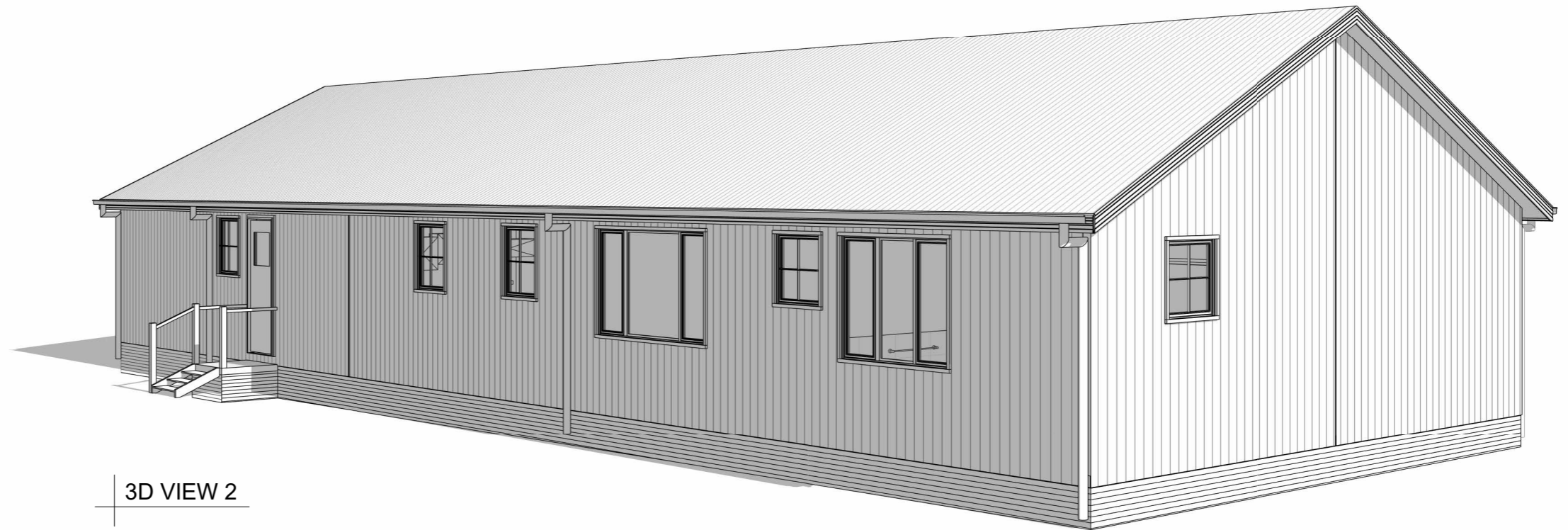
**ISSUED FOR APPROVAL**

BAL RATING:	BAL 29	DRAWING:	ELEVATIONS
WIND SPEC:	N3	DRAWING N°:	MG5381V4
SITE SPEC:	H1	REVISION N°:	CHECK BY: Planning
SHEET N°:	06 of 12	SCALE:	1:100
		DRAW BY:	MTK





3D VIEW 1



3D VIEW 2

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NAME/S: \_\_\_\_\_

DATE: \_\_\_\_\_

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NO.	REVISION NOTE	DATE	BY
1	Change to 1500mm vertical cladding, Update windows	20/06/2024	MTK
2	Change to 150mm vertical cladding	20/06/2024	MTK
3	Updated Windows	21/06/2024	MTK

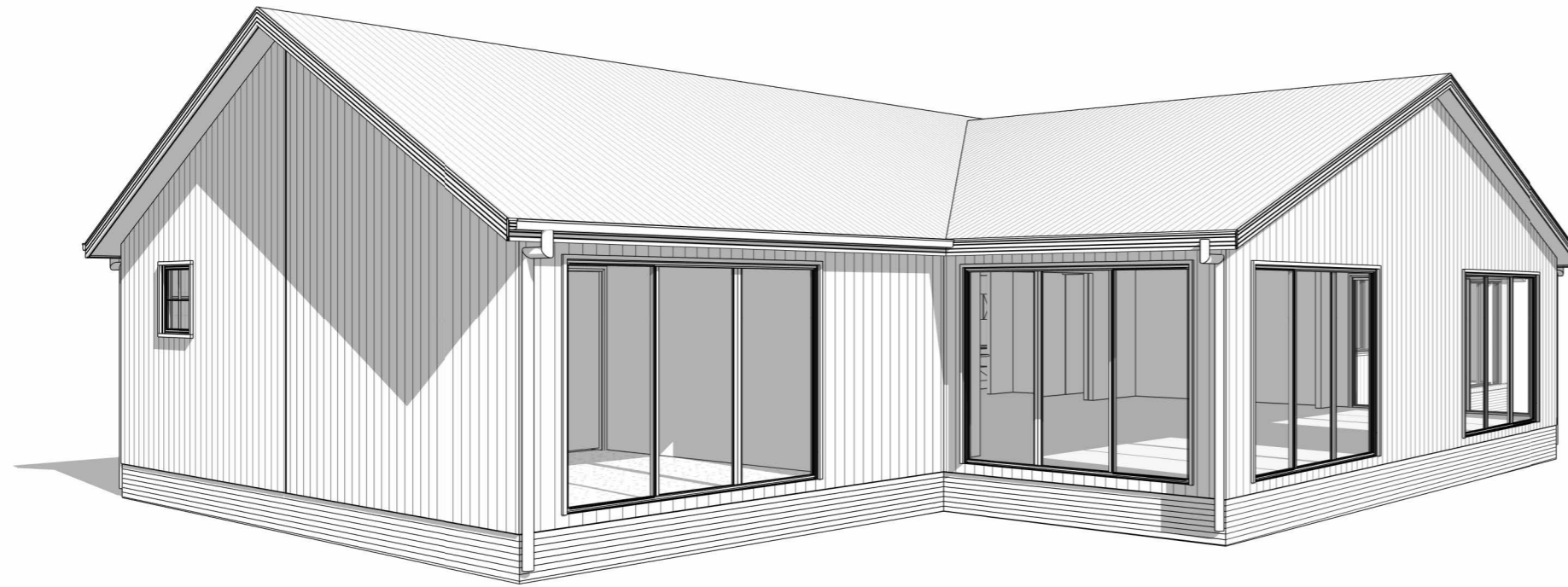
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JOB N°: 1225  
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 CLIENT: HEAP, G & M  
 ADDRESS: LOT 899 435 KALUDABAH  
 ROAD, PIAMBONG NSW 2850

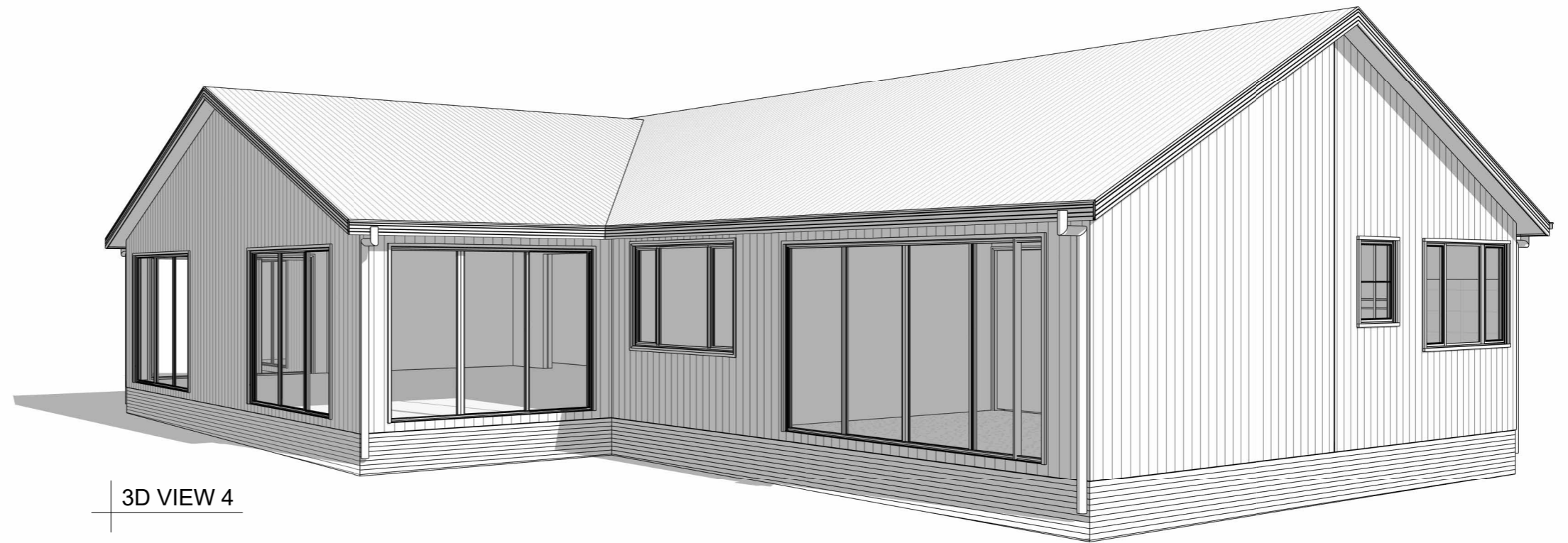


ISSUED FOR APPROVAL

BAL RATING:	BAL 29	DRAWING:	PERSPECTIVE
WIND SPEC:	N3	DRAWING N°:	MG5381V4
SITE SPEC:	H1	REVISION N°: 3	CHECK BY: Planning
SHEET N°:	07 of 12	SCALE:	DRAW BY: MTK



3D VIEW 3



3D VIEW 4

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3	Updated Windows	21/06/2024	MTK

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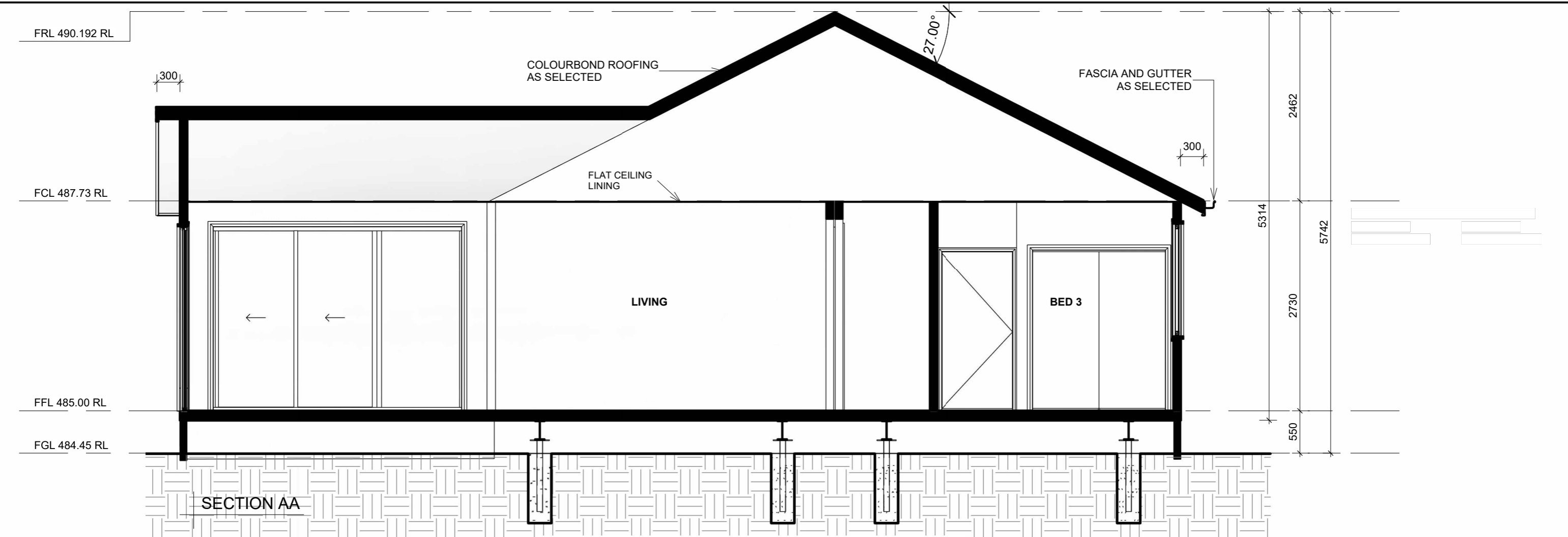
JOB N°: 1225  
 JOB TYPE: PROPOSED RESIDENCE  
 CLIENT: HEAP.G & M  
 ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



ISSUED FOR APPROVAL

BAL RATING:	BAL 29	DRAWING:	PERSPECTIVE
WIND SPEC:	N3	DRAWING N°:	MG5381V4
SITE SPEC:	H1	REVISION N°: 3	CHECK BY: Planning
SHEET N°:	08 of 12	SCALE:	DRAW BY: MTK





**CONSTRUCTION REQUIREMENTS FOR BAL 29**

1. ALL CONSTRUCTION IS TO BE DONE IN ACCORDANCE AND COMPLY WITH AS3959 SECTION 7 AND ADDENDUM: APPENDIX 3 OF PLANNING FOR BUSHFIRE PROTECTION.
2. SUBFLOOR ENCLOSED IN ACCORDANCE WITH 7.4. NO CONSTRUCTION REQUIREMENT FOR SUBFLOOR SUPPORTS OR FLOORING AS PER AS3959 CLAUSE 7.2 + 7.3.2.1.
3. WALL SARKING IS TO BE APPLIED TO THE OUTER FRAME FACE PRIOR TO CLADDING AS PER AS3959 CLAUSE 7.4.2. WALL SARKING IS TO COMPLY WITH AS/NZS 4200.1 AND WITH A FLAMMABILITY INDEX OF LESS THAN 5.
4. WALL CLADDING IS TO BE 6MM THICK FIBRE CEMENT MINIMUM AS PER AS3959 CLAUSE 7.4.1.
5. WALL VENTS ARE TO HAVE A MAXIMUM APERTURE OF 2MM AS PER AS3959 CLAUSES 7.4.3 + 7.6.1 AND 2MM MAXIMUM APERTURE TAINLESS STEEL MESH AS PER AS3959 CLAUSE 7.5.1A + 7.5.3.
6. EXTERNAL OPENINGS AND FIXED GLAZED ELEMENTS SHALL BE SCREENED WITH ALUMINIUM FRAMES AND 2MM MAXIMUM APERTURE STAINLESS STEEL MESH AS PER AS3959 CLAUSE 7.5.1A + 7.5.3.
7. EXTERNAL GLAZED ELEMENTS SHALL BE TOUGHENED GLASS 5MM MINIMUM AND SHALL HAVE AN ALUMINIUM FRAME AS PER AS3959 CLAUSES 7.5.2, 7.5.3 + 7.5.4.
8. EXTERNAL DOORS SHALL BE SOLID CORE 35MM MINIMUM, FITTED WITH DRAUGHT SEALS AND DOOR FRAMES MUST BE NONCOMBUSTIBLE MATERIAL AS PER AS3959 CLAUSE 7.5.3.
9. ROOF CLADDING AND ACCESSORIES SHALL BE OF A NON-COMBUSTIBLE MATERIAL. ROOF/WALL JUNCTION SHALL BE ENCLOSED BY FIBRE CEMENT 4.5MM EAVE LINING AS PER AS3959 CLAUSES 7.6.1, 7.6.5 + 7.6.7.
10. FOIL-BAKED INSULATION SHALL BE INSTALLED AND GAPS GREATER THAN 3MM FILLED WITH "PROMAT FYREGUARD" FOAM AS PER AS3959 CLAUSES 7.6.3, 7.6.5, 7.6.6 + 7.6.7.
11. THE VERANDAH, DECK AND STAIRS SHALL BE OF NON-COMBUSTIBLE MATERIAL AS PER AS3959 CLAUSES 7.7.2.4 + 7.7.3.3.
12. WATER AND GAS EXPOSED, OR ABOVE GROUND PIPES SHALL BE METAL AS PER AS3959 CLAUSE 7.8.

MAXIMUM RAKED CEILING HEIGHT: TBC  
 MINIMUM RAKED CEILING HEIGHT: TBC

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 ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



BAL RATING:	BAL 29	DRAWING:	SECTION PLAN
WIND SPEC:	N3	DRAWING N°:	MG5381V4
SITE SPEC:	H1	REVISION N°:	CHECK BY: Planning
SHEET N°:	09 of 12	SCALE:	1:50
		DRAW BY:	MTK

**ISSUED FOR APPROVAL**



WINDOWS									
MARK	LOCATION	CODE	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	GLAZING TYPE	COUNT
W01	WC.	W0909		VIEWING FROM OUTSIDE	898	888	Essential Awning Window (52mm)	FROSTED	1
W02	BED 3	CFC1524		VIEWING FROM OUTSIDE	1498	2448	ESSENTIAL CASEMENT WINDOW (52mm)	CLEAR	1
W03	W.I.R.	C1009		VIEWING FROM OUTSIDE	1068	888	ESSENTIAL CASEMENT WINDOW (52mm)	CLEAR	1
W04	STUDY	CFC1524		VIEWING FROM OUTSIDE	1498	2448	ESSENTIAL CASEMENT WINDOW (52mm)	CLEAR	1
W05	BATH	CFC1518		VIEWING FROM OUTSIDE	1498	1848	ESSENTIAL CASEMENT WINDOW (52mm)	FROSTED	1
W06	KITCHEN	C1009		VIEWING FROM OUTSIDE	1068	888	ESSENTIAL CASEMENT WINDOW (52mm)	CLEAR	1

WINDOWS									
MARK	LOCATION	CODE	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	GLAZING TYPE	COUNT
W07	LAUNDRY	C1009		VIEWING FROM OUTSIDE	1068	888	ESSENTIAL CASEMENT WINDOW (52mm)	CLEAR	1
W08	KITCHEN	C1009		VIEWING FROM OUTSIDE	1068	888	ESSENTIAL CASEMENT WINDOW (52mm)	CLEAR	1
W09	ENSUITE	CFC1422		VIEWING FROM OUTSIDE	1408	2208	ESSENTIAL CASEMENT WINDOW (52mm)	FROSTED	1
W10	ENSUITE	W0909		VIEWING FROM OUTSIDE	898	888	Essential Awning Window (52mm)	FROSTED	1
TOTAL: 10									

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NOTES:  
1. REFER TO COLOUR SELECTIONS DOCUMENT FOR ALL SELECTIONS, MATERIALS, COLOURS AND FINISHES.  
2. REFER TO FLOOR PLAN & ELEVATIONS FOR OPENING DIRECTION. ARROW DETONATES WHICH WAY THE DOOR OPENS.

NAME/S: \_\_\_\_\_  
DATE: \_\_\_\_\_

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BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK  
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JOB N°: 1225  
JOB TYPE: PROPOSED RESIDENCE  
CLIENT: HEAP, G & M  
ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



BAL RATING: BAL 29  
WIND SPEC: N3  
SITE SPEC: H1  
SHEET N°: 10 of 12

DRAWING: WINDOWS SCHEDULE  
DRAWING N°: MG5381V4  
REVISION N°: CHECK BY: Planning  
SCALE: DRAW BY: MTK

ISSUED FOR APPROVAL

EXTERNAL DOORS								
MARK	LOCATION	CODE	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	COUNT
D01	LAUNDRY	920		VIEWING FROM OUTSIDE	2340	920	TIMBER HINGED GLASS DOOR	1
D02	BED 1	FSSF 2443		ESSENTIAL SLIDING DOOR (80MM)	2400	4304	ESSENTIAL SLIDING DOOR	1
D03	BED 2	SSF2432		ESSENTIAL SLIDING DOOR (80MM)	2400	3228	ESSENTIAL SLIDING DOOR	1
D04	LIVING	SSF2432		ESSENTIAL SLIDING DOOR (80MM)	2400	3228	ESSENTIAL SLIDING DOOR	1
D05	LIVING	SSF2432		ESSENTIAL SLIDING DOOR (80MM)	2400	3228	ESSENTIAL SLIDING DOOR	1
D06	LIVING	SSF2432		ESSENTIAL SLIDING DOOR (80MM)	2400	3228	ESSENTIAL SLIDING DOOR	1
D07	LIVING	SSF2432		ESSENTIAL SLIDING DOOR (80MM)	2400	3228	ESSENTIAL SLIDING DOOR	1

TOTAL: 7

INTERNAL ROBE DOORS									
MARK	LOCATION	CODE	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	PANEL W	DESCRIPTION	COUNT
D19	BED 3	2/870		VIEWING FROM OUTSIDE	2115	1760	870	ROBE SLIDING DOORS	1
D20	SHELVES	3/720		VIEWING FROM OUTSIDE	2115	2160	720	ROBE SLIDING DOORS	1

TOTAL: 2

INTERNAL DOORS								
MARK	LOCATION	SHAPE IMAGE	VIEW	HEIGHT	WIDTH	DESCRIPTION	COUNT	
D08	LAUNDRY		VIEWING FROM OUTSIDE	2040	920	INTERNAL SINGLE DOOR	1	
D09	BED 1		VIEWING FROM OUTSIDE	2340	920	INTERNAL SINGLE DOOR	1	
D10	ENSUITE		VIEWING FROM OUTSIDE	2040	920	INTERNAL SINGLE DOOR	1	
D11	STUDY		VIEWING FROM OUTSIDE	2340	920	INTERNAL SINGLE DOOR	1	
D12	BED 3		VIEWING FROM OUTSIDE	2340	920	INTERNAL SINGLE DOOR	1	
D13	WC.		VIEWING FROM OUTSIDE	2040	920	INTERNAL LIFT OFF HINGES DOOR	1	
D14	BATH		VIEWING FROM OUTSIDE	2040	920	INTERNAL SINGLE DOOR	1	
D15	BED 3		VIEWING FROM OUTSIDE	2040	920	INTERNAL SINGLE DOOR	1	
D16	BED 2		VIEWING FROM OUTSIDE	2040	920	INTERNAL CAVITY SLIDER	1	
D17	ENSUITE		VIEWING FROM OUTSIDE	2040	920	INTERNAL SINGLE DOOR	1	
D18	BED 2		VIEWING FROM OUTSIDE	2340	920	INTERNAL SINGLE DOOR	1	

TOTAL: 11

CLIENT DRAWING APPROVAL  
DRAWINGS HAVE BEEN REVIEWED AND APPROVED (WITH OR WITHOUT COMMENTS) IN CONJUNCTION WITH STANDARD INCLUSIONS, AGREED SELECTIONS, COUNCIL & CONDITIONS, & AGREED VARIATIONS (WHERE UPGRADES HAVE BEEN SELECTED).

NOTES:  
1. REFER TO COLOUR SELECTIONS DOCUMENT FOR ALL SELECTIONS, MATERIALS, COLOURS AND FINISHES.  
2. REFER TO FLOOR PLAN & ELEVATIONS FOR OPENING DIRECTION. ARROW DETONATES WHICH WAY THE DOOR OPENS.

NAME/S: \_\_\_\_\_  
DATE: \_\_\_\_\_

PLEASE NOTE THAT NO CHANGES WILL BE ENCOURAGED ON THIS PLAN AFTER SIGNING. ANY CHANGE REQUESTS POST SIGNING WILL BE SUBJECT TO FURTHER REVIEW AND ADDITIONAL COSTS.

NO.	REVISION NOTE	DATE	BY

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JOB N°: 1225  
JOB TYPE: PROPOSED RESIDENCE  
CLIENT: HEAP, G & M  
ADDRESS: LOT 899 435 KALUDABAH ROAD, PIAMBONG NSW 2850



BAL RATING: BAL 29  
WIND SPEC: N3  
SITE SPEC: H1  
SHEET N°: 11 of 12

DRAWING: DOORS SCHEDULE  
DRAWING N°: MG5381V4  
REVISION N°: CHECK BY: Planning  
SCALE: DRAW BY: MTK

ISSUED FOR APPROVAL