



SECONDARY DWELLING - 24 BREWERS LANE, ST FILLANS

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1355 The Northern Road, Bringelly NSW
Postal Address
PO Box 56, Bringelly NSW 2556
Phone (02) 4774 8388
Email: sales@hitechhomes.com.au
www.hitechhomes.com.au

SINGLE STOREY DWELLING CLIENT PLAN APPROVAL

Signed _____
Date _____

LEGEND	
WC - WATER CLOSET	F - FRIDGE
HWS - HOT WATER SYSTEM	TUB - LAUNDRY TUB
MB - METER BOX	WM - WASHING MACHINE
DP - DOWNPIPE	CB - COLORBOND
SHR - SHOWER	LGA - LOCAL GOVERNMENT PLAN
VTY - VANITY	WT - WINDOW TOP
PTY - PANTRY	WB - WINDOW BOTTOM
MW - MICROWAVE	RL - RIDGE LINE
SD - SMOKE DETECTOR	AHD - AUSTRALIAN HEIGHT DATUM
LDRY - LAUNDRY	PP - POWER POLE
BED - BEDROOM	VEG - VEGETATION
PDR - POWDER ROOM	EB - EDGE OF BITUMEN
O/H - OVERHEAD CUPBOARDS	BM - BENCH MARK
BAL - BUSHFIRE ATTACK LEVEL	GUT - GUTTER
GSD - GLASS SLIDING DOOR	EXT - EXIT
RD - ROBE DOOR	BC - BROOM CLOSET
CSD - CAVITY SLIDING DOOR	OBS - OBSCURE WINDOW

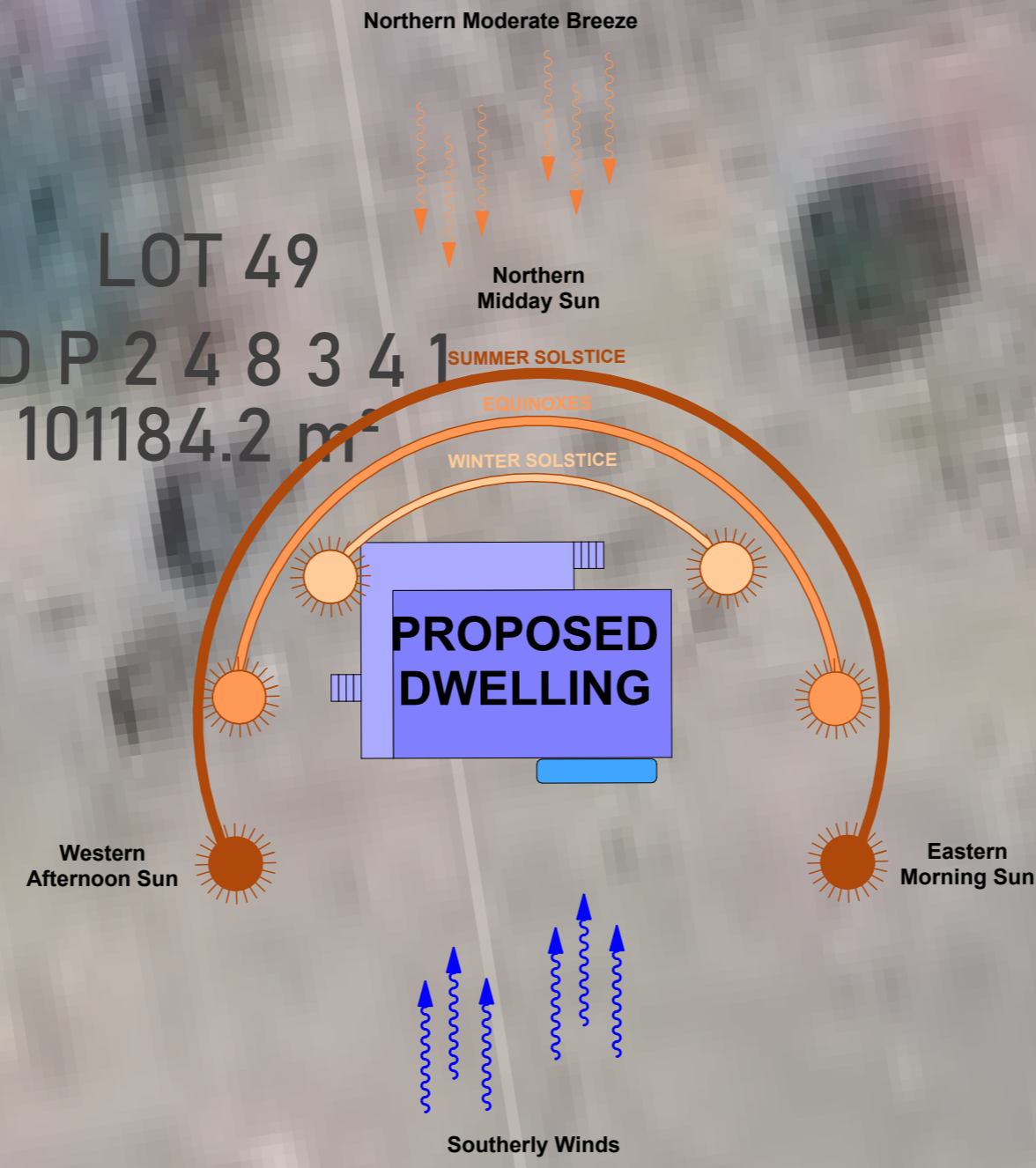
- GENERAL BUILDING NOTES**
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
 2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDER'S TENDER/CONTRACT DOCUMENTATION.
 3. TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS.
 4. FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
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 9. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY HITECH HOMES DESIGN OFFICE IMMEDIATELY.

Title Page

CLIENT: JOHNSTON JOB NUMBER: 202757
LOCATION: 24 BREWERS LANE, ST FILLANS
LGA: MID-WESTERN REGIONAL COUNCIL
LOT/DP: 49/DP248341 SCALE: 1:131.90 @ A3
DRAWN: AF ISSUE: DA SHEET NO: DA.1
REF NUMBER: DESIGN: JACARANDA
DATE: Wednesday, 18 September 2024



LOT 49
 DP 248341
 101184.2 m²



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Site Analysis Plan

CLIENT: JOHNSTON JOB NUMBER: 202757

LOCATION: 24 BREWERS LANE, ST FILLANS

LGA: MID-WESTERN REGIONAL COUNCIL

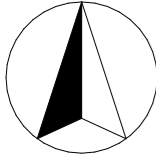
LOT/DP: 49/DP248341 SCALE: 1:250 @ A3

DRAWN: AF ISSUE: DA SHEET NO: DA.2

REF NUMBER: DESIGN: JACARANDA

DATE: Wednesday, 18 September 2024

N



LOWES PEAK ROAD

BREWERS LANE

89°48'40"
390.37

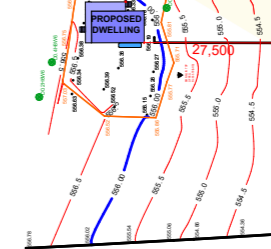
LOT 49
D P 2 4 8 3 4 1
101184.2 m²

0°07'50"
271

266°21'15"
391.215

180°07'50"
247.41

LOT 49
D P 2 4 8 3 4 1
101184.2 m²



EXISTING DWELLING

SHED

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LOT/DP: 49/DP248341 SCALE: 1:1500 @ A3

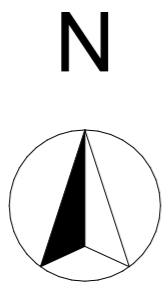
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REF NUMBER: DESIGN: JACARANDA

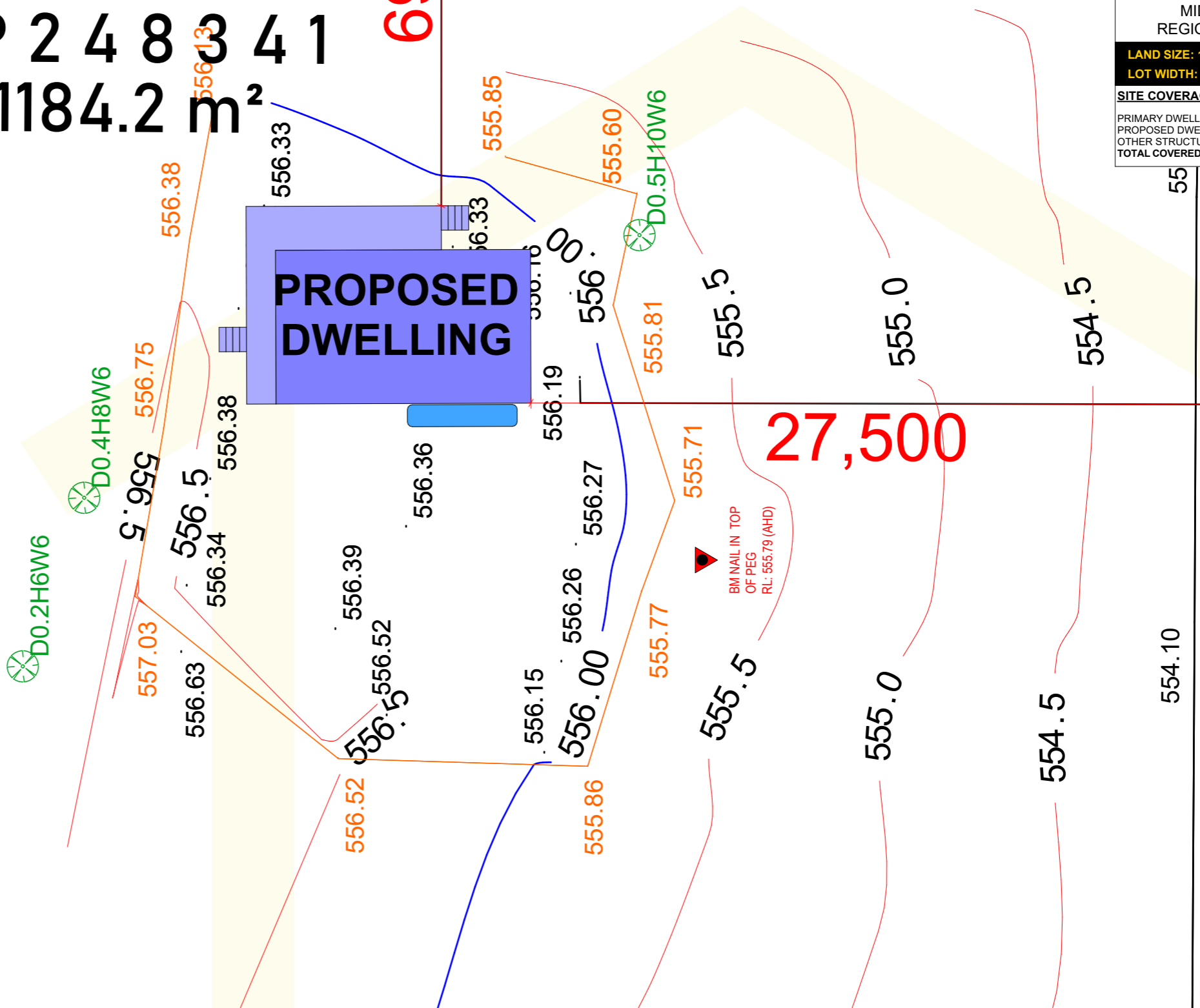
DATE: Wednesday, 18 September 2024

SURVEY LEGEND

-  Power Pole
-  Light Pole
-  Gutter
-  Water Meter
-  Sluice Valve
-  Water Valve
-  Fire Hydrant
-  Concrete
-  Building
-  Bitumen
-  Storm Drain Inlet
-  Timber deck
-  Retaining Wall
-  Fence
-  Back of kerb
-  Building Line
-  Telstra Pit
-  Clothes Line
-  Tree
-  Bottom of the Bank
-  Top of the Bank
-  Invert of kerb
-  Lip of kerb
-  Sewer Manhole



LOT 49
DP 248341
101184.2 m²



24 BREWERS LANE, ST FILLANS	
Area Calculation	
Zone Name	Area
01 Proposed dwelling	65.84
02 Deck	21.96
	87.80 m ²
SITE DEVELOPMENT CALCULATION	
MID-WESTERN REGIONAL COUNCIL	
LAND SIZE: 101,184.2m ²	
LOT WIDTH: 391.215m	
SITE COVERAGE	
PRIMARY DWELLING: 132.66m ²	
PROPOSED DWELLING: 65.84m ²	
OTHER STRUCTURES: 81m ²	
TOTAL COVERED: 279.50m ² 0.03%	



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Site Plan

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LOCATION: 24 BREWERS LANE, ST FILLANS

LGA: MID-WESTERN REGIONAL COUNCIL



LOT/DP: 49/DP248341 SCALE: 1:1.30, 1:200 @ A3

DRAWN: AF ISSUE: DA SHEET NO: DA.4

REF NUMBER: DESIGN: JACARANDA

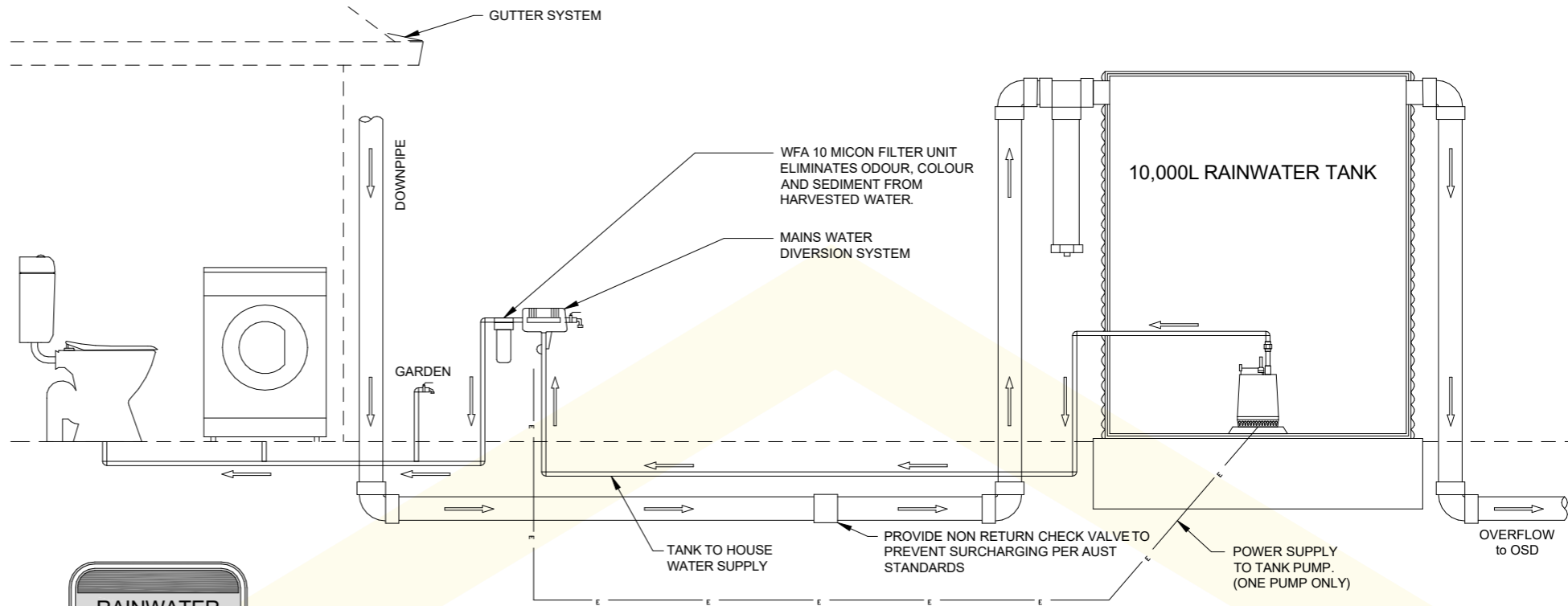
DATE: Wednesday, 18 September 2024

LEGENDS

DESCRIPTION	
	PROPOSED PIPES TO OUTLET
	PROPOSED NEW DOWNPIPE (Ø100 UNO)

GENERAL NOTES

- ALL LINES ARE TO BE Ø100 uPVC @ MIN 1% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- ALL PIPES TO HAVE MINIMUM 150mm COVER IF LOCATED WITHIN PROPERTY.
- ALL PITS IN LANDSCAPE AREAS TO BE 450 x 450 PLASTIC UNO. AND ALL PITS IN DRIVEWAYS TO BE 450 x 450 CONCRETE UNO.
- PITS LESS THAN 600 DEEP MAY BE BRICK, PRECAST OR CONCRETE UNO.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL EXTERNAL SLABS TO BE WATERPROOFED.
- ALL GRATES TO HAVE CHILD PROOF LOCKS.
- ALL DRAINAGE WORKS TO AVOID TREE ROOT ZONE.
- ALL DP'S TO HAVE LEAF GUARDS.
- ALL EXISTING LEVELS TO TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- ALL WORKS WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- ALL WORKS SHALL BE IN ACCORDANCE WITH BCA AND AS3500.3.
- EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED. PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS NECESSARY.



DIAGRAMMATIC DETAIL OF RAINWATER TANK

N.T.S.

GROUND FLOOR DRAINAGE PLAN

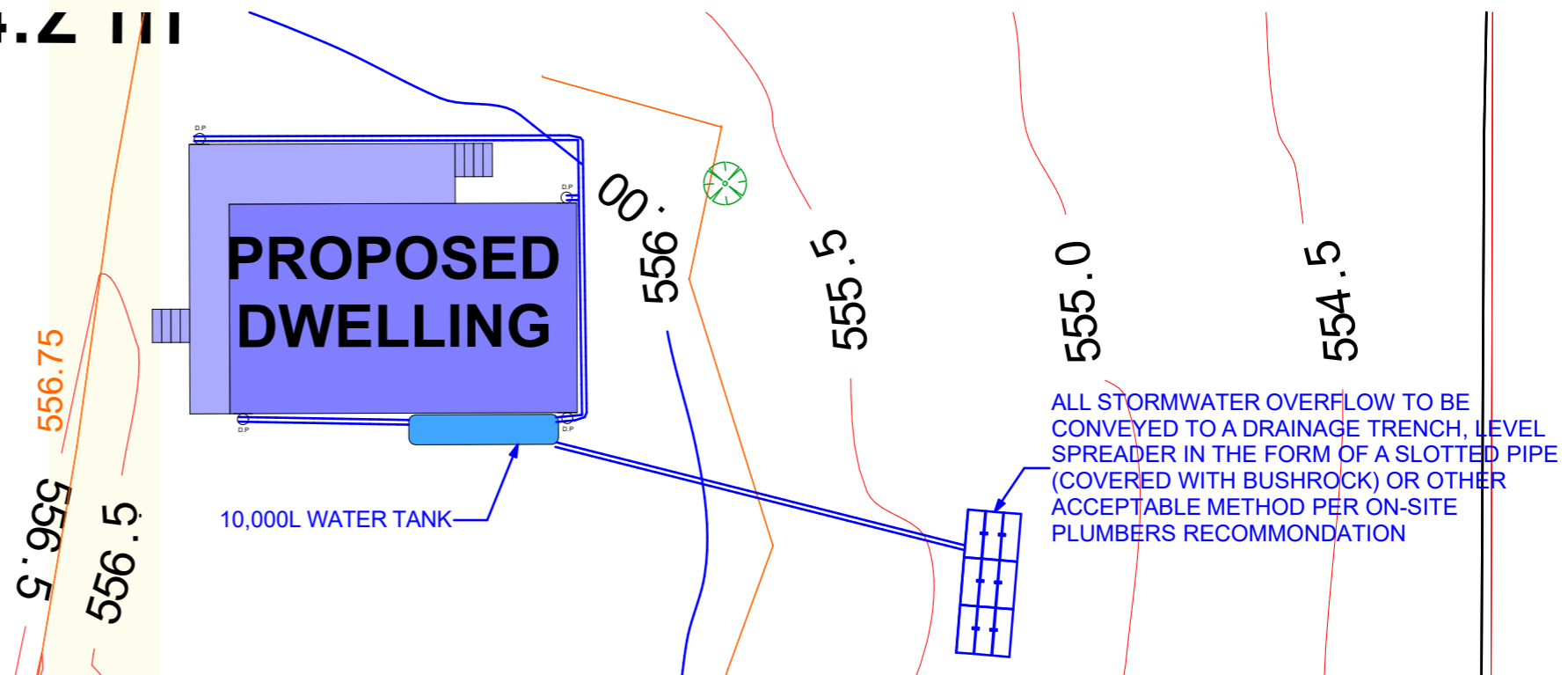
GENERAL NOTES
 ALL DRAINAGE LINES SHALL BE UPVC (CLASS SH) LAID @ 1% FALL MIN. UNO.
 ALL STORMWATER DOWNPIPES Ø100 UNO.
 TYPICAL MINIMUM EFFECTIVE EAVES GUTTER SIZE = 6700 mm²
 MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500



RAINWATER SUPPLY SIGN



U1104.4 III
 N



ALL STORMWATER OVERFLOW TO BE CONVEYED TO A DRAINAGE TRENCH, LEVEL SPREADER IN THE FORM OF A SLOTTED PIPE (COVERED WITH BUSHROCK) OR OTHER ACCEPTABLE METHOD PER ON-SITE PLUMBERS RECOMMENDATION

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Stormwater Plan

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LGA: MID-WESTERN REGIONAL COUNCIL

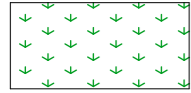
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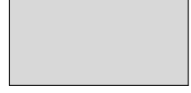
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LANDSCAPE LEGEND



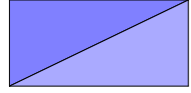
TURF AREA



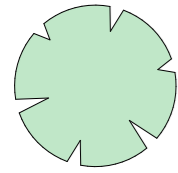
EXISTING DRIVEWAY



EXISTING STRUCTURES



PROPOSED STRUCTURES



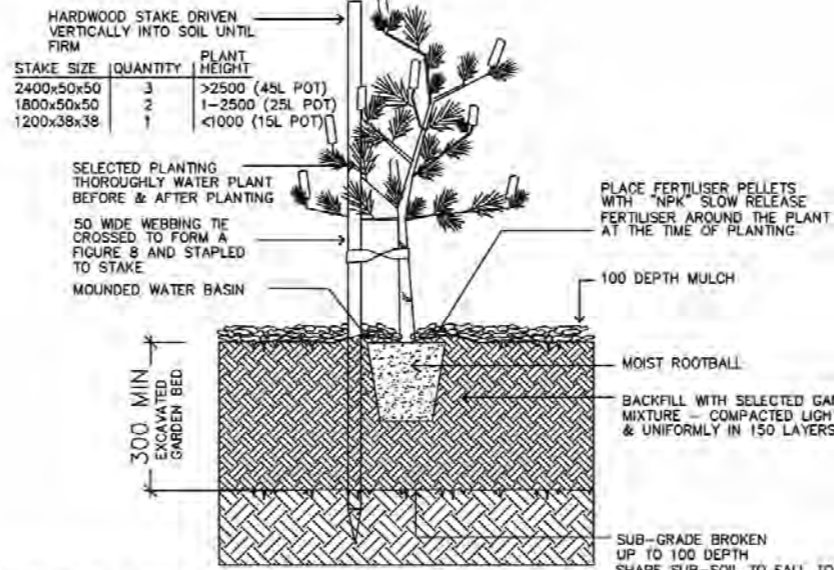
EXISTING TREES/GARDENS

NOTE:

- | | |
|--|---|
| 1 Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing. | 11 All storm water outlets & surface run off shall be to Hydraulic Engineers detail. |
| 2 Do not scale drawing, if in doubt - ASK | 12 Provide sub-soil drainage to garden beds & lawn areas where required - To be confirmed on site. |
| 3 This drawing is to be read in conjunction with Architectural, Hydraulic and survey plans | 13 Refer to survey plan for position of all existing services. |
| 4 All Existing trees to remain shall be protected as per arborist report & council requirements | 14 Refer to Architectural elevations & Sections for existing and proposed ground lines. |
| 5 All pruning shall be in accordance with the AS 4373 | 15 All landscape works shall comply with all council DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS_SPEC NO.1 Specification G273-Landscaping. |
| 6 Thoroughly eradicate weeds from all garden areas. | 16 Irrigation system - If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations. |
| 7 No variation to the works to be carried out without prior approval from owner. | 17 MAINTENANCE- All landscape works are to be maintained for a period of 12 weeks after final completion. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds. |
| 8 All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified. | |
| 9 Substitution of plant species or varieties will not be permitted. | |
| 10 Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer. | |

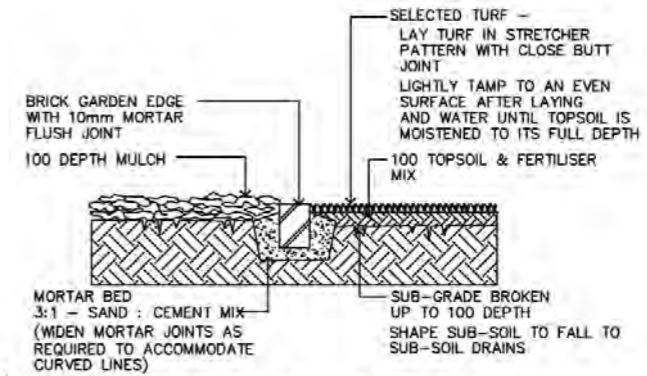
PLANT SCHEDULE

PLANT	SYMBOL	NAME	SIZE	POT	QTY
		HEBE BUXIFOLIA 'INSPIRATION (OR SIMILAR)	1.5 X 1.5	150MM	3
		PHORMIUM TENAX 'PURPUREUM (OR SIMILAR)	1 X 1	150MM	8
		DIANELLA (OR SIMILAR)	0.4 X 0.4	150MM	18
		CHAMAECYPARIS LAWSONIANA (OR SIMILAR)	2 X 1.5	25L	6
		BACKHOUSIA MYRTIFOLIA GREY MYRTLE (OR SIMILAR)	3 X 3	25L	2



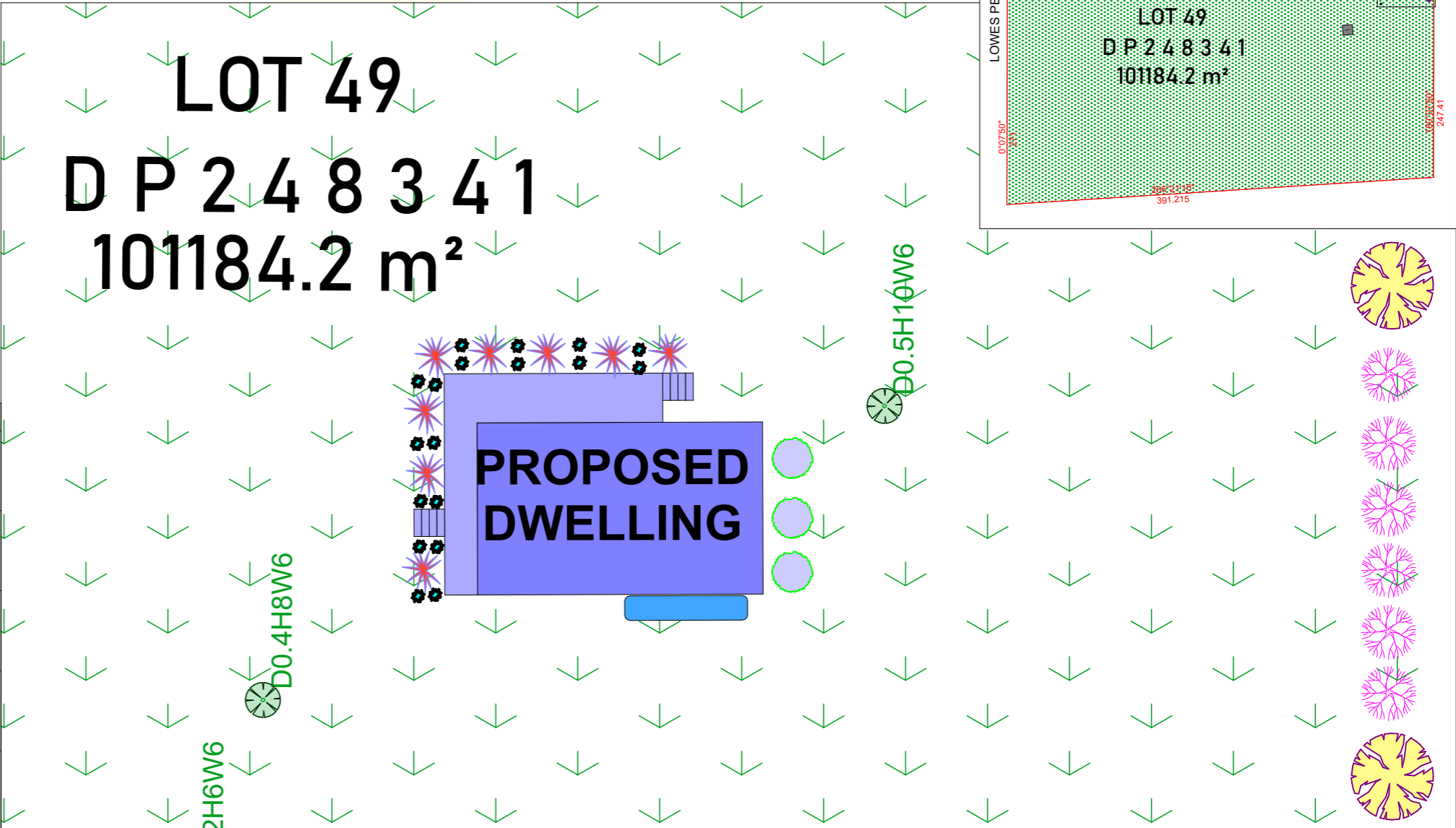
2. TREE & SHRUB PLANTING IN GARDEN BED

NOTE:
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN
CLAY SOIL IS TO BE TREATED WITH CLAY BREAKER



1. TURF & GARDEN EDGE DETAIL

NOTE 1:
ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM DIPS AND HUMPS.



24 BREWERS LANE, ST FILLANS

Area Calculation	
Zone Name	Area
01 Proposed dwelling	65.84
02 Deck	21.96
87.80 m ²	

SITE DEVELOPMENT CALCULATION

MID-WESTERN REGIONAL COUNCIL

LAND SIZE: 101,184.2m²
LOT WIDTH: 391.215m

LANDSCAPED AREA

STRUCTURES: 301.46m²
LANDSCAPE AREA: 100,882.54 99.7%

ABN 32 603 439 827

Hi-TECH HOMES

Sales Office and Display Centre
1355 The Northern Road, Bringelly NSW

Postal Address
PO Box 56, Bringelly NSW 2556

Phone (02) 4774 8388
Email: sales@hitechhomes.com.au
www.hitechhomes.com.au

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SINGLE STOREY DWELLING CLIENT PLAN APPROVAL

Signed _____
Date _____

LEGEND

WC - WATER CLOSET	F - FRIDGE
HWS - HOT WATER SYSTEM	TUB - LAUNDRY TUB
MB - METER BOX	WM - WASHING MACHINE
DP - DOWNPIPE	CB - COLORBOND
SHR - SHOWER	LGA - LOCAL GOVERNMENT PLAN
VTY - VANITY	WT - WINDOW TOP
PTY - PANTRY	WB - WINDOW BOTTOM
MW - MICROWAVE	RL - RIDGE LINE
SD - SMOKE DETECTOR	AHD - AUSTRALIAN HEIGHT DATUM
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PDR - POWDER ROOM	EB - EDGE OF BITUMEN
O/H - OVERHEAD CUPBOARDS	BM - BENCH MARK
BAL - BUSHFIRE ATTACK LEVEL	GUT - GUTTER
GSD - GLASS SLIDING DOOR	EXT - EXIT
RD - ROBE DOOR	BC - BROOM CLOSET
CSD - CAVITY SLIDING DOOR	OBS - OBSCURE WINDOW

- GENERAL BUILDING NOTES**
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Landscape Plan

CLIENT: JOHNSTON JOB NUMBER: 202757

LOCATION: 24 BREWERS LANE, ST FILLANS

LGA: MID-WESTERN REGIONAL COUNCIL

LOT/DP: 49/DP248341 SCALE: 1:1.30, 1:200, 1:500

DRAWN: AF ISSUE: DA SHEET NO: DA.6

REF NUMBER: DESIGN: JACARANDA

DATE: Wednesday, 18 September 2024

SOIL AND WATER MANAGEMENT CONTROLS

This is a Soil and Water Management Plan, and shows an acceptable way of managing soil erosion and water quality on the site. The Site Manager shall be responsible for implementation and management of the Soil and Water Management on the site.

This plan is to be read in conjunction with the DA and Engineering Plans, and any other plans, written instructions, specification or documentation that may be issued relating to development of the site. Ensure that all soil and water management works are located as instructed by the Site Manager or as shown on the plans, specification or other relevant documentation.

All workers and sub-contractors shall be informed of their responsibilities in minimising the potential for soil erosion and pollution to downslope lands and waterways.

Water will be prevented from entering the permanent drainage system unless it is relatively sediment free, ie the catchment area has been permanently landscaped and/or any likely sediment has been filtered through or settled within an approved structure to meet environmental guidelines.

'Sediment' fencing and adjacent swales will be installed as indicated on the plans and at the direction of superintendent to ensure containment of sediment. The swales will outlet or overflow under stabilised conditions into the sediment basins, to safely convey water into a suitable filtering system should the pores in the fabric block.

Construct a new sediment basin (if indicated on plans) at the location shown and clean out the existing dams to act as a sediment basin during the construction period and beyond.

Sediment basins shall have a minimum wet sediment capacity of 10 cubic metres and be designed with suitable overflow spillways to remain stable in at least the 1 in 10 year ARI (10% AEP), critical duration storm event.

In general, water shall not be released or pumped from sediment basins unless water quality complies with the 'Australian and New Zealand Guidelines for Fresh and Marine Water Quality' and in particular 50mg/L maximum suspended solids. Artificial flocculation to settle finer particles may be necessary in this instance. The basins are to be emptied within 48 hours after a storm event, but only after water has reached acceptable quality levels.

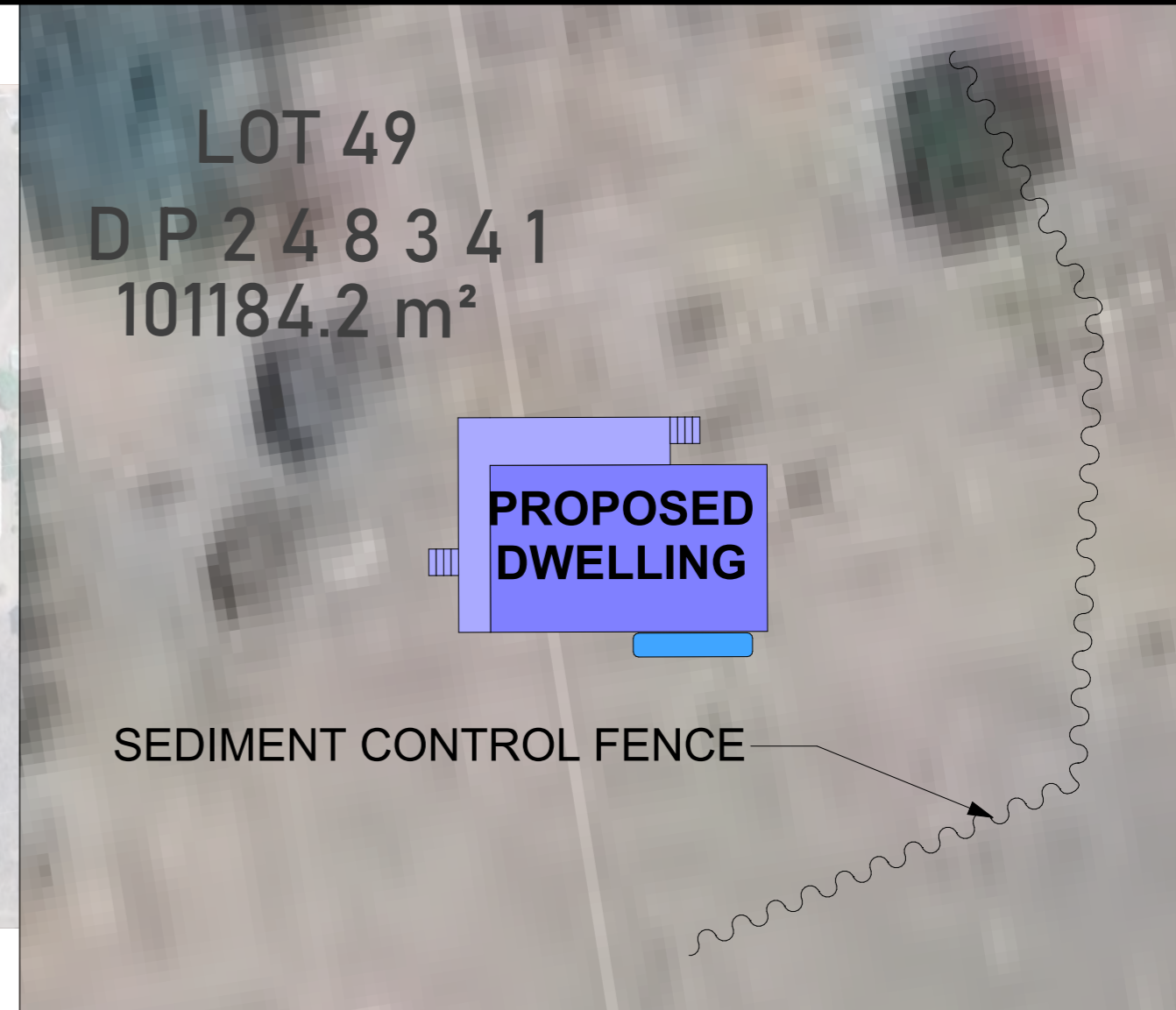
Stockpiles must not be located within 2m of hazard areas, including likely areas of concentrated or high velocity flows such as waterways, paved areas and driveways. Where they are between 2m and 5m metres from such areas, special sediment control measures should be taken to minimise possible pollution to downslope waters, e.g. through installation of additional 'sediment' fencing and bunds around the stockpiles.

Regular checking and maintenance of the measures to ensure the integrity of the installed measures.

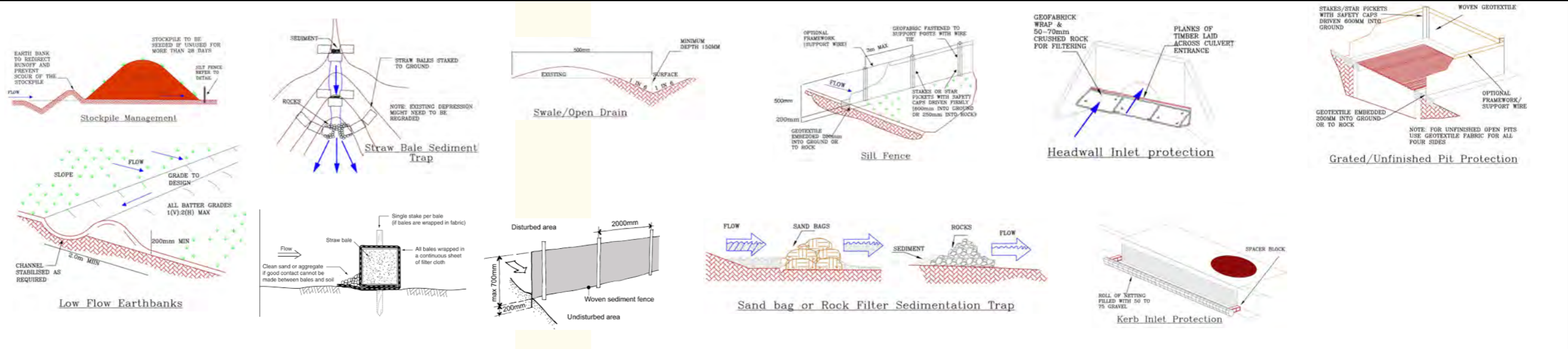
FULL SITE PLAN



SEDIEMT CONTROL FENCE LAYOUT



TECHNIQUES



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SINGLE STOREY DWELLING CLIENT PLAN APPROVAL

Signed _____

Date _____

LEGEND

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Sediment Control Plan

CLIENT: JOHNSTON JOB NUMBER: 202757

LOCATION: 24 BREWERS LANE, ST FILLANS

LGA: MID-WESTERN REGIONAL COUNCIL

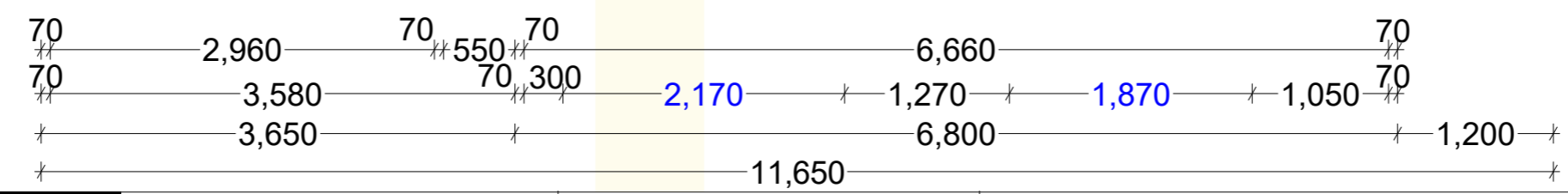
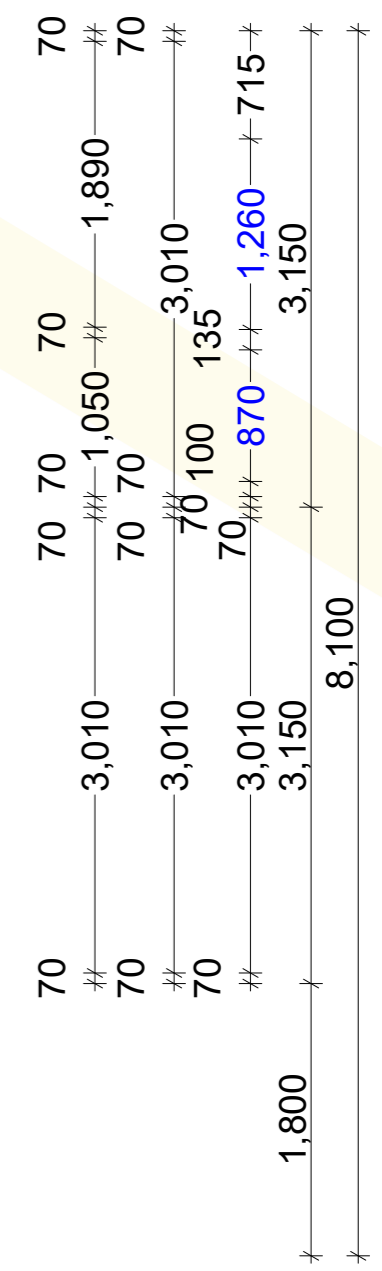
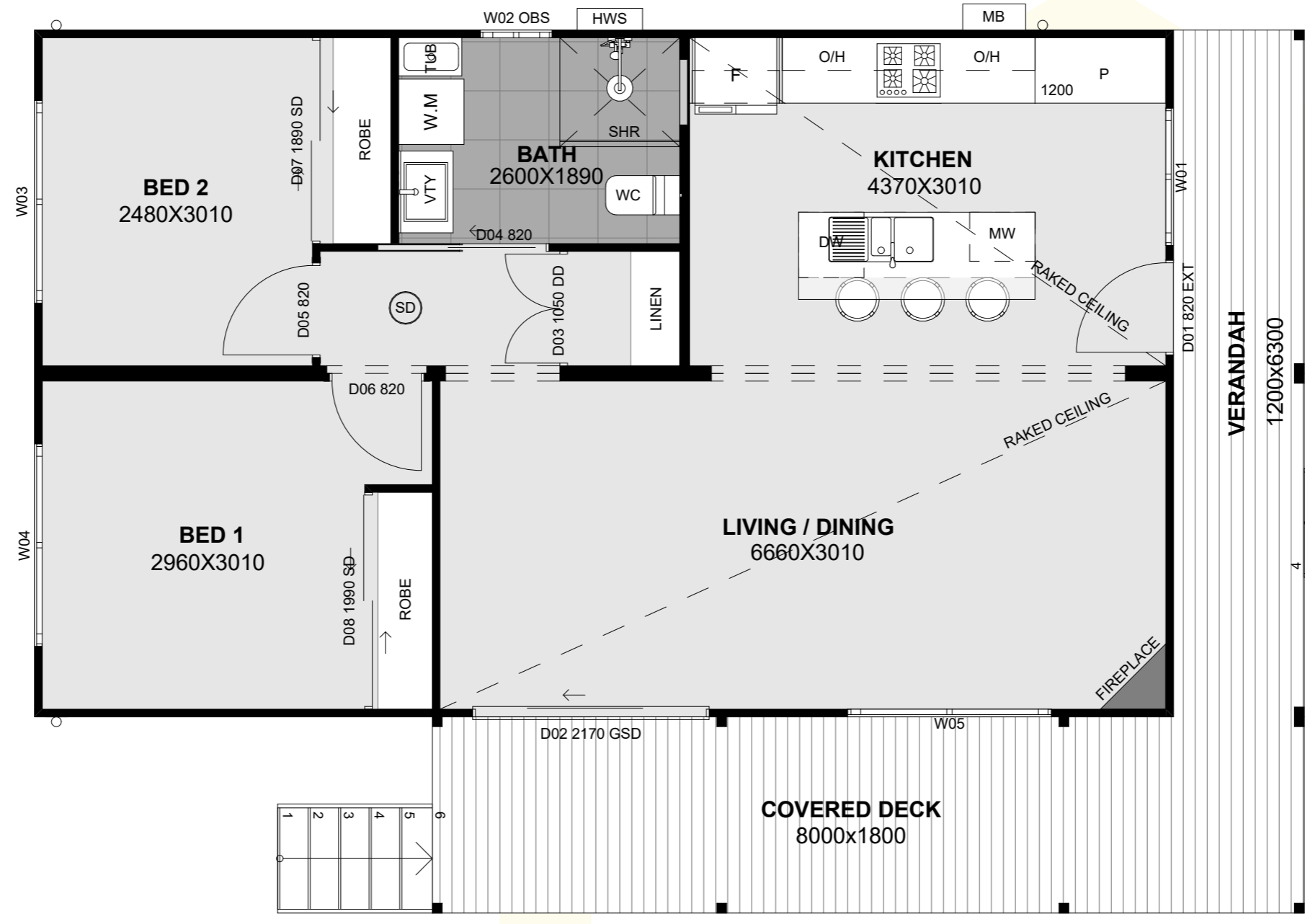
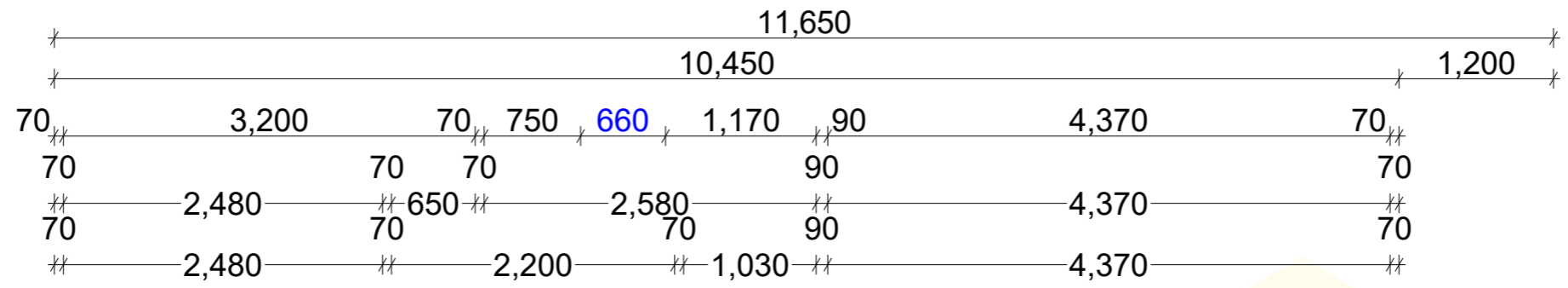
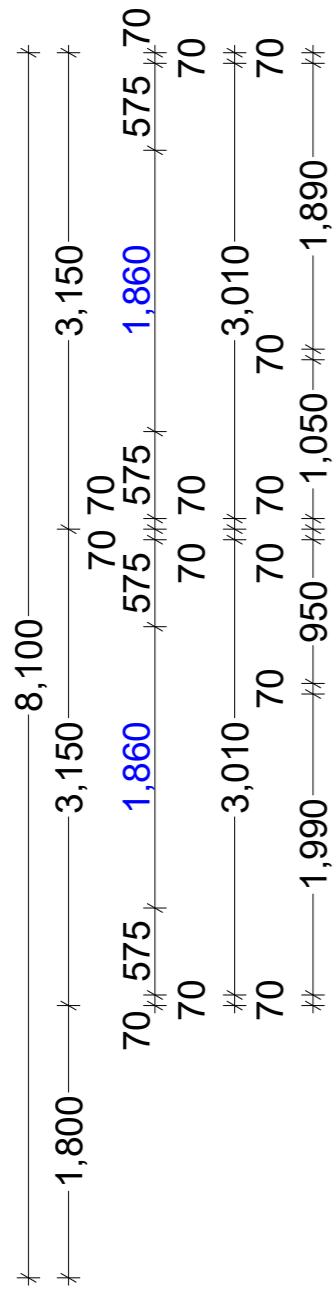
LOT/DP: 49/DP248341 SCALE: 1:2500, 1:250 @ A3

DRAWN: AF ISSUE: DA SHEET NO: DA.7

REF NUMBER: DESIGN: JACARANDA

DATE: Wednesday, 18 September 2024

Area Calculation	
Zone Name	Area
01 Proposed dwelling	65.84
02 Deck	21.96
	87.80 m ²



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SINGLE STOREY DWELLING CLIENT PLAN APPROVAL

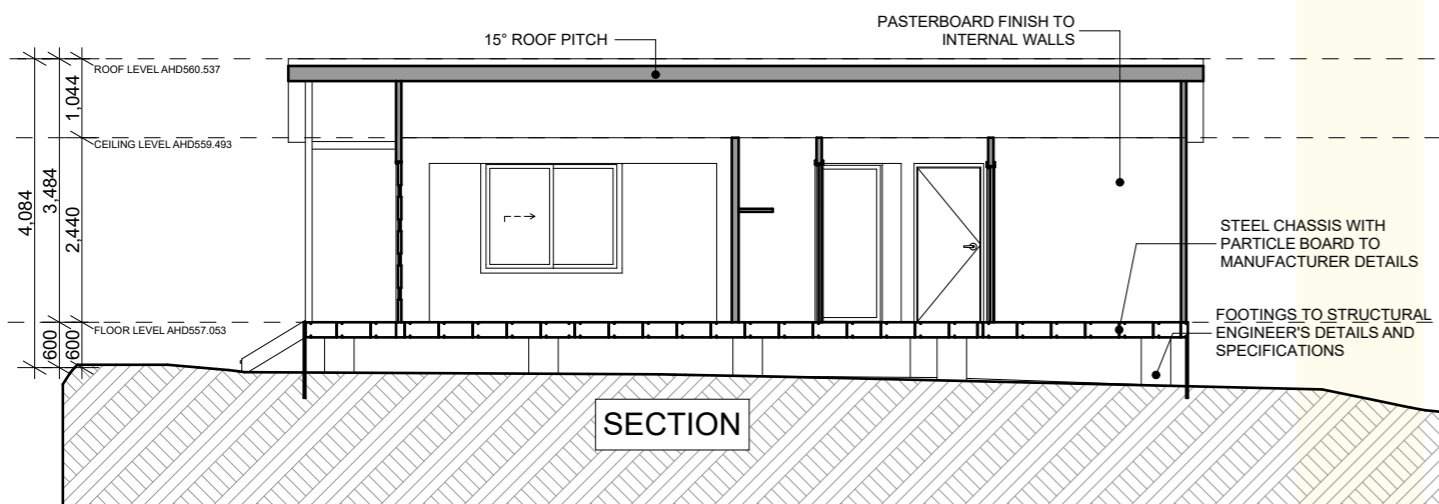
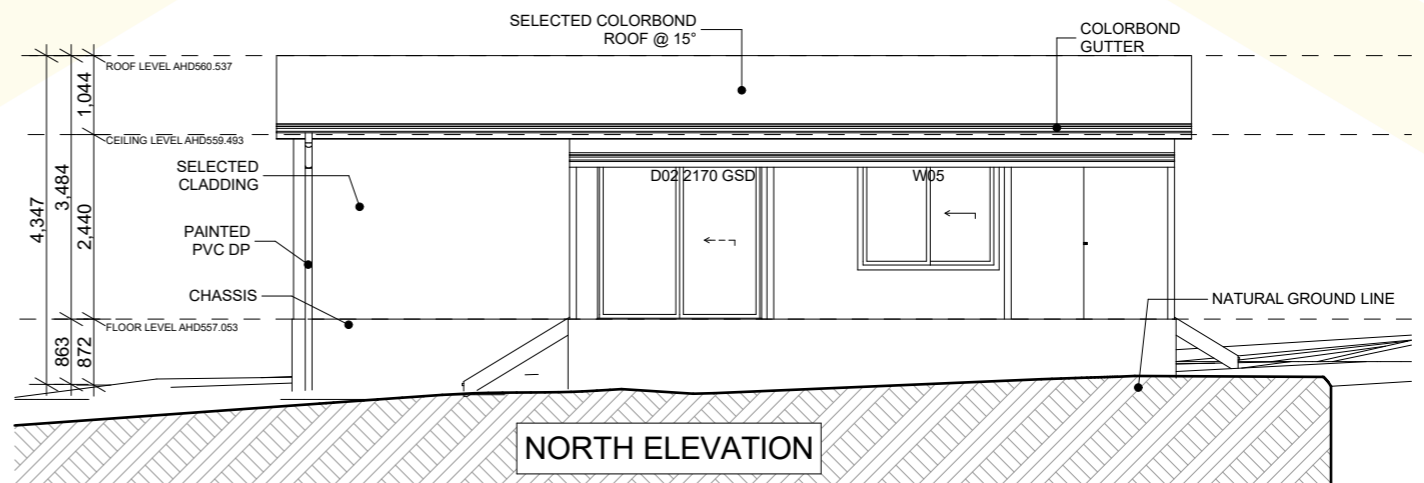
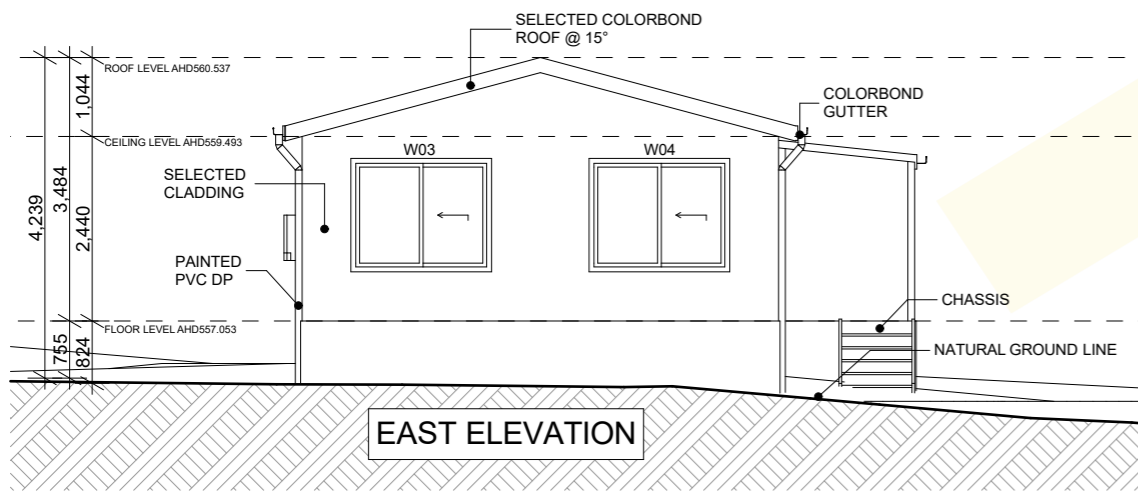
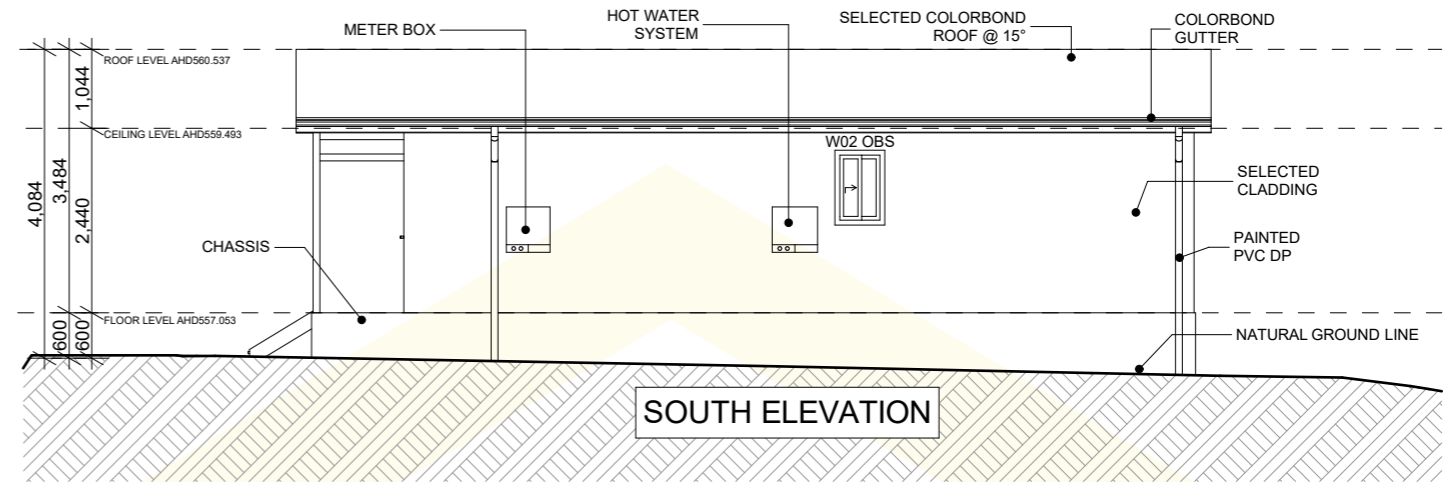
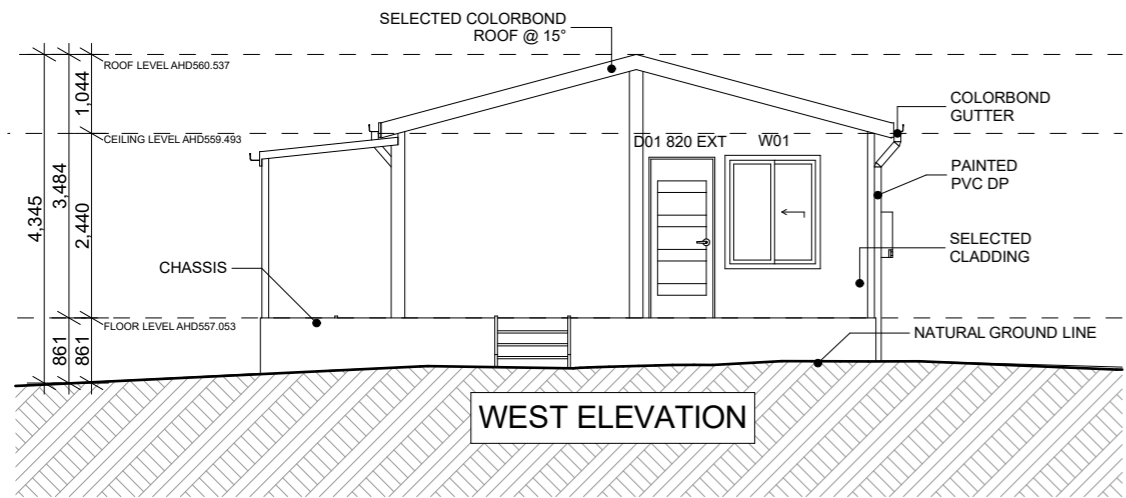
Signed _____
 Date _____

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Floor Plan

CLIENT: JOHNSTON JOB NUMBER: 202757
 LOCATION: 24 BREWERS LANE, ST FILLANS
 LGA: MID-WESTERN REGIONAL COUNCIL
 LOT/DP: 49/DP248341 SCALE: 1:1, 1:50 @ A3
 DRAWN: AF ISSUE: DA SHEET NO: DA.8
 REF NUMBER: DESIGN: JACARANDA
 DATE: Wednesday, 18 September 2024



Door List			
Door ID	Width	Height	Quantity
D01 820 EXT	820	2,100	1
D02 2170 GSD	2,170	2,100	1
D03 1050 DD	1,050	2,100	1
D04 820	820	2,100	1
D05 820	820	2,040	1
D06 820	820	2,040	1
D07 1890 SD	1,890	2,100	1
D08 1990 SD	1,990	2,100	1
			8

Window List				
Window ID	Width	Height	Head Height	Quantity
W01	1,210	1,450	2,100	1
W02 OBS	610	940	2,100	1
W03	1,810	1,450	2,100	1
W04	1,810	1,450	2,100	1
W05	1,810	1,450	2,100	1
				5



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Elevations/Section

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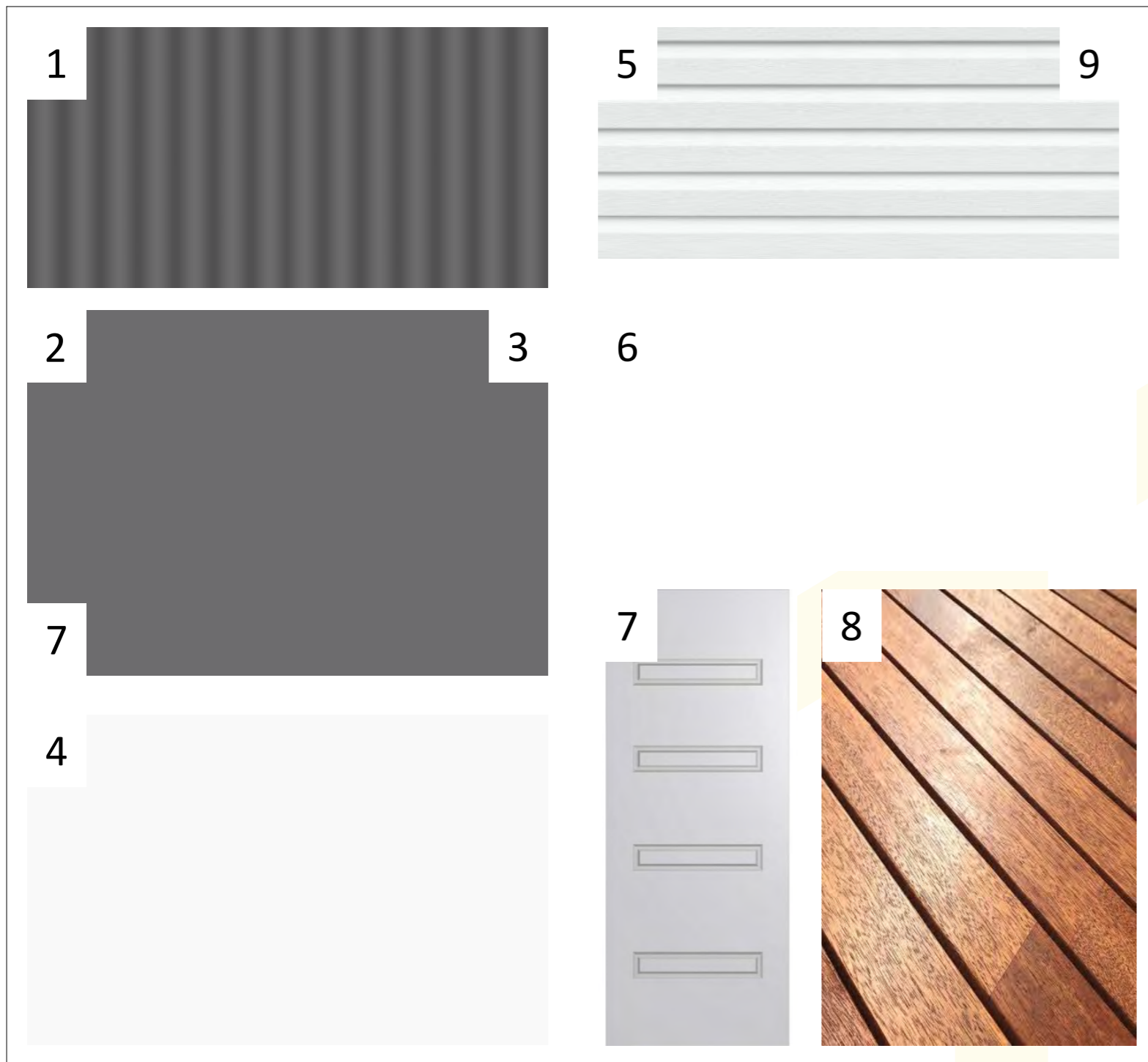
 LOT/DP: 49/DP248341 SCALE: 1:1, 1:100 @ A3

 DRAWN: AF ISSUE: DA SHEET NO: DA.9

 REF NUMBER: DESIGN: JACARANDA

 DATE: Wednesday, 18 September 2024

EXTERNAL COLOUR PLAN



LEGEND

- 1) ROOF: COLORBOND CORRUGATED 762 - CB BASALT
- 2) GUTTER: CB BASALT
- 3) FASCIA: CB BASALT
- 4) DOWNPIPES: TB ELUSIVE WHITE
- 5) CLADDING: DURATUFF VINYL - WHITE
- 6) WINDOWS & FLYSCREENS: WHITE - NYLON MESH
- 7) ENTRY DOOR: - HUME DOORS VAUCLUSE XV10 - CB BASALT
- 8) DECKING: HARDWOOD MERBAU
- 9) SUBFLOOR: DURATUFF VINYL - WHITE

JOB NO: 202757

SITE ADDRESS: 24 BREWERS LANE, ST FILLANS

CLIENT: JOHNSTON

The colours shown represent actual product colours as accurately as possible. However, we recommend checking your chosen colours against an actual sample of the products before purchasing, as varying screens and devices may affect colour tones and finishes.



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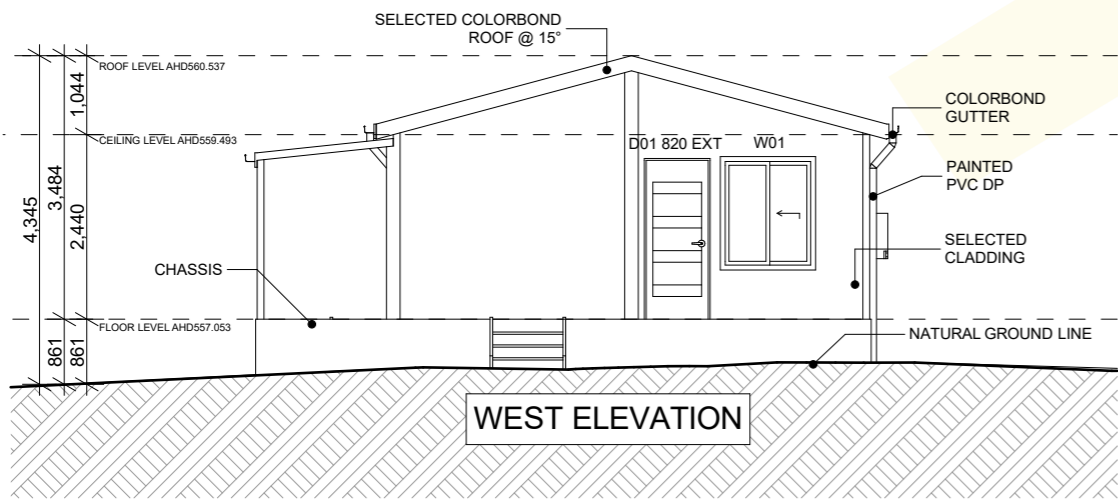
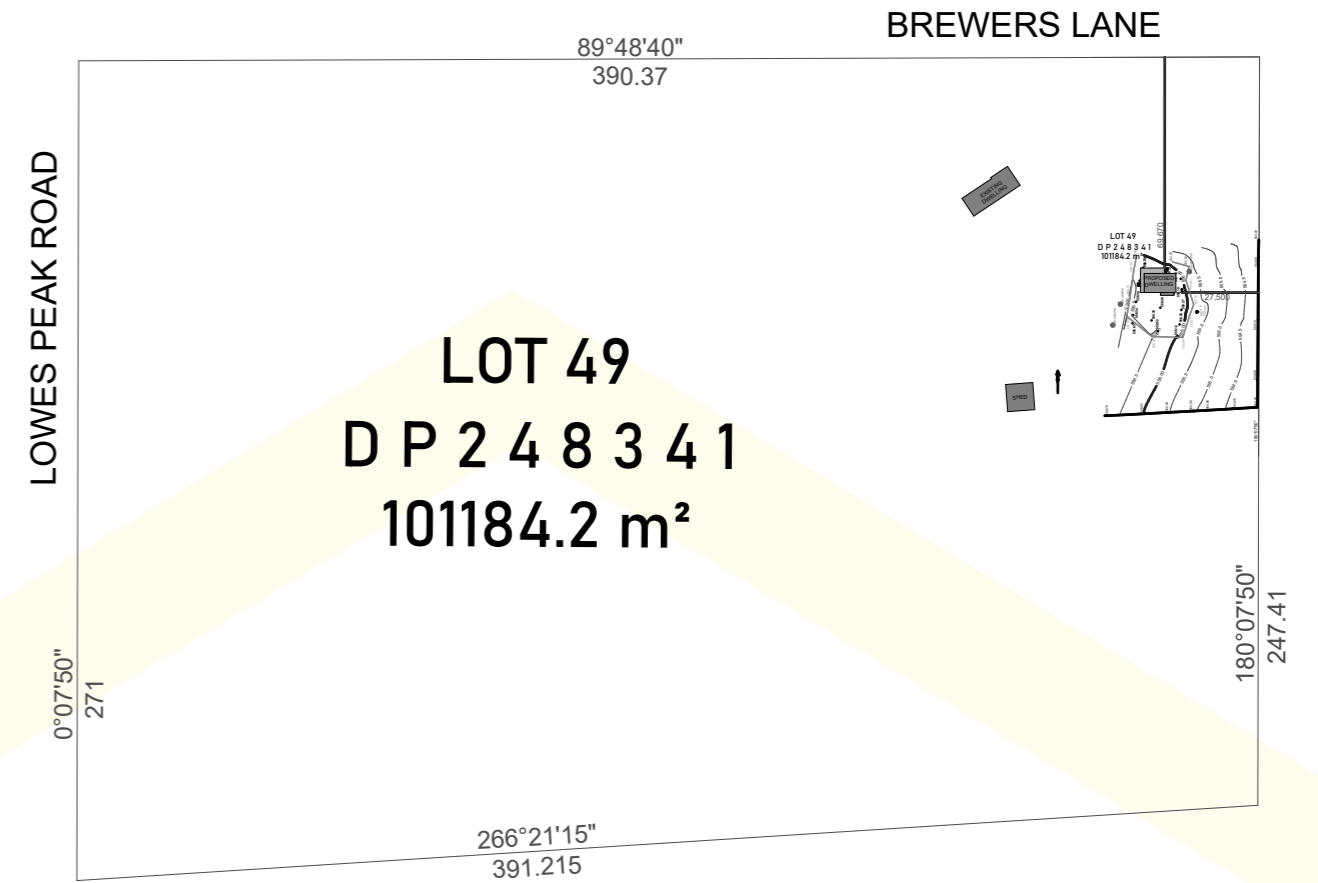
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External Colours

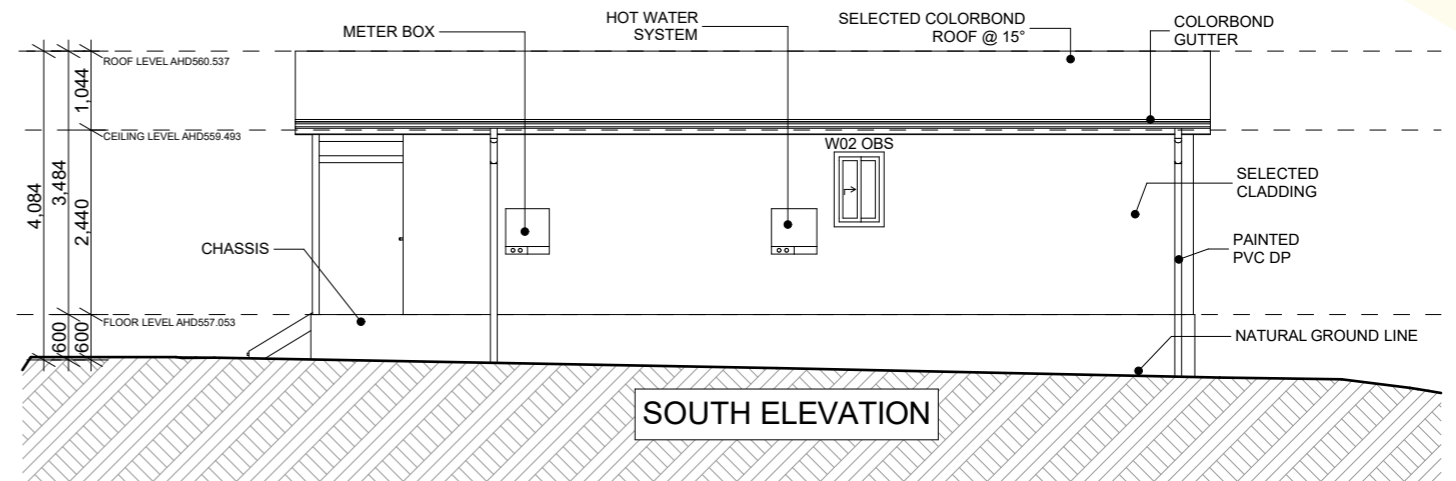
CLIENT: JOHNSTON JOB NUMBER: 202757
LOCATION: 24 BREWERS LANE, ST FILLANS
LGA: MID-WESTERN REGIONAL COUNCIL
LOT/DP: 49/DP248341 SCALE: 1:296.19 @ A3
DRAWN: AF ISSUE: DA SHEET NO: DA.10
REF NUMBER: DESIGN: JACARANDA
DATE: Wednesday, 18 September 2024

NOTIFICATION PLAN

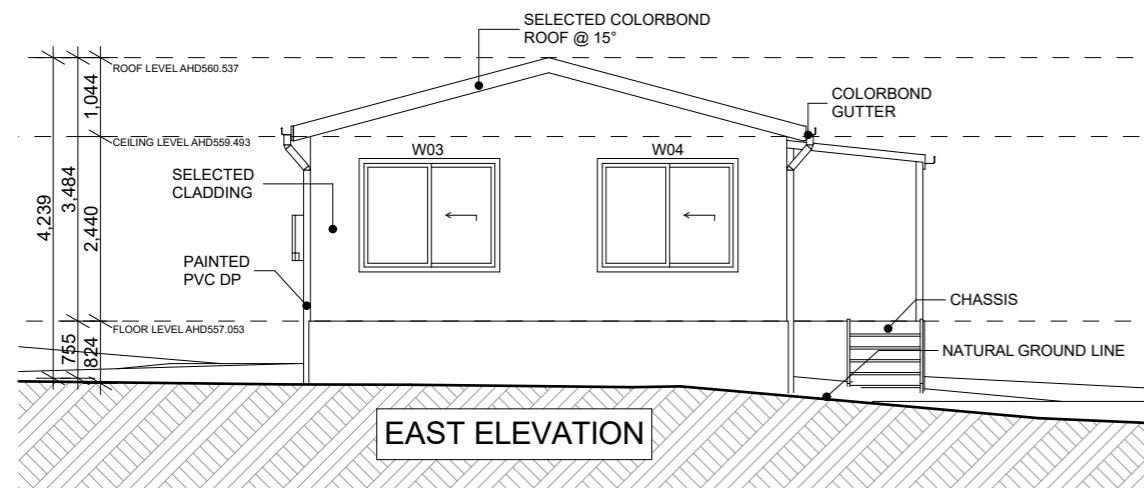
24 BREWERS LANE, ST FILLANS



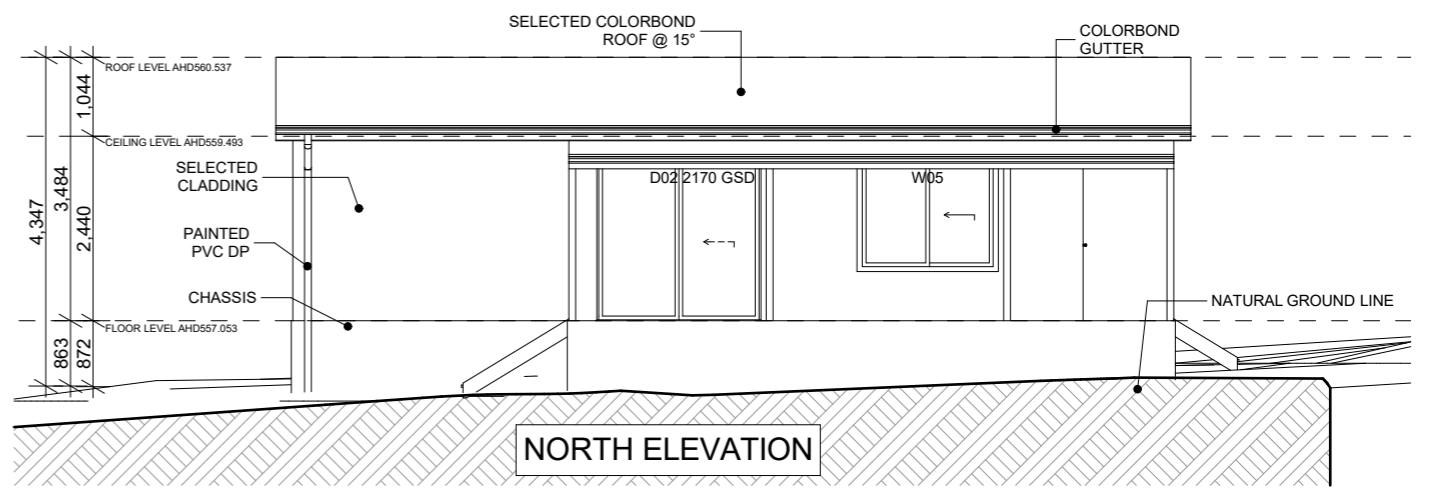
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



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Notification Plan

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DESIGN: JACARANDA