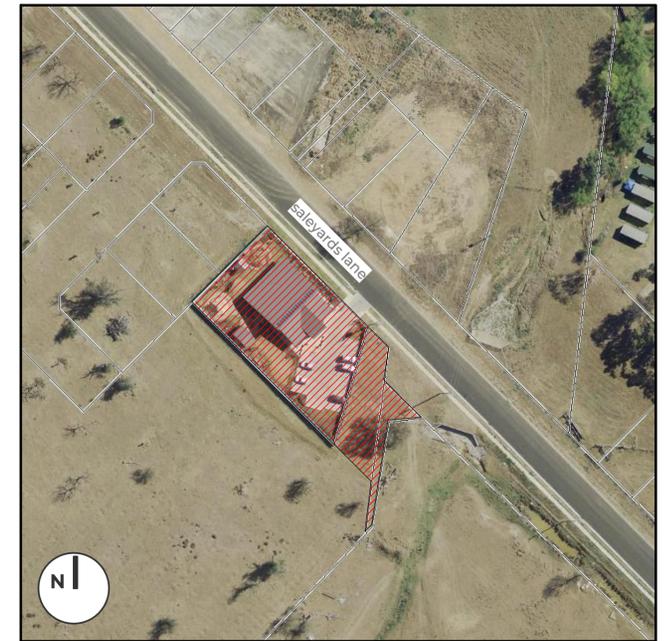




## LOCALITY PLAN.



saleyards lane, mudgee

lot 30 & 29, dp1267151 & lot 2, dp510997



## DRAWING SCHEDULE.

A 00	COVER SHEET	REV B	DATED 18.09.2024
A 01	EXISTING SITE PLAN	REV B	DATED 18.09.2024
A 02	PROPOSED SITE PLAN	REV B	DATED 18.09.2024
A 03	EXISTING FLOOR PLAN & DEMOLITION	REV A	DATED 17.07.2024
A 04	PROPOSED FLOOR PLAN	REV B	DATED 18.09.2024
A 05	ELEVATIONS	REV A	DATED 17.07.2024
A 06	SECTIONS	REV A	DATED 17.07.2024
A 07	SHADE SAIL LAYOUT	REV A	DATED 18.09.2024

## PROJECT DESCRIPTION.

For the purpose of the Building Code of Australia, Vol. 1, 2022, the development may be described as follows:

### classification - NCC 'part A6'

The building has been classified as a 'Class 9b' building - pre-school

### rise in stories - NCC 'part C2D3'

The building has a rise in stories of one.

### effective height - NCC 'schedule 1 definitions'

The building has an effective height of zero, ie less than 25.0m.

### type of construction required - NCC 'part A6, part C2D2 - table C2D2'

Class 9b building - Type 'C' construction. The building has been deemed 'conditioned' excluding the toilets & airlocks.

### climate zone - NCC 'schedule 1 definitions'

The building is located within climate zone 4.

## GENERAL NOTES.

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2022, the Plumbing Code of Australia, 2022 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

AS1668	- Mechanical ventilation & air conditioning in Buildings
AS3000	- Electrical installations; buildings, structures & premises (known as the saa wiring rules)
AS1428.1	- General requirements for access - buildings
AS2890.6	- Off-street parking; mandatory requirements
AS1680.0	- Interior lighting - safe movement
	Children (Education & Care Services) Regulation 2011

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

# EXTENSION TO GOWRIE CHILDCARE CENTRE

39 SALEYARDS LANE, MUDGEE

**barnson.**  
DESIGN . PLAN . MANAGE

Project.  
**EXTENSION TO GOWRIE  
CHILDCARE CENTRE**  
Site Address.  
**39 SALEYARDS LANE, MUDGEE**  
Client.  
**GHQS PTY LTD**

Drawing Title.  
**COVER SHEET**

Scale. **As indicated @ A1** Drawing. **CM**  
Sheet. **01 of 08** Checked.  
Project No. **41821** Revision. **B**

Drawing No.

**41821-  
A00**





02

### PROPOSED SITE LAYOUT

Scale 1 : 150 @ A1



### PROPOSED SITE LEGEND

- new asphaltic concrete carpark area for more information refer to civil engineer's design
- new concrete footpaths for more information refer to civil engineer's design
- proposed grassed area for more information refer to landscape architect's design
- proposed landscaping area for more information refer to landscape architect's design
- carpark markings - arrows to be applied using paint in accordance with Mid-Western Regional Council Development Control Plan & AS2890.6-2009
- proposed 1800mm (h) tubular steel palisade security fence to match existing
- new concrete kerb & gutter for more information refer to civil engineer's design

### SITE NOTES.

#### GENERAL

This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:  
- notify a G.L.  
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.  
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

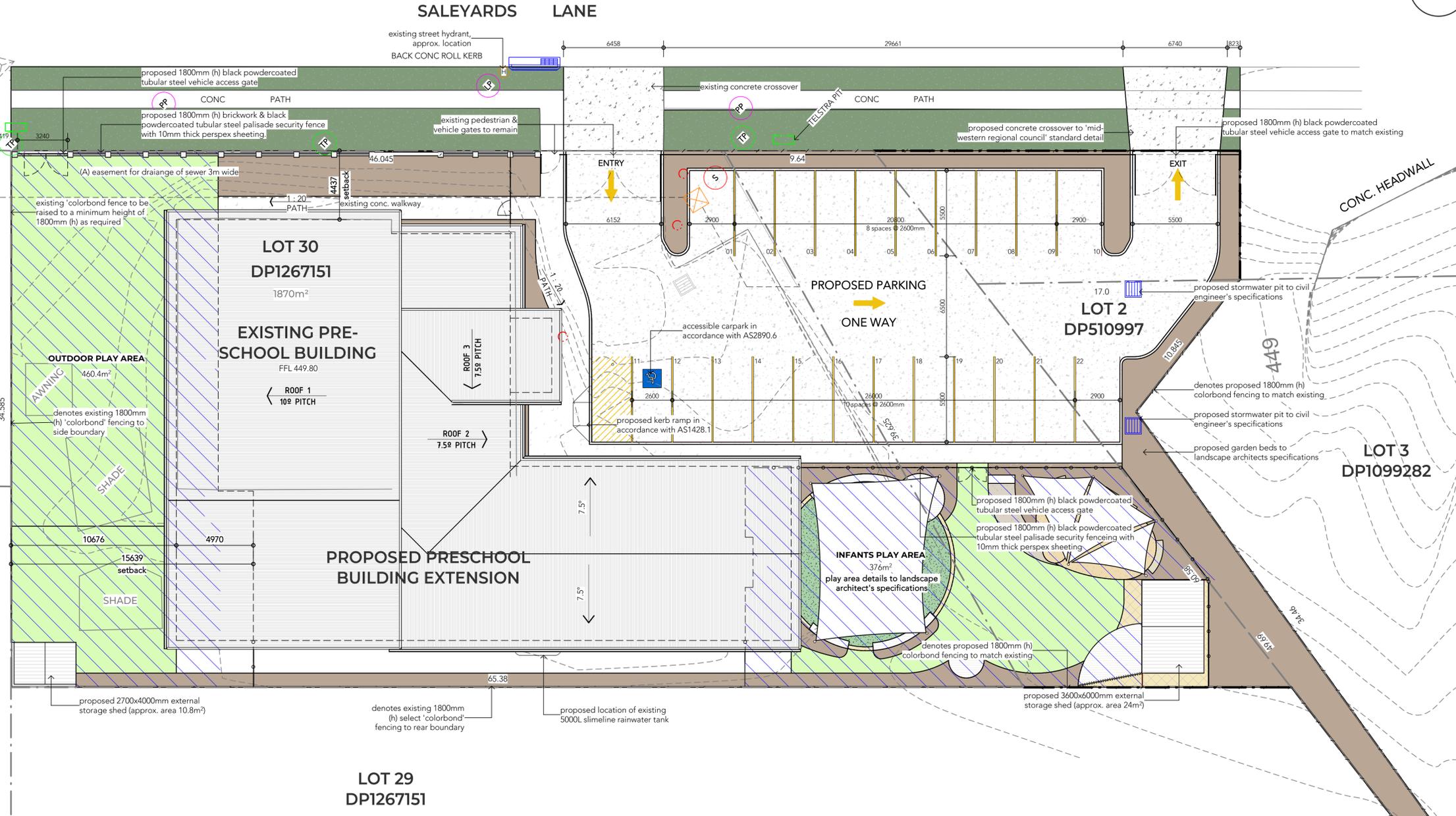
The contractor shall arrange all survey setout to be carried out by a registered surveyor.

#### DRAINAGE

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, P5.3.1.4 - Stormwater drainage

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.



### UNENCUMBERED OUTDOOR CALCULATIONS.

The following calculations have been determined in accordance with chapter 4, part 4.3, clause 108 of the education & care services national regulations.

outdoor play area	= 460.4m <sup>2</sup>
infants play area	= 376.6m <sup>2</sup>
<b>total unencumbered outdoor area</b>	<b>= 837m<sup>2</sup></b>
allowable space per child in care	= 7.00m <sup>2</sup>
853/7.00m <sup>2</sup>	= 119 children (88 proposed)

The above calculations & adjoining plan have been prepared by Kirk Gleeson, a building practitioner referred to in chapter 1, clause 4 of the education & care services national regulations & accredited under building designers accreditation & training p/l, accreditation no. 6289

### carparking:

The following schedule has been prepared in accordance with 'mid-western regional council's off-street parking code':-

building usage	floor area	rate of prov.	total
preschool	-	1 per 4 children	22
<b>total number of carparks required</b>			<b>22</b>
<b>total number of carparks provided</b>			<b>22</b>



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Rev.	Date	Amendment
A	17.07.2024	ISSUED FOR DA
B	18.09.2024	REVISED AS PER PRE-LODGE MENT ADVICE

Project:  
**EXTENSION TO GOWRIE  
CHILDCARE CENTRE**  
Site Address:  
**39 SALEYARDS LANE, MUDGEE**  
  
Client:  
GHQS PTY LTD

Drawing Title:  
**PROPOSED SITE PLAN**  
  
Scale: As indicated @ A1  
Sheet: 03 of 08  
Project No: 41821

Drawing No.  
  
Drawing Title:  
**PROPOSED SITE PLAN**  
  
Scale: As indicated @ A1  
Sheet: 03 of 08  
Project No: 41821

**ISSUED FOR DA**

41821-  
**A02**



### 03 EXISTING FLOOR PLAN & DEMOLITION

Scale 1: 100 @ A1



- denotes existing elements to be demolished, make good to existing surfaces
- denotes existing walls to be demolished, make good to existing surfaces
- denotes existing doors to be demolished, make good to existing surfaces
- denotes existing windows to be demolished, make good to existing surfaces

#### DEMOLITION NOTES.

The precautions & procedures to be taken before & during the demolitions works shall be in accordance with the building regulations applicable to the state of New South Wales & the following Australian standards & codes of practice.

- a. 'AS 2601-2001 - demolition of structures' & the following additional requirements:
- b. AS 2436 - 1981 guide to noise control
- c. O.H&S - code of practice for demolition-1991 no. 14
- d. O.H&S - asbestos regulations - 2003

The relevant statutory authorities shall be notified in advance & their approvals or services, if necessary shall be obtained.

Security fencing shall be provided around the perimeter of the demolition site & any additional precautionary measures taken, as may be necessary to prevent unauthorised entry to the site at all times during the demolition & construction period.

The erection of hoardings, outriggers & scaffolding shall be constructed in accordance with the requirements of the relevant authorities & the applicable Australian standards.

All electrical, gas, water, sewer & other service lines not required in the demolition process shall be shut off, capped or disconnected at or outside the building line, before the demolition works commences. Any service retained for demolition will be adequately protected.

All protection works to the adjoining properties (as required) will be in place before demolition works.

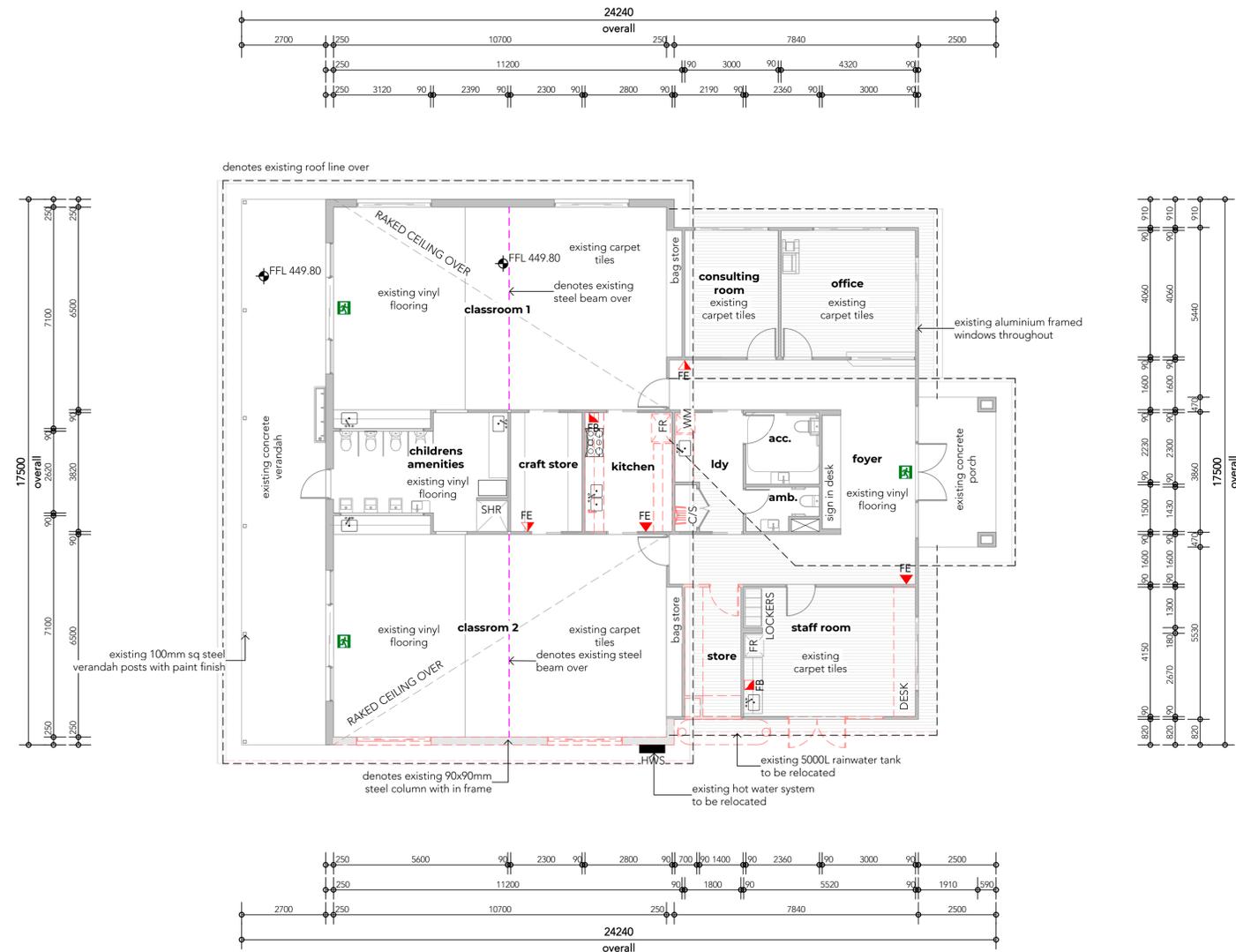
Demolition & removal of the building shall be undertaken in a careful & proper manner & with a minimum disturbance to the adjoining buildings & to the public & occupants.

All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed member is removed.

No wall, chimney or other structure shall be left free standing & unattended without temporary bracing or supports in such a condition that it may collapse due to wind or vibration.

Procedures & method of demolition will be adequate to prevent injury to persons & avoid damage to neighbouring buildings.

No combustible material & rubbish will be left on site as to cause a fire hazard.



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Project:  
**EXTENSION TO GOWRIE  
CHILDCARE CENTRE**  
Site Address:  
**39 SALEYARDS LANE, MUDGEE**

Client:  
GHQS PTY LTD

Drawing Title:  
**EXISTING FLOOR PLAN &  
DEMOLITION**  
Scale. As indicated @ A1  
Sheet. 04 of 08  
Project No. 41821

Drawing No.

Drawn. CM  
Checked.  
Revision. A

41821-  
**A03**

**ISSUED FOR DA**



# 04 FLOOR PLAN - GENERAL ARRANGEMENT

Scale 1:100 @ A1

EXISTING FLOOR AREA	
existing ancillary	160.60 m <sup>2</sup>
existing classroom	154.02 m <sup>2</sup>
existing verandah & porch	61.65 m <sup>2</sup>
<b>TOTAL</b>	<b>376.28 m<sup>2</sup></b>
PROPOSED FLOOR AREA	
proposed ancillary	151.29 m <sup>2</sup>
proposed classroom	207.50 m <sup>2</sup>
proposed verandah	60.04 m <sup>2</sup>
<b>TOTAL</b>	<b>418.83 m<sup>2</sup></b>
<b>OVERALL TOTAL</b>	<b>790.50 m<sup>2</sup></b>

## UNENCUMBERED INDOOR SPACE CALCULATIONS. LEGEND.

The following calculations have been determined in accordance with chapter 4, part 4.3, clause 107 of the education & care services national regulations.

<b>infants 1</b>	
total unencumbered floor area	= 51.1m <sup>2</sup>
allowable space per child in care	= 3.25m <sup>2</sup>
51.1/3.25m <sup>2</sup>	= 15 children (12 proposed)
<b>infants 2</b>	
total unencumbered floor area	= 54.1m <sup>2</sup>
allowable space per child in care	= 3.25m <sup>2</sup>
54.1/3.25m <sup>2</sup>	= 16 children (12 proposed)
<b>classroom 1</b>	
total unencumbered floor area	= 68.4m <sup>2</sup>
allowable space per child in care	= 3.25m <sup>2</sup>
68.4/3.25m <sup>2</sup>	= 21 children
<b>classroom 2</b>	
total unencumbered floor area	= 68.4m <sup>2</sup>
allowable space per child in care	= 3.25m <sup>2</sup>
68.4/3.25m <sup>2</sup>	= 21 children
<b>classroom 3</b>	
total unencumbered floor area	= 73.6m <sup>2</sup>
allowable space per child in care	= 3.25m <sup>2</sup>
73.6/3.25m <sup>2</sup>	= 22 children (21 proposed)

- fire blanket
- fire extinguisher A:B(E) powder type
- fire extinguisher CO2 type
- wall mounted emergency exit light
- ceiling mounted directional emergency exit light
- fire hose reel w/ cabinet
- main switch board

## FIRE NOTES.

### fire safety measures

Essential fire safety measures as shown on adjacent plan are as follows:-

Fire extinguisher type powder a:b(e)	- 4
Fire extinguisher type CO2	- 1
Fire blanket	- 2

### fire services

Portable fire extinguishers & fire blankets to cover class a-e fire risk to be provided in accordance with 'Part E1D14' of the NCC, Vol. 1, 2022, & selected, located & distributed in accordance with sections 1, 2, 3 & 4 of 'AS2444'.

For all portable extinguisher types 'AS2444-2001' allows higher mounting if the unit is likely to be dislodged - refer to the NCC, Vol. 1, 2022 & 'AS2444-2001' for details.

Fire extinguishers & fire blankets shall be clearly identified with the appropriate location sign as per 'AS2444-2001'.

During construction, not less than one fire extinguisher to suit class A, B or C fires is required to be located adjacent to each exit in accordance with the NCC, Vol. 1, Part E1D16.

### fire hazard properties

New floor material & coverings to have a max. Critical radiant flux to comply with 'Part 57C3' of 'Specification 7' of the NCC, Vol. 1, 2022. Must also have a max. Smoke development rate of 750 percent- minutes as specified in 'Specification 17' of the NCC, Vol. 1, 2022. Specified materials are to be confirmed with manufacturer for compliance in this regard.

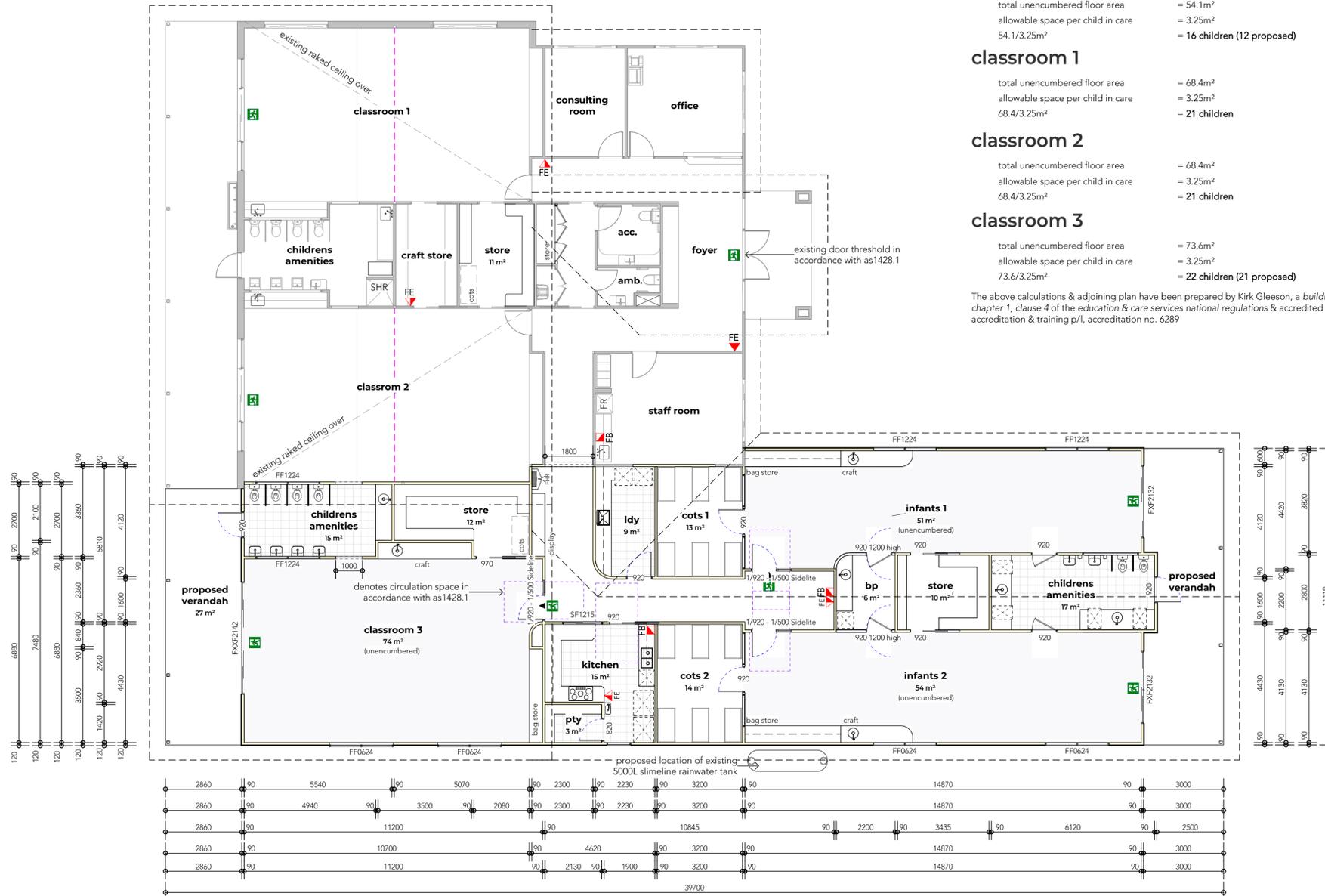
New wall & ceiling lining materials are to comply with Table 57C4 of 'Specification 7, 57C4' of the NCC, Vol. 1, 2022.

New materials & assemblies other than floor materials, floor coverings & wall & ceiling linings are to comply with the fire hazard properties as specified in 'Specification 7, Part 57C7' of the NCC, Vol. 1, 2022.

### emergency lighting

Emergency lighting to be installed along the path of travel to the exits of the building in accordance with Part E4D2 of the NCC Vol. 1.

Illuminated exit signs must comply with AS2293.1-2018 or for a photoluminescent exit sign, Specification 25 of the NCC, Vol. 1 & be clearly visible at all times when the building is occupied by any person having the right of legal entry to the building.



LEGEND

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CHILDCARE CENTRE**  
Site Address:  
**39 SALEYARDS LANE, MUDGEE**

Client:  
GHQS PTY LTD

Drawing Title:  
**PROPOSED FLOOR PLAN**

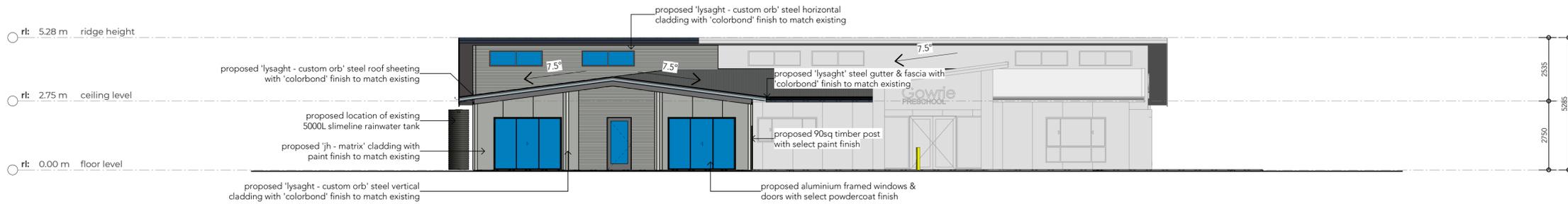
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Project No.	41821	Revision:	B

Drawing No.

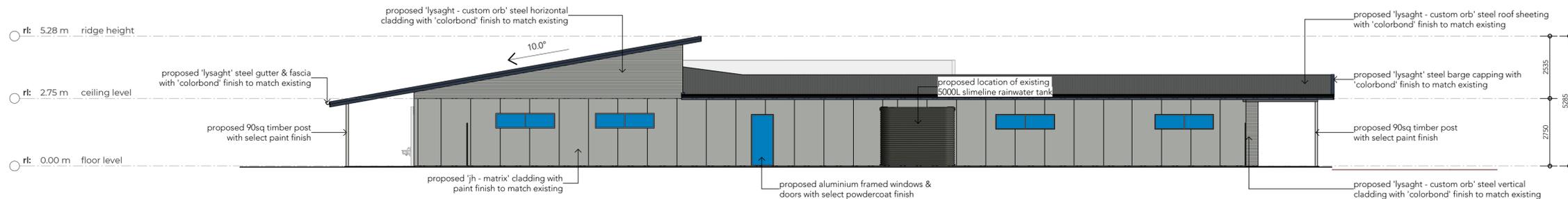
41821-  
**A04**



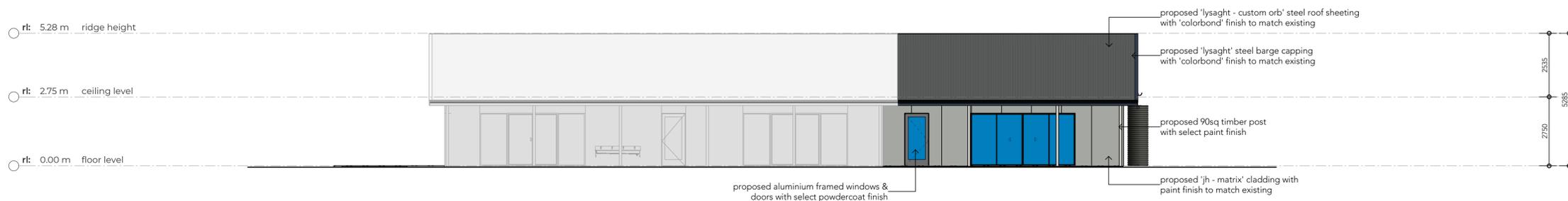
**05 ELEVATION. NORTH FACADE**  
Scale 1: 100 @ A1



**06 ELEVATION. EAST FACADE**  
Scale 1: 100 @ A1



**07 ELEVATION. SOUTH FACADE**  
Scale 1: 100 @ A1



**08 ELEVATION. WEST FACADE**  
Scale 1: 100 @ A1

LEGEND

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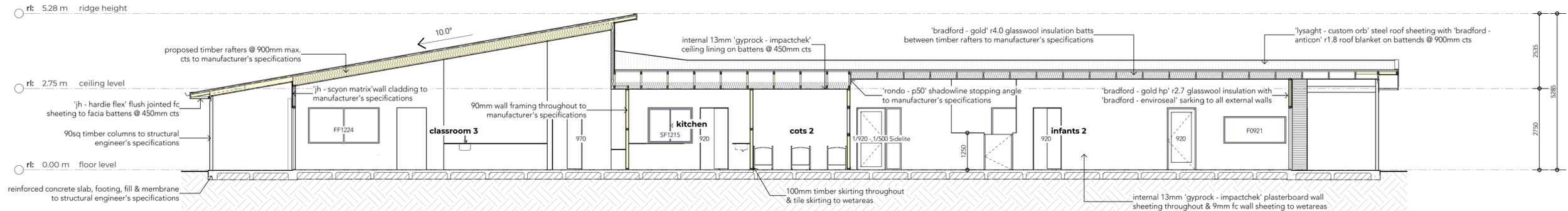
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**ELEVATIONS**

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Sheet:	06 of 08	Checked:	
Project No.	41821	Revision:	A

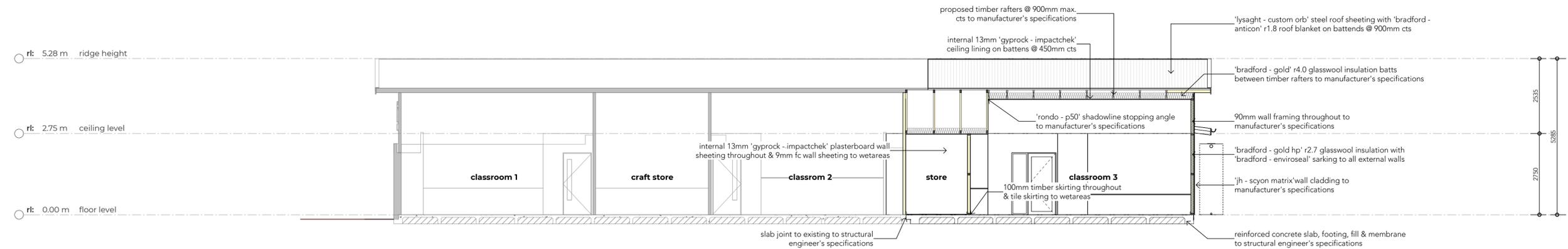
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**41821-  
A05**

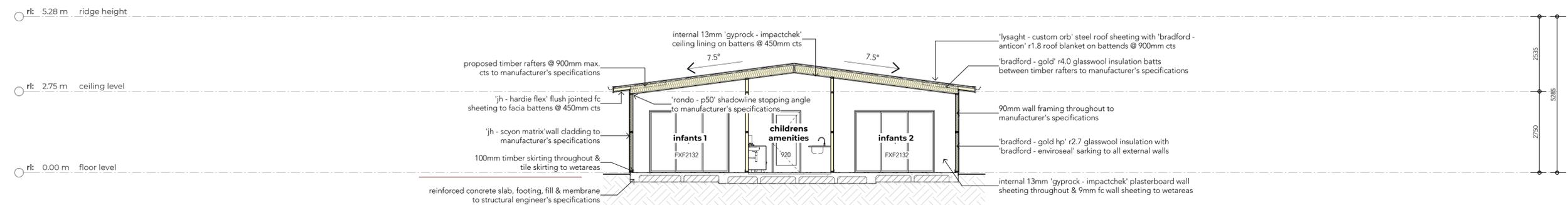
**ISSUED FOR DA**



**09 SECTION. Section 1**  
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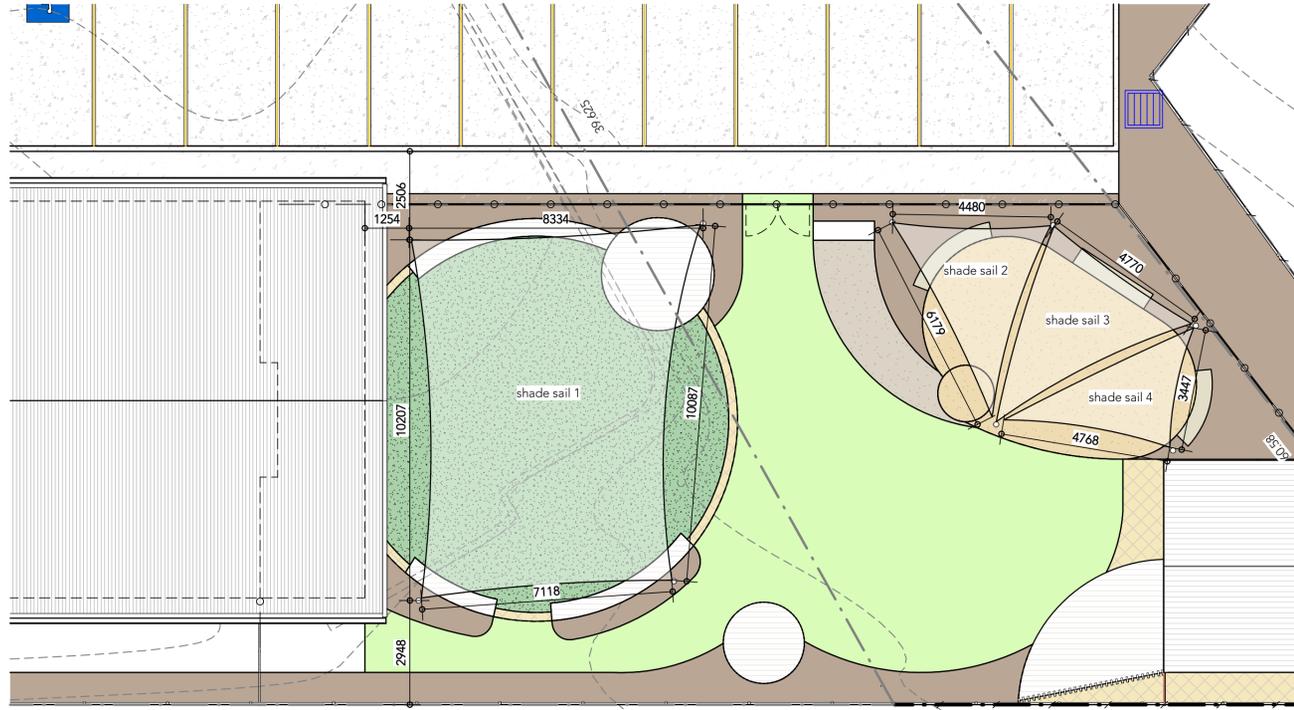


**10 SECTION. Section 2**  
Scale 1 : 75 @ A1



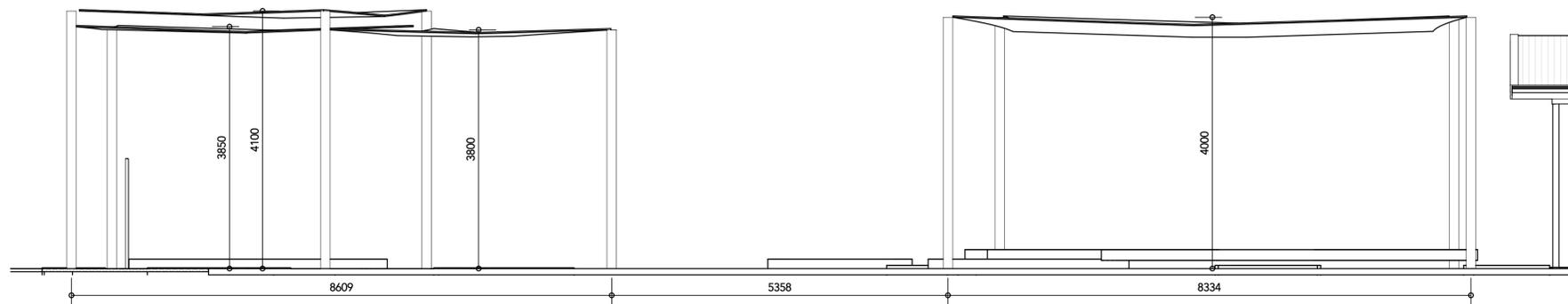
**11 SECTION. Section 3**  
Scale 1 : 75 @ A1

**ISSUED FOR DA**



**13** 3D SHADE SAIL 1  
Scale @ A1

**12** PROPOSED SHADE SAIL LAYOUT  
Scale 1 : 100 @ A1



**15** 3D SHADE SAIL 2-4  
Scale @ A1

**14** ELEVATION. PROPOSED SHADE SAILS  
Scale 1 : 50 @ A1

