

Proposed alterations and renovations

Change Of Use

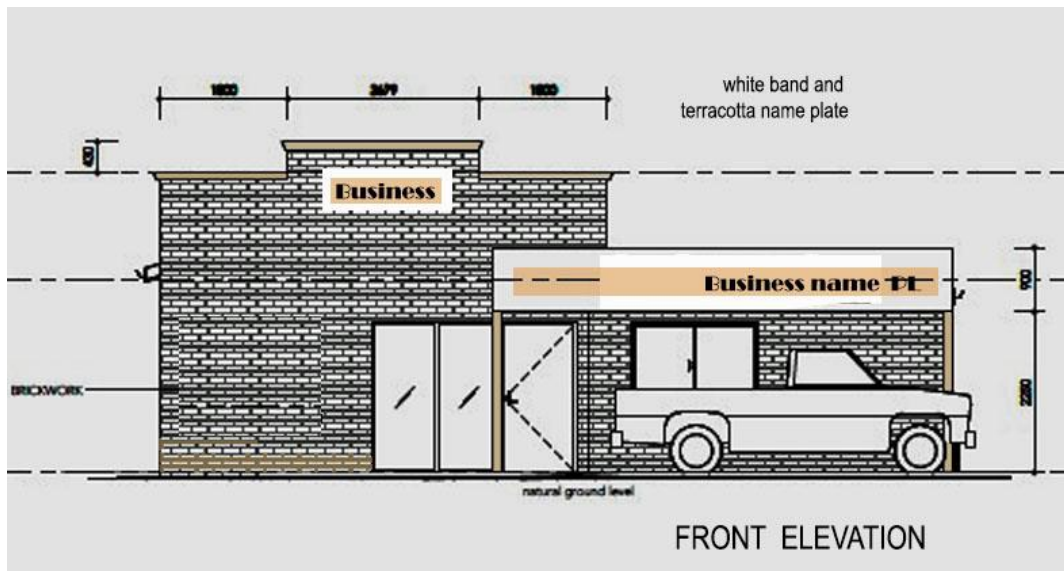
140 Mayne Street Gulgong

Statement of Heritage Impact



Figure 1 Front Elevation 19 November 2024

Figure 2 Proposed front elevation below. BH 19 December 2024



CLIENT: Brodie McGann

DATE: 19 December 2024

FINAL ISSUE

SUMMARY

- **THE PROPOSAL** is for alterations and repairs to a former commercial building located in the Gulgong Heritage Conservation area. The building is to be slightly extended towards the passing street, Mayne Street.
- **THE ADDRESS:** 140 Mayne Street Gulgong 2852
- **STATEMENT OF HERITAGE SIGNIFICANCE**
This is an unlisted building with no existing Statement of Significance. However, the commercial building was probably built circa late 1940-50 when, after the war, commercial activity was improving.
- **PREPARED BY:** Barbara Hickson architect and Heritage Adviser.
Bach. of Architecture (1st class hon.) Sydney University 1973
Architects Board Registration exam. 1974
Masters of Materials Conservation with Honours: (UWS) 1999
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All recent photos by Barbara Hickson unless otherwise noted.
- **PREPARED FOR:** BUILDER Brodie McGann
- **DATE:** 12 December 2024
- **THE VISUAL** appearance has taken some of the characteristics of commercial buildings common in the vicinity and of a similar age with stepped parapet front wall, and a flat roof extension to the south of that. The design was assisted by local heritage adviser Barbara Hickson to provide suitable infill to the streetscape and to contribute positively to the continuity of the conservation area streetscape.
- **LOCATION PLAN**

Figure 3 Site plan. Site highlighted.



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Figure 4 Typical Mayne Street parapets in Gulgong.

This statement of heritage impact is required because the development application applies to a building located within the Gulgong Heritage Conservation Area.

This 'Impact' report covers any effect that may alter the historic significance of the Gulgong Heritage Conservation Area or affect any heritage listed building in the vicinity. It can be a visual or physical effect. It can be a small effect or large. Having an 'impact' on a heritage place does not mean that such a proposal cannot proceed. The description of the impact will enable council staff to determine whether to approve such a development, and if the impact is acceptable.

This **Statement of Heritage Impact** (SOHI) is based on the revised Guidelines for preparing a Statement of Heritage Impact (SoHI) as updated by the NSW Dept of Planning and Environment on 19 June 2023.

Location and Listings

The residence at 159 Mayne Street is not a heritage listed item. It is located within the Gulgong Heritage Conservation Area. The closest heritage items in the vicinity are:

- Centennial Hotel on the north side corner of Medley and Mayne Streets
- Ten Dollar Town Motel on the south side corner of Medley and Mayne Streets

Review existing information.

The commercial building at 140 Mayne Street is not a listed heritage item and there is no information previously collated within heritage records. The present item was neutral to the streetscape because of its deep setback and medium scale. A step out is proposed to add interest and more positive connection to the streetscape.

Brief History

The first owner of the land was A Rodgers. He was in residence in Gulgong with his wife in the 1870s, where they had a son in 1872. He may have had a dwelling on the land but nothing further is known of him.

The site was taken up by Max Cross in the early 1900s.



Figure 5 Parish map showing original owners

Mr. Max Cross was a motor mechanic and later an aircraft mechanic. He was on this site from around the mid-1930s. His home was next door at 142 where he had a large rabbit fridge. He would take in rabbits caught by others to supply the local population. Max's father AJ Cross had the nickname of 'bunny' so presumably he had the original rabbit business. In 1915 about 30 rabbit trappers in Gulgong approached the government for a freezing wok as there were such quantities available.

Max also served as a mechanic in the Air force in WWII and was known as a leading Aircraftsman. His son Barry went into business with him and later opened his own garage and workshop in Medley Street near Fisher Street. Barry married Enid Baskerville in 1954.

Physical description and evidence

The existing building is a simple timber framed structure with gable ends and side skillion. It was clad in fibro.

Statement of significance

Apart from the association with Mr. Max Cross the building has no significance. It was neutral in the streetscape and unused for many of the past years.

Items in the vicinity

Two commercial buildings in the vicinity are heritage listed items. They are the Ten Dollar Town Motel and the Centennial Hotel. Their statements of significance are as follows:

Ten Dollar Town Motel Item I 308. 130 Mayne Street Gulgong.

Statement of Significance

A fine brick single storey hotel building constructed in 1902-4 for Joshua J Davis, with the main elevation addressing Mayne and Medley Streets. Designed by architect Harold Hardwick and constructed in local red bricks the building was later to become famous as the Ten Dollar Motel with its appearance on the \$10 note when currency became decimal in the 1960s.

The building addresses the corner of Medley and Mayne with a fine tall embellished pediment that includes the initials of the owner, JJD and date 1904, in relief. This dominates the corner. A low parapet continues along the elevation which has a full width bull nosed iron verandah supported on timber posts. Posts are decorated with stopped chamfers and incised grooves. The main corner doors are panelled and glazed with pseudo ashlar block columns each side. Other doors are similarly panelled below with glazing above and fanlight over. Windows are usually in pairs, slender double hung timber windows with ornate sills.

Centennial Hotel Item I 295 145 Mayne Street Gulgong

Statement of Significance

The Centennial hotel building is a significant landmark building on a prominent street corner in the conservation area of Gulgong and is believed to date the c. 1890s. Formerly Rossiter's Gulgong Hotel it became the Centennial Hotel by 1898 under Mr John Naughton. Other operators and licensees included Jacob Parkins, J McManus, Joe Langtry and EJA Gibbons in the 1950s. In 1954 was sold to Eric Taylor.

At some period, c. 1960s the verandah was removed and replaced with a metal framed awning. In c. 2015-16 the verandah was reinstated improving its streetscape appeal and recovering aesthetic significance.

The original section of the hotel is a single storied face brick building with elaborate rendered window surrounds and sills. Windows are generally timber framed and double hung. An extension to the hotel along Mayne Street appears to date from the 1930s and is Art Deco in appearance having sloping 'Egyptian style' window and door frames, and double hung timber windows. The external walls of the addition are rendered and painted, and the parapet is low and generally plain. The Centennial makes an outstanding visual main street contribution.

AFFECT ON THE SIGNIFICANCE OF ITEMS IN THE VICINITY.

The proposed new work will have no affect on the significance of either of the above heritage items in the vicinity. It will not affect views to or from the items. The effect on the Conservation Area and Streetscape will be an improved one as the previous building was derelict. The new proposal will assisting in giving the streetscape continuity with an appropriate scaled infill building.

SOHI Questions to be asked.

1. Is the location of the proposed works area clearly identified?	Yes. A location map and address are included.
2. Is the significance of the affected item well understood?	Yes.
3. Is there enough information available about the proposed works to determine how they may impact the Conservation Area or any heritage item in the vicinity?	Yes. The proposed works will promote the ongoing use and maintenance of the place. The work on the building, which is not a listed heritage item, will not affect the heritage items in its vicinity. As an infill it will be an improvement to the streetscape.
4. Do the proposed works affect the setting of the adjacent heritage items, including views and vistas to and from the heritage item and/or a cultural landscape in which it is sited?	Vistas to and from the heritage items in the vicinity will not be affected.
5. Do the proposed works include removal of unsympathetic alterations and additions	N/A

Works adjacent to a listed heritage item, within the Conservation Area

6. Will the proposed works affect the heritage significance of the adjacent heritage items or the heritage conservation area?	No
7. Will the proposed works affect views to, and from, the adjacent heritage items?	No
8. Will the proposed works impact on the integrity or the streetscape of the heritage conservation area?	No

Change of use

9. Does the former use contribute to the significance of the heritage item? Why is the change of use proposed	The former use is of historic interest. The building has been out of use for many years and a new use is needed.
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10. Will the change of use have an impact on the significance.	No
11. Will the change of use require changes to the fabric.	The walls must be replaced as the old lining was deteriorated 'fibro'.

Alterations and addition to the unlisted building

12. Are the proposed alterations/additions sympathetic to the heritage item?	Yes. The works proposed are to restore and extend the existing building with the additions to allow for a more contributory building in the heritage Streetscape.
13. New external finishes will replace the former.	The cladding was fibro sheet. The proposal is to replace this cladding a brick external lining typical of many small commercial buildings in Gulgong. Small detailed signage to enhance the façade. Additional windows added to increase visual interest.
14. Will re-cladding affect conservation of the heritage item	No. However the face brickwork and signage will be more appropriate. Face brick, mid tones, is a common material on Mayne Street.
15 Has specialist advice from a heritage consultant, architect been sought	Yes. A heritage adviser has been involved in all aspects of the work.

Summary

The building at 140 Mayne Street is not a listed heritage item. The owners are preparing to renovate the building to improve its contribution to the streetscape and enable the building to be suitable now and for many years into the future.

The commercial building is set back deeply on the block of land, making it quite neutral to the streetscape. The proposed work will have only a minimal effect on the streetscape but will enable the building to contribute to the streetscape and provide more continuity in the building form, which will be a much-improved view. The views to and from the neighbouring heritage listed items in Mayne Street, Gulgong, will not be affected.

The building will be extended slightly towards Mayne Street with new cladding externally. The intention being to return the building to an earlier style suitable aesthetic. Modern services will also be added. Signage will be suited to the façade and enhance the detail. See proposed elevation page 1.