

PROPOSED MULTI-DWELLING HOUSING

FOR

MFB PROPERTY LIMITED

68 MORTIMER STREET MUDGEE NSW



GENERAL NOTES:

Builder to confirm all dimensions before commencing any works.

If discrepancies occur on plans, designer is to be contacted.

All dimensions are in millimeters unless otherwise stated.

Use figured dimensions only. Do not scale from plans.

Site information is based on information supplied by the owner and must be verified by the supplier on acceptance of this plan.

All works shall comply with the National Construction Code (NCC) current Australian Standards, building regulations and statutory approvals. Notify this office of any discrepancies.

These plans should be read in conjunction with project specification and all consultant drawings including but not limited to Structural Engineer and Surveyor.

Soil Classification - refer to Engineers report and soil tests.

SPECIFICATIONS:

WIND CLASSIFICATION - BY ENGINEER

PLUMBING

All plumbing to AS 3500 and must be carried out by a licensed plumber in accordance with the Plumbing Code of Australia (PCA) to comply with the requirements of the Local Authority.

Gutters and Downpipes to be designed and installed in accordance with NCC/BCA Part 3.5.3.

ELECTRICAL

All electrical work shall be undertaken by a licensed electrician and in accordance with AS/NZS 3000

DRAUGHT SEALING

Provide a seal/draught excluder to the bottom edge of all external doors

SPECIFICATIONS:

TERMITE PROTECTION

All buildings shall be protected against termite attack in accordance with AS3660.1 and NCC/BCA 3.1.4. Provide a durable barrier in the meter box indicating type of barrier and required inspections.

SMOKE DETECTORS

Smoke detectors shall be installed as noted on the plans and in accordance with AS 3786 and NCC/BCA Vol. 2 Part 3.7.5. They must be hard wired to the electrical supply.

GLAZING

Provide glazing to AS 1288 and NCC/BCA Part 3.6

LIFT OFF HINGES (LOH)

Provide lift off hinges to the doors on sanitary compartments as labeled on the plans in accordance with NCC/BCA Vol 2 3.8.3.3

BASIX NOTES:

THE FOLLOWING APPLIES TO ALL UNITS IN THE DEVELOPMENT

STORMWATER

All roof water from each unit must be collected in a 2000L rainwater tank for each unit and plumbed to:
a) at least one outdoor tap in the development
b) all toilets in the development
And be installed in accordance with AS3500.

HEATING

1 phase air conditioning system with minimum of 6 stars (cold zone new rating) to be installed in living areas. No active heating in the bedrooms

COOLING

1 phase air conditioning system with minimum of 6 stars (cold zone new rating) to be installed in living areas. No active cooling in the bedrooms

GLAZING

All windows and glazed doors to generally be aluminium with single clear glazing (U-value: 6.70, SHGC: 0.7 [+/- 5%]).

VENTILATION

Bathroom - Install an exhaust fan in the ceiling, duct through roof or facade and operated manually in each unit
Kitchen - Install a rangehood over cooktop, duct through roof or facade and operated manually in each unit
Laundry - natural ventilation in each unit

HOT WATER

Gas instantaneous with a minimum of 5 stars to be installed in each unit

LIGHTING

The primary type of artificial lighting is LED (dedicated) in at least 2/3 bedrooms, at least 1 living/dining rooms, kitchen, all bathrooms, laundry and all hallways.

COOKING

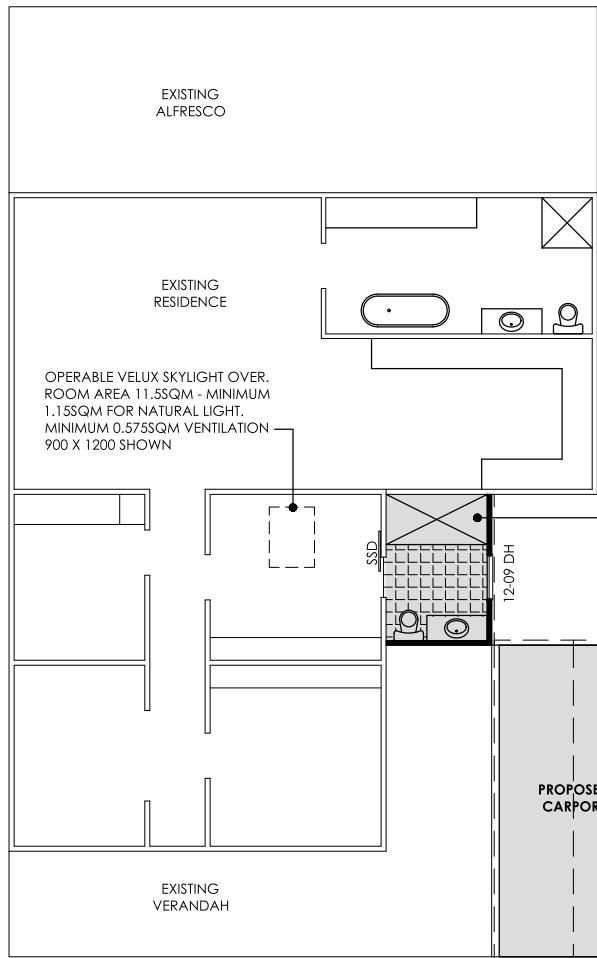
All units to have a gas cooktop and electric oven

AAA RATING

All showerheads minimum rating of 3 star (>4.5 but <= 6.0L/min)
Toilets to have a minimum rating of 5 Star
Kitchen taps to have a minimum rating of 4 star
and Basin taps to have a minimum rating of 4 stars

GENERALLY

The information found in these notes are by no means the extent of information relating to compliance with BASIX commitments. These notes must be read in conjunction with the full set of plans and elevations outlined on sheet no's 4855TO-01 to 4855TO-18, Issue B (18 sheets) and with the BASIX Certificate pertaining to this property - Certificate No. 1125175M



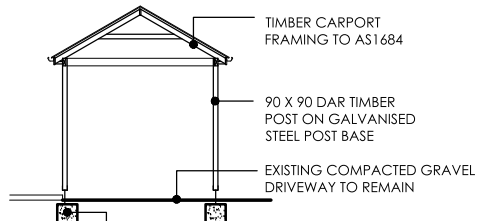
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Legend:

15-21	WINDOW DIMENSIONS - HEIGHT X WIDTH
AFFL	ABOVE FINISHED FLOOR LEVEL
BR	BROOM CUPBOARD
CLN	CLOTHES LINE
CONC	CONCRETE TROWEL FINISH
CPT	CARPET
CSD	CAVITY SLIDING DOOR
CFT	CERAMIC FLOOR TILES
DH	DOUBLE HUNG WINDOW
DP	DOWN PIPE
DR	DRYER SPACE
DW	DISHWASHER SPACE
F	FIXED GLASS WINDOW
FWG	FLOOR WASTE GULLY
HALF	HALF GLAZED DOOR
HP	HOT PLATES
HWS	HOT WATER SYSTEM
LOH	LIFT OFF HINGES
LT	LAUNDRY TUB
LV	LOUVRE WINDOW
MB	METER BOX
MOD	MODWOOD DECKING
MW	MICROWAVE SPACE
OHC	OVERHEAD CUPBOARDS
OY	OVEN
PL	LVT PLANK FLOORING
PLD	PANEL-LIFT GARAGE DOOR
PT	PAINTED INTERNAL FINISH
RD	ROLLER DOOR
REF	REFRIGERATOR
RH	RETRACTABLE RANGEHOOD
RW	RETAINING WALL
SSD	SURFACE SLIDING DOOR
SK	SMOKE DETECTOR
SINK	SINK
SL	SIDE-LITE
SW	SLIDING WINDOW
TD	TIMBER DECKING
TF	POLISHED TIMBER FLOOR
WM	WASHING MACHINE SPACE



MATCH EXISTING ROOF PITCH, GUTTER HEIGHT & FLOOR LEVELS

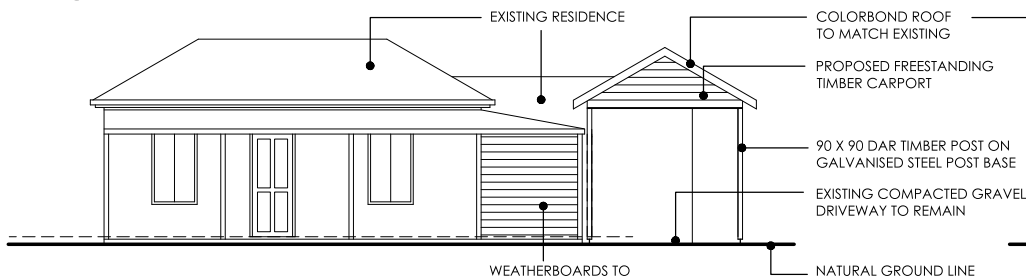
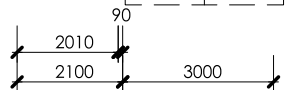


MASS PAD FOOTINGS TO CARPORT POST TO ENGINEERS DESIGN

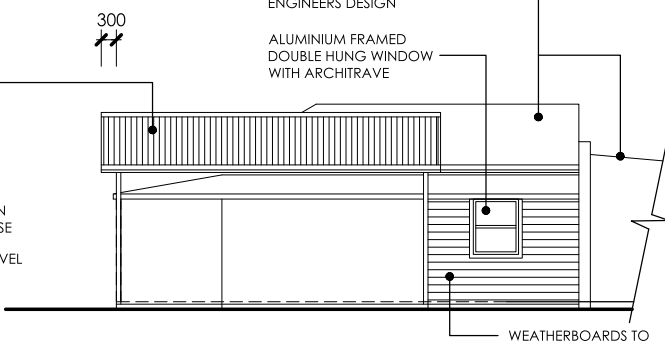
EXISTING RESIDENCE BEYOND

ALUMINIUM FRAMED DOUBLE HUNG WINDOW WITH ARCHITRAVE

1 FLOOR PLAN
SCALE 1:100



2 SOUTH ELEVATION
SCALE 1:100



3 EAST ELEVATION
SCALE 1:100

B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20
Issue	Description	Date

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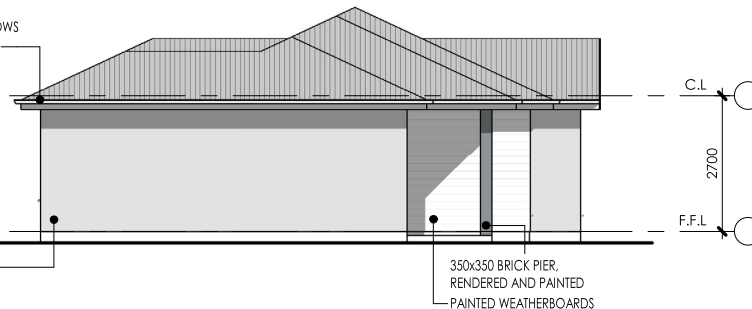
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Client	MFB Property Ltd	
Project	68 Mortimer Street Mudgee NSW 2850	
Title	EXISTING DWELLING	
Scale at A3	1:100	
Date	JUNE 2020	Drawn RG
Drawing No.	485STO-02	Issue B



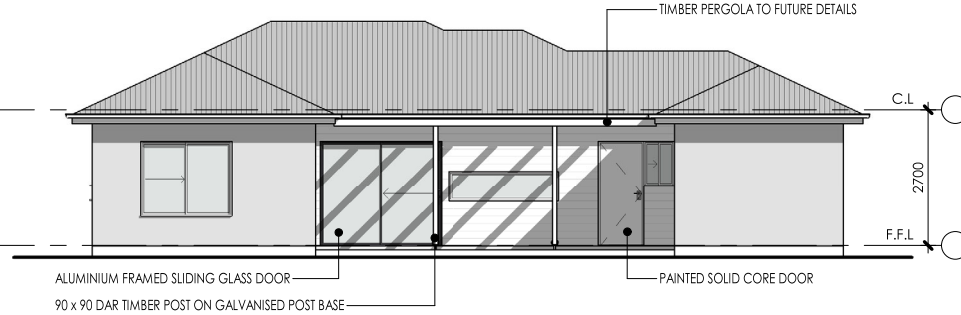
① **WEST ELEVATION**
SCALE 1 : 100



② **NORTH ELEVATION**
SCALE 1 : 100



③ **SOUTH ELEVATION**
SCALE 1 : 100



④ **EAST ELEVATION**
SCALE 1 : 100

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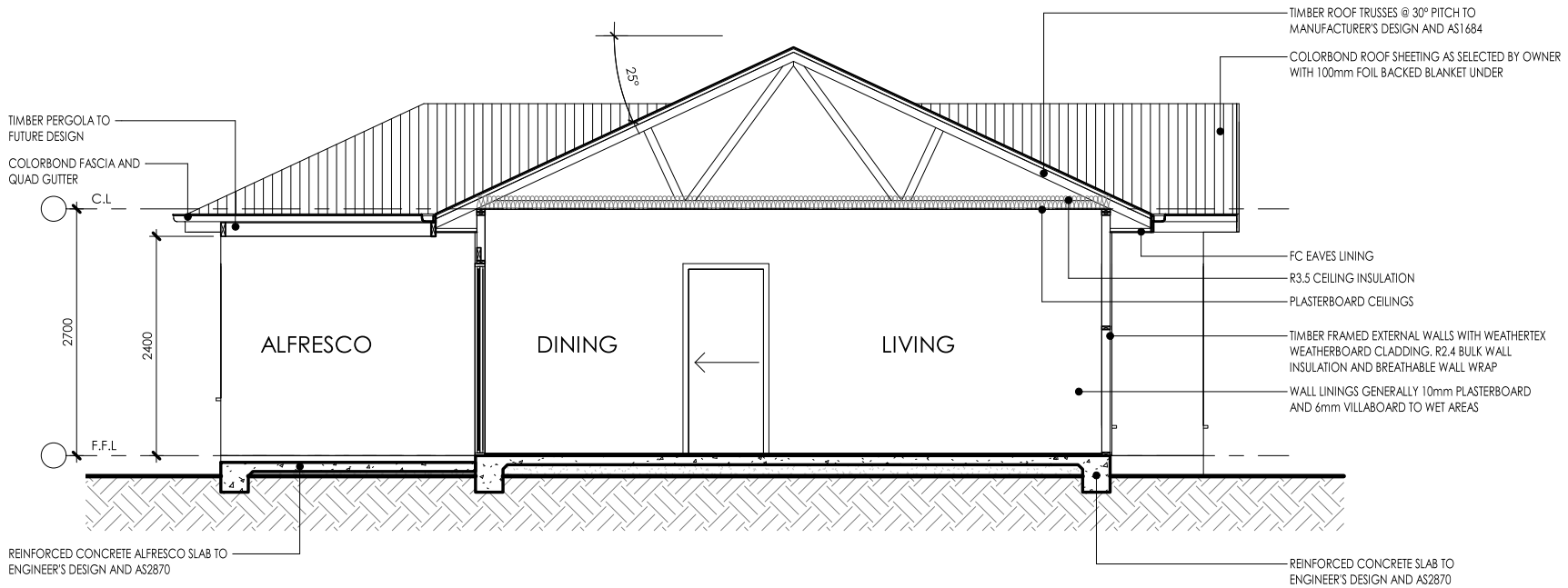
Issue	Description	Date
C	UNIT 1 POS CHANGE	21.09.20
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

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Project 68 Mortimer Street Mudgee NSW 2850	
Title UNIT 1 - ELEVATIONS	
Scale at A3 1 : 100	
Date JUNE 2020	Drawn RG/CD
Drawing No. 485STO-04	Issue C



1 SECTION 1
SCALE 1 : 50

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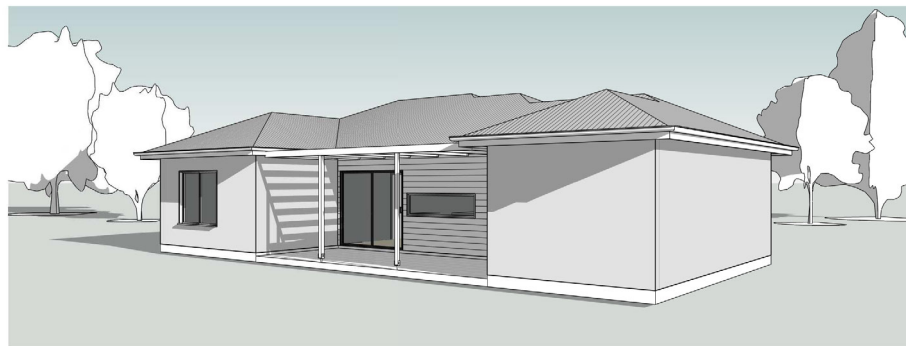
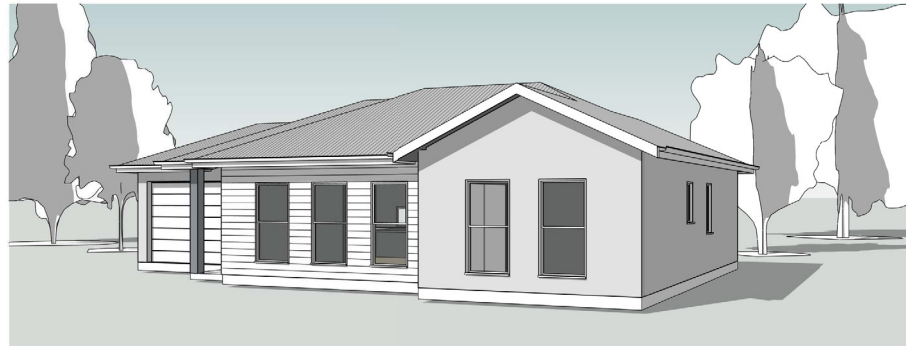
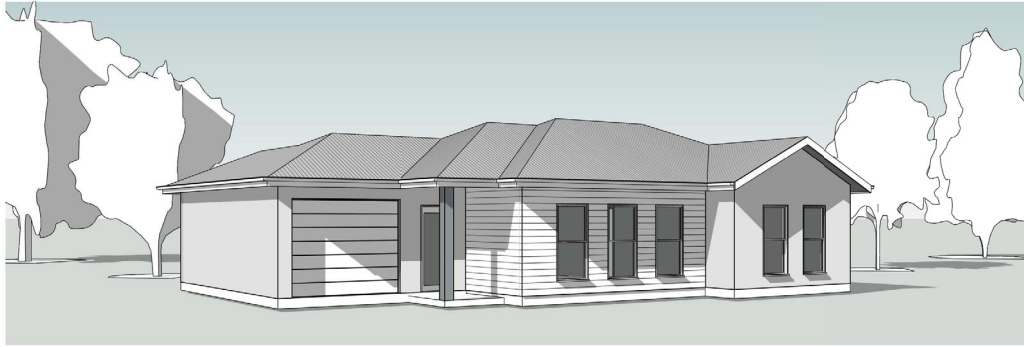
Issue	Description	Date
C	UNIT 1 POS CHANGE	21.09.20
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

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Project 68 Mortimer Street Mudgee NSW 2850	
Title UNIT 1 - SECTIONS	
Scale at A3 1 : 50	
Date JUNE 2020	Drawn RG/CD
Drawing No. 485STO-05	Issue C



Notes

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Issue	Description	Date
C	UNIT 1 POS CHANGE	21.09.20
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

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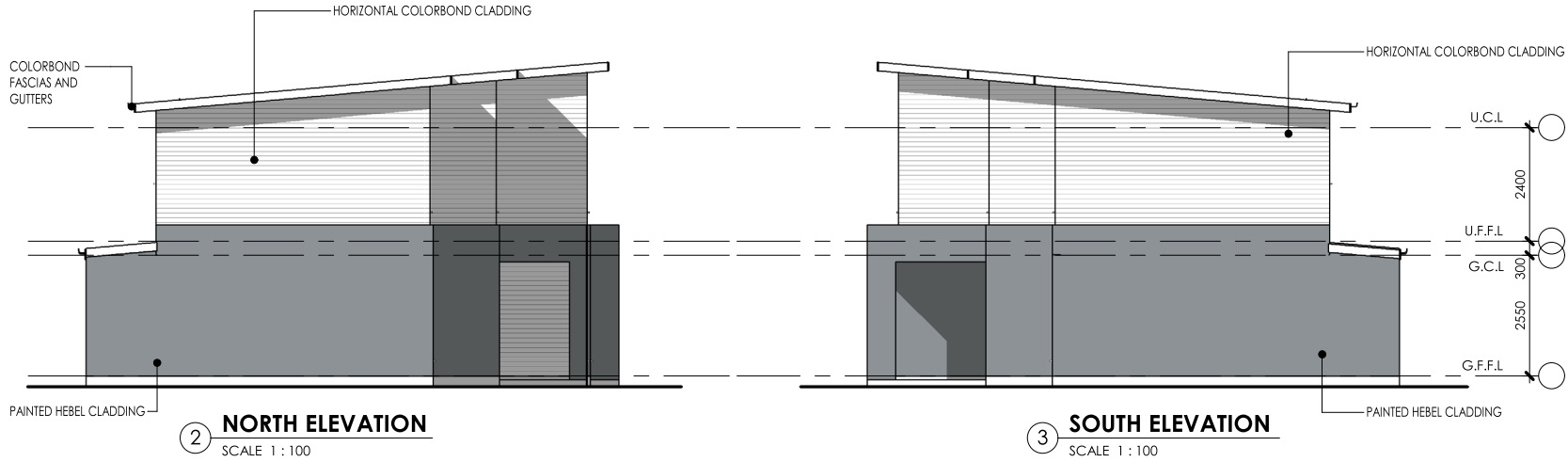
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Title UNIT 1 - PERSPECTIVES	
Scale at A3 NA	
Date JUNE 2020	Drawn RG/CD
Drawing No. 485STO-06	Issue C



① **WEST ELEVATION**
SCALE 1 : 100



② **NORTH ELEVATION**
SCALE 1 : 100

③ **SOUTH ELEVATION**
SCALE 1 : 100



④ **EAST ELEVATION**
SCALE 1 : 100

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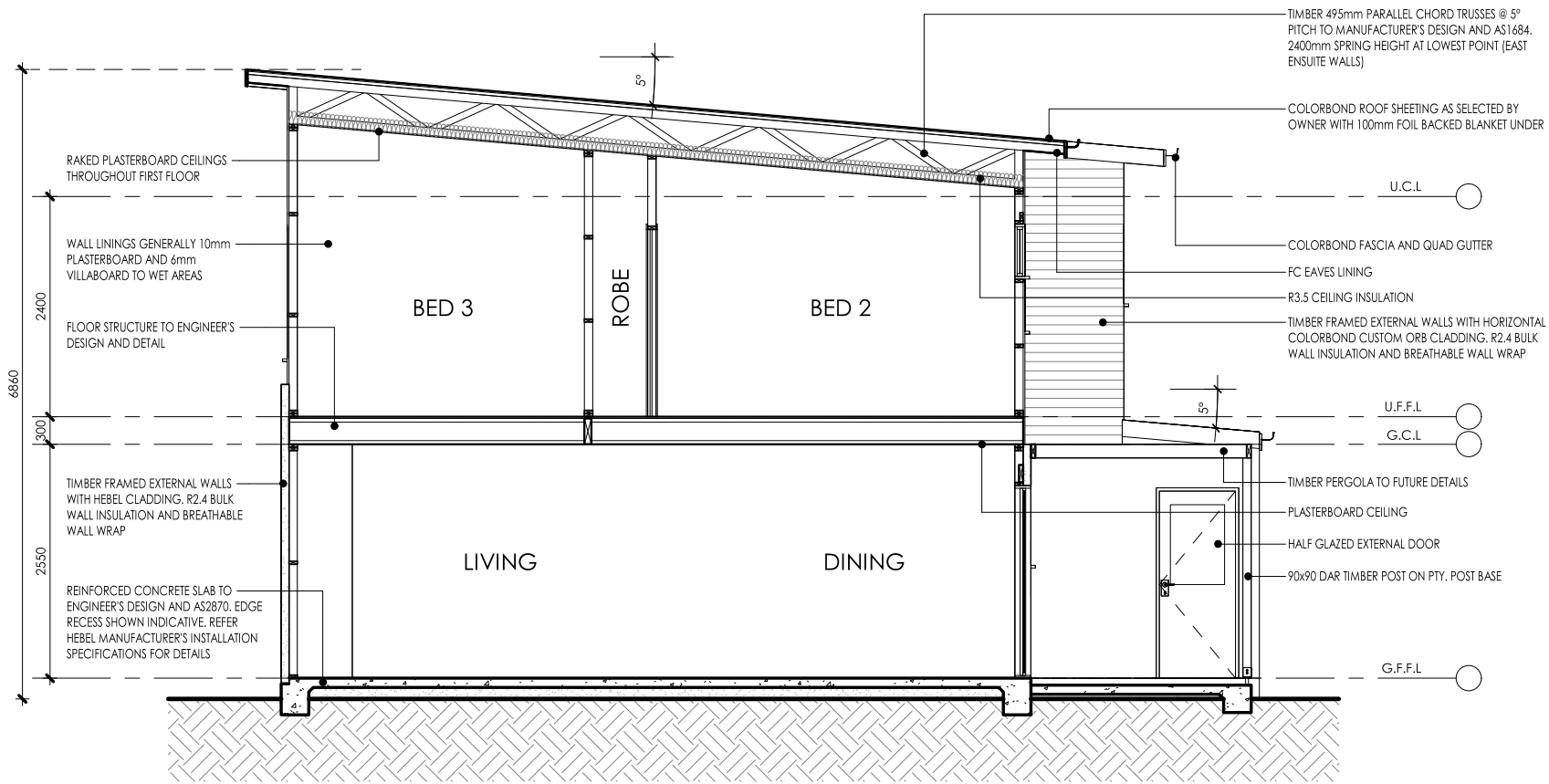
Issue	Description	Date
C	ROOF CHANGE	21.08.24
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

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Title UNIT 2&3 - ELEVATIONS	
Scale at A3 1 : 100	
Date JUNE 2020	Drawn RG/CD
Drawing No. 4855TO-09	Issue C



SECTION 2
SCALE 1 : 50

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Issue	Description	Date
C	ROOF CHANGE	21.08.24
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

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Project 68 Mortimer Street Mudgee NSW 2850	
Title UNIT 2&3 - SECTION	
Scale at A3 1 : 50	
Date JUNE 2020	Drawn RG/CD
Drawing No. 485STO-10	Issue C



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Issue	Description	Date
C	ROOF CHANGE	21.08.24
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

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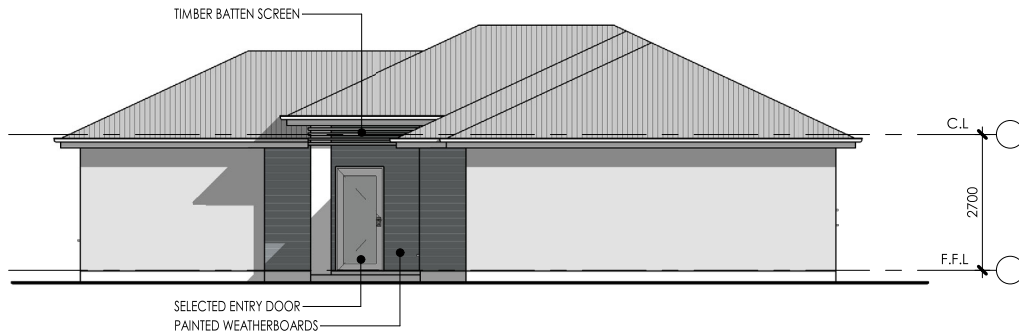
Project
68 Mortimer Street
Mudgee NSW 2850

Title
UNIT 2&3 - PERSPECTIVES

Scale at A3
NA

Date JUNE 2020 **Drawn** RG/CD

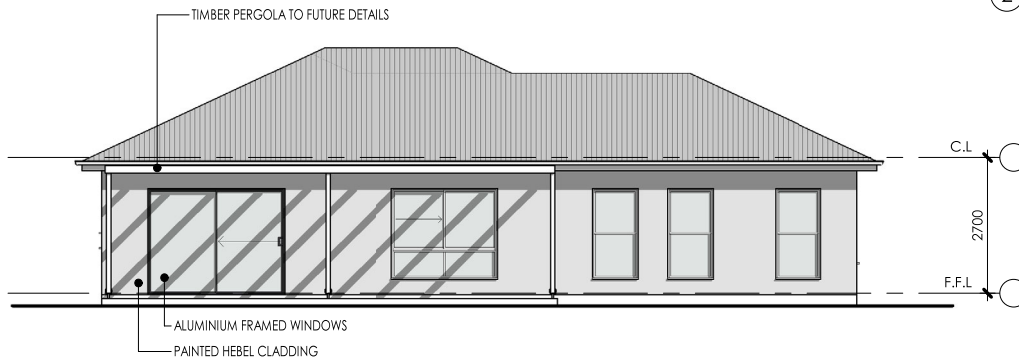
Drawing No. 485STO-11 **Issue** C



1 **SOUTH ELEVATION**
SCALE 1 : 100



2 **WEST ELEVATION**
SCALE 1 : 100



3 **NORTH ELEVATION**
SCALE 1 : 100



4 **EAST ELEVATION**
SCALE 1 : 100

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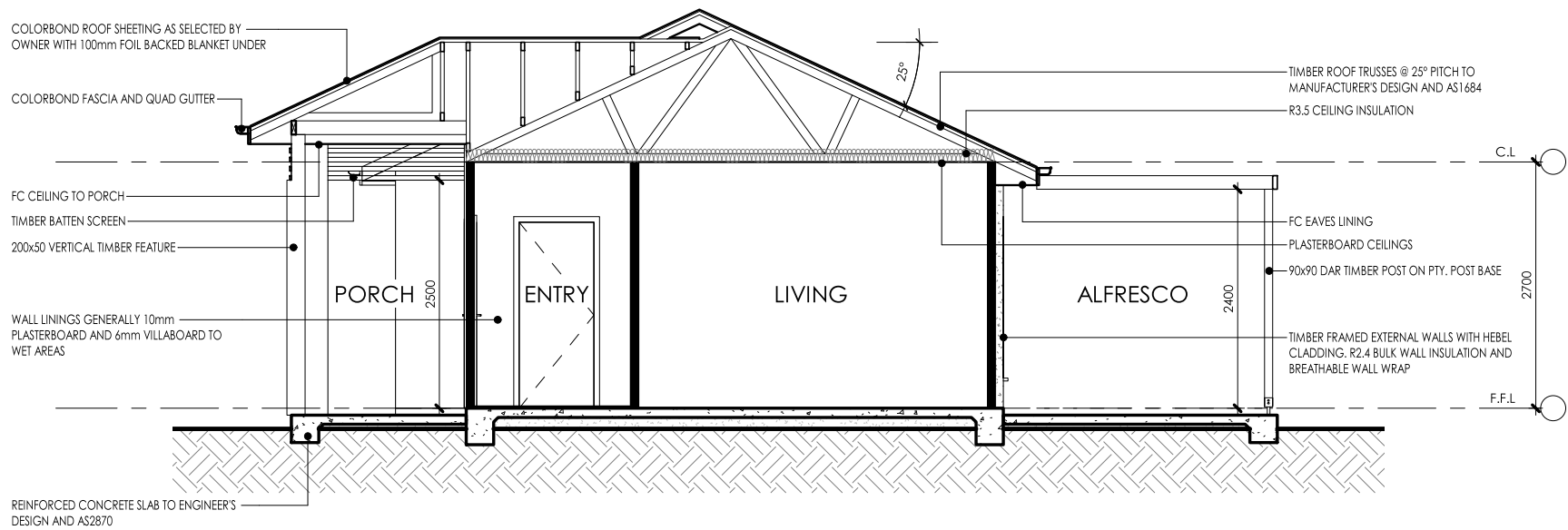
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20
Issue	Description	Date

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Client	MFB Property Ltd	
Project	68 Mortimer Street Mudgee NSW 2850	
Title	UNIT 4 - ELEVATIONS	
Scale at A3	1 : 100	
Date	JUNE 2020	Drawn RG/CD
Drawing No.	485STO-13	Issue B



3 SECTION 3
SCALE 1 : 50

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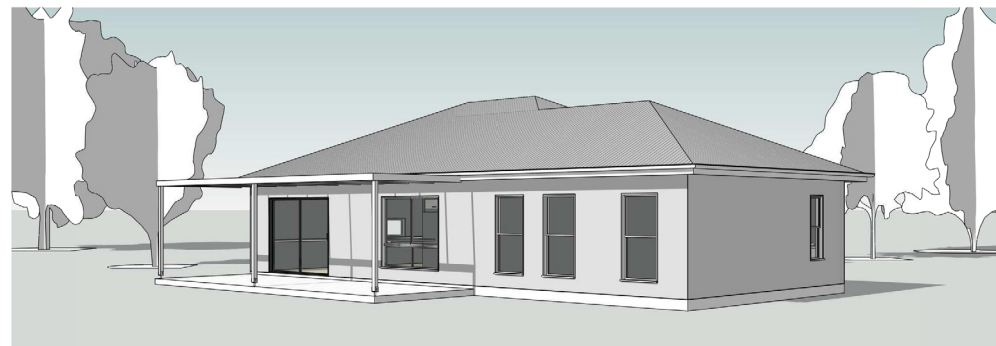
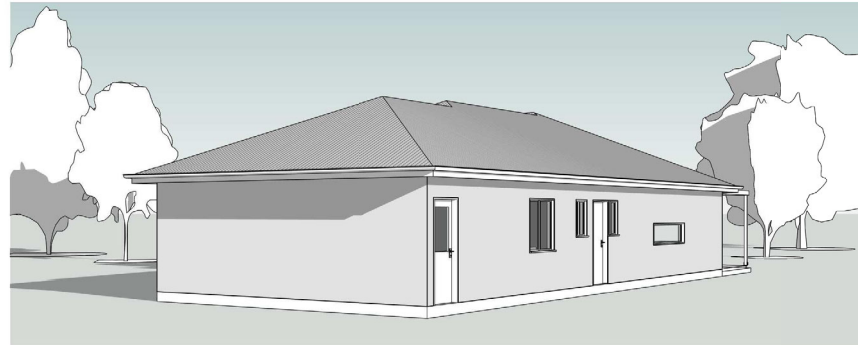
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20
Issue	Description	Date

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Project		68 Mortimer Street Mudgee NSW 2850
Title		UNIT 4 - SECTIONS
Scale at A3		1 : 50
Date	JUNE 2020	Drawn RG/CD
Drawing No.	485STO-14	Issue B



Notes

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B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20
Issue	Description	Date

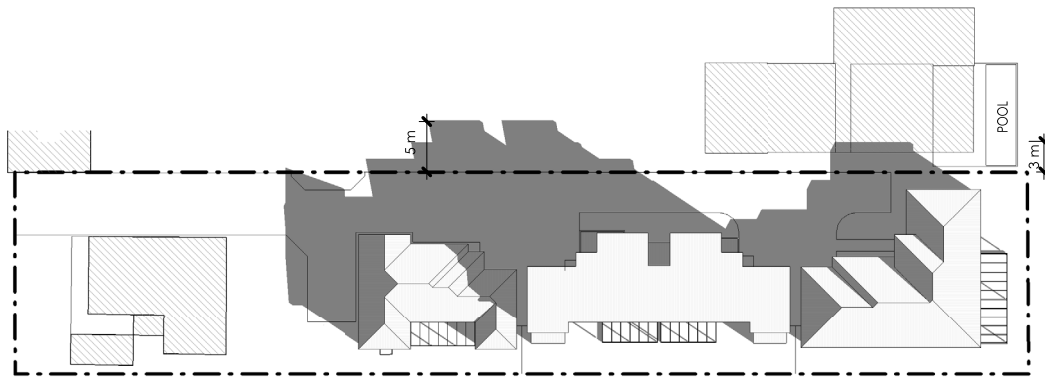
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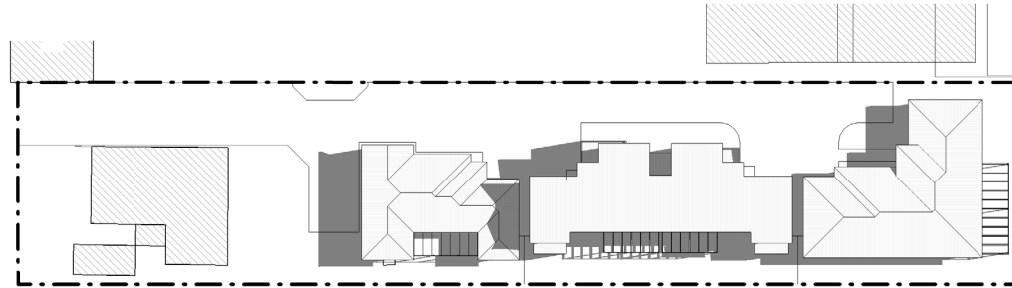
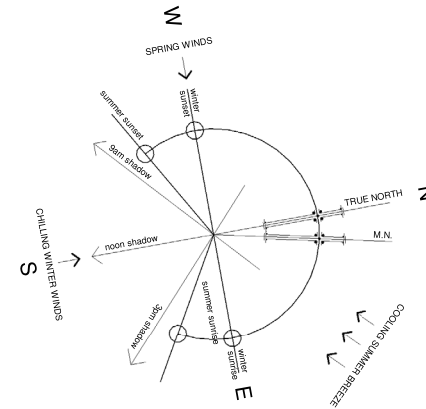
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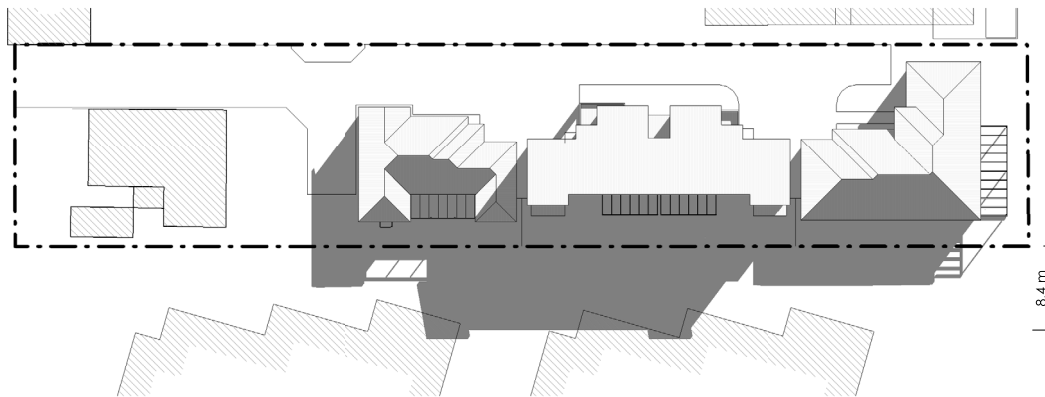
Client	
MFB Property Ltd	
Project	
68 Mortimer Street Mudgee NSW 2850	
Title	
UNIT 4 - PERSPECTIVES	
Scale at A3	
NA	
Date	Drawn
JUNE 2020	RG/CD
Drawing No.	Issue
4855TO-15	B



① **9am SHADOW DIAGRAM**
SCALE 1 : 500 22 JUNE



② **12pm SHADOW DIAGRAM**
SCALE 1 : 500 22 JUNE



③ **3pm SHADOW DIAGRAM**
SCALE 1 : 500 22 JUNE

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Issue	Description	Date
D	UNIT 2&3 ROOF CHANGE	21.08.24
C	UNIT 1 POS ISSUE	21.09.20
B	DA ISSUE	06.08.20
A	PRELIMINARY	09.06.20

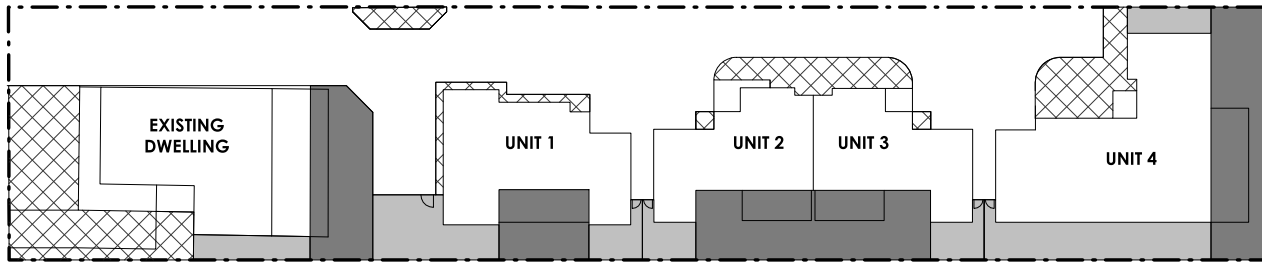
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Client MFB Property Ltd	
Project 68 Mortimer Street Mudgee NSW 2850	
Title SHADOW DIAGRAMS	
Scale at A3 1 : 500	
Date JUNE 2020	Drawn RG/CD
Drawing No. 485STO-16	Issue D

-  PRIMARY PRIVATE OPEN SPACE
-  SECONDARY PRIVATE OPEN SPACE
-  COMMUNAL/STREETSCAPE LANDSCAPED AREA

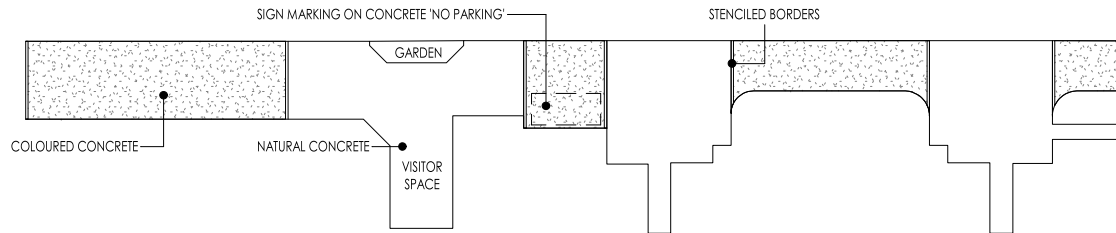


AREA	GROUND FLOOR AREA (INCLUDING PORCH)	1st FLOOR AREA	PRIMARY POS	SECONDARY POS	No. of BEDS	COMMUNAL LANDSCAPED AREA
EXISTING	215.2		49.7	17.9	3	
UNIT 1	120.9		40.0	55.2	2	
UNIT 2	98.0	80.2	51.8	14.4	3	
UNIT 3	94.8	80.2	51.8	14.4	3	
UNIT 4	185.4		112.8	69.7	3	
TOTAL	714.3	160.4	306.1	173.1		218.9

SITE COVERAGE = $714.3 / 2027 = 36\%$

LANDSCAPING = $627.2 / 2027 = 31\%$
 (POS + 2nd POS + LANDSCAPED AREAS - ALFRESCOS)

1 AREA CALCULATIONS
SCALE 1 : 400



2 DRIVEWAY FINISH DIAGRAM
SCALE 1 : 400

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B	DA ISSUE	06.08.20
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Client MFB Property Ltd	
Project 68 Mortimer Street Mudgee NSW 2850	
Title AREA CALCULATIONS	
Scale at A3 1 : 400	
Date JUNE 2020	Drawn RG/CD
Drawing No. 485STO-17	Issue C