



AHMEDI

**PROPOSED DETACHED
DUAL OCCUPANCY**

**LOT 920, 19 SHEARMAN STREET
CAERLEON, NSW, 2850**



01 | LOCALITY PLAN
SCALE: 1 : 1 (A3)

DRAWING SCHEDULE

0501-A 01	TITLE & LOCATION PLAN
0501-A 02	BASIX CERTIFICATE COMMITMENTS
0501-A 03	SITE, SUBDIVISION & LANDSCAPE PLAN
0501-A 04	FLOOR PLAN - DWELLING ONE
0501-A 05	FLOOR PLAN - DWELLING TWO
0501-A 06	ELEVATIONS - DWELLING ONE
0501-A 07	ELEVATIONS - DWELLING TWO
0501-A 08	TYPICAL SECTION & GENERAL NOTES
0501-A 09	ELECTRICAL & MECHANICAL PLAN - DWELLING ONE
0501-A 10	ELECTRICAL & MECHANICAL PLAN - DWELLING TWO

RE-ISSUED FOR DA APPROVAL

Rev	Date	Description
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- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS



LYNCH BUILDING GROUP
Client: **AHMEDI**
Project: **PROPOSED DUAL OCCUPANCY
AT 19 SHEARMAN STREET,
CAERLEON (LOT 920)**



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Drawing Title: **TITLE & LOCATION PLAN**

Design	LBG	Sheet 01 of 10	Revision
Drawn	G.HACKETT	Drawing Number	
Check	J.LYNCH	0501 - A01	G

DWELLING ONE BASIX CERTIFICATE COMMITMENTS:

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.94 (OR 3.50 INCLUDING CONSTRUCTION)	MEDIUM (SOLAR ABSORBANCE 0.48-0.7)
EXTERNAL WALL: FRAMED / CLADDED	3.00 (OR 3.50 INCLUDING CONSTRUCTION)	MEDIUM (SOLAR ABSORBANCE 0.48-0.7)
INTERNAL WALL: SHARED WITH GARAGE	1.08 (OR 1.50 INCLUDING CONSTRUCTION)	
CEILING & ROOF - FLAT	CEILING - 5.5 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL BACKED BLANKET	LIGHT (SOLAR ABSORBANCE <0.38)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:	THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS
COOLING SYSTEM:	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
HEATING SYSTEM:	THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE) THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (COLD ZONE)
VENTILATION:	IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF LAUNDRY: NATURAL VENTILATION ONLY
ARTIFICIAL LIGHTING:	THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING DIODE (LED) LAMPS.
NATURAL LIGHTING:	THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING; - AT LEAST 2 BATHROOMS/TOILETS - THE KITCHEN
OTHER:	THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN

GLAZING REQUIREMENTS

THE APPLICANT MUST INSTALL ALL PROPOSED WINDOWS, GLAZED DOORS & SHADING DEVICES AS LISTED BELOW.

WINDOW/DOOR	ORIENTATION	SIZE	OVER-SHAD	SHADING	TYPE
LIVING	NORTH	1.8m x 1.8m	-	E: 600mm A/H: 0mm	ALUMINIUM, DOUBLE GLAZED (U-VALUE: <=2.5, SHGC: 0.60)
DINING	NORTH	2.0m x 2.7m	-	E: 3300mm A/H: 150mm	ALUMINIUM, DOUBLE GLAZED (U-VALUE: <=2.5, SHGC: 0.60)
DINING	EAST	1.8m x 1.8m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
KITCHEN	EAST	1.1m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
BED 2	EAST	1.8m x 1.8m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
ENSUITE	SOUTH	0.6m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
BED 1	SOUTH	1.8m x 1.8m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
BED 3	WEST	2.1m x 0.8m	-	E: 750mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
BATH	WEST	0.7m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)

WATER COMMITMENTS

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FIXTURES:	THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (>4.5<=6L/min). THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR. THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN. THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.
ALTERNATIVE WATER SOURCE:	THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 222m ² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO: - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER; - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

DWELLING TWO BASIX CERTIFICATE COMMITMENTS:

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DINING	EAST	2.0m x 2.4m	-	E: 3150mm A/H: 150mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
KITCHEN	EAST	1.1m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
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BED 1	EAST	1.8m x 2.1m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
BATHROOM	SOUTH	1.2m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
BED 2	SOUTH	1.5m x 1.5m	-	E: 600mm A/H: 0mm	ALUMINIUM, SINGLE GLAZED (U-VALUE: <=6.0, SHGC: 0.74)
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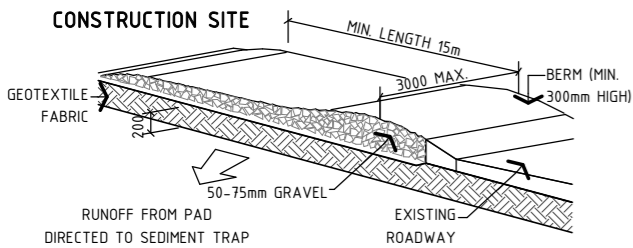


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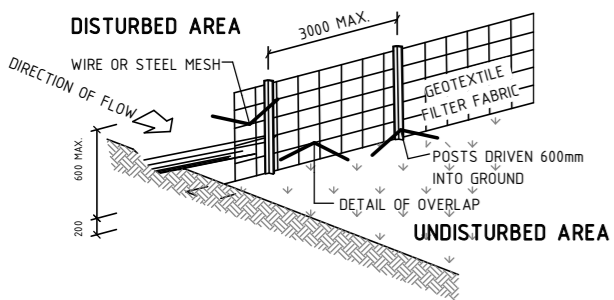


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Sheet 02 of 10
Drawing Number: 0501 - A02
Revision: G



DETAIL PLAN: CONSTRUCTION ENTRY / EXIT
NOT TO SCALE



DETAIL PLAN: SEDIMENT FENCE
NOT TO SCALE

EROSION & SEDIMENT CONTROL NOTES

- ALL EROSION & SEDIMENT CONTROL STRUCTURES ARE TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
- ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY THE BUILDER AT LEAST WEEKLY. IF STRUCTURES ARE TO BE REMOVED, THEY ARE TO BE REINSTALLED & INSPECTED BY THE BUILDER.
- ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY & SPREAD ON DISTURBED AREA.
- ACCESS TO SITE IS TO BE THROUGH USE OF THE ENTRY/EXIT SHOWN
- ALL VEGETATION OUTSIDE OF THE CONSTRUCTION AREA IS TO BE RETAINED WHERE POSSIBLE (VEGETATION BUFFER)
- STOCKPILES OF ERODIBLE BUILDING MATERIALS INCLUDING SAND & SOIL MUST BE LOCATED WITHIN THE DESIGNATED MATERIAL STOCKPILE AREA (MSA) & PROTECTED WITH SEDIMENT FENCE OR STRAW BALE SEDIMENT FILTERS. THE BUILDER MAY NOMINATE FURTHER STORAGE AREAS WITHIN THE SITE.
- NO STORAGE OF MATERIALS OR VEHICLE MOVEMENTS ARE TO OCCUR OUTSIDE THE SITE BOUNDARIES.

SITWORK NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK
- THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.

02 | SITE, SUBDIVISION & LANDSCAPE PLAN

SCALE: 1 : 200 (A3)

LEGEND:

- TEMPORARY SITE MATERIAL DISPOSAL AREA DURING CONSTRUCTION. TO BE PROTECTED BY A SEDIMENT FENCE OR STRAW BALE FILTER.
- SITE ACCESS DURING CONSTRUCTION

SITE COVERAGE

LOT 920 DP1274170 19 SHEARMAN STREET, CAERLEON	902.3 m ²
SITE COVERAGE	
TOTAL GFA INCLUDING PORCH & ALFRESCO AREAS	318 m ²
	35.24%
LANDSCAPING	
LANDSCAPING - INCLUDING GRAVEL AREAS	584.3 m ²
LESS TOTAL DRIVEWAY & PATHWAYS	57.95 m ²
	526.35 m ²
	58.33 %
PRIVATE OPEN SPACE (P.O.S)	
DWELLING ONE	91.73 m ²
DWELLING TWO	112.89 m ²
	204.62 m ²
	22.67 %

SUBDIVISION NOTES

LOT 920, 19 SHEARMAN STREET, CAERLEON DP1274170 - ZONING R1 GENERAL RESIDENTIAL	
TOTAL LOT 920 AREA	902.3 m ²
PROPOSED LOT 1 (DWELLING ONE)	477 m ²
PROPOSED LOT 2 (DWELLING TWO)	425.3 m ²

- CONFIRM ALL DIMENSIONS BACK TO SPECIFIC SURVEY PLANS PRIOR TO COMMENCEMENT OF ANY WORKS
- PROPOSED DIVIDING SUBDIVISION BOUNDARY IS APPROXIMATE ONLY AND TO BE CONFIRMED AS ABOVE
- PROPOSED LOT AREAS ARE APPROXIMATE ONLY & SHOULD BE READ IN CONJUNCTION WITH SPECIFIC SURVEY PLANS

LANDSCAPING DETAILS

- SMALL SHRUBS TO 1.0m HIGH**
- SURFER BOY (PHORIUM)
 - BRONZE BABY (PHORIUM)
 - GOLF BABY (PITTOSPORUM)

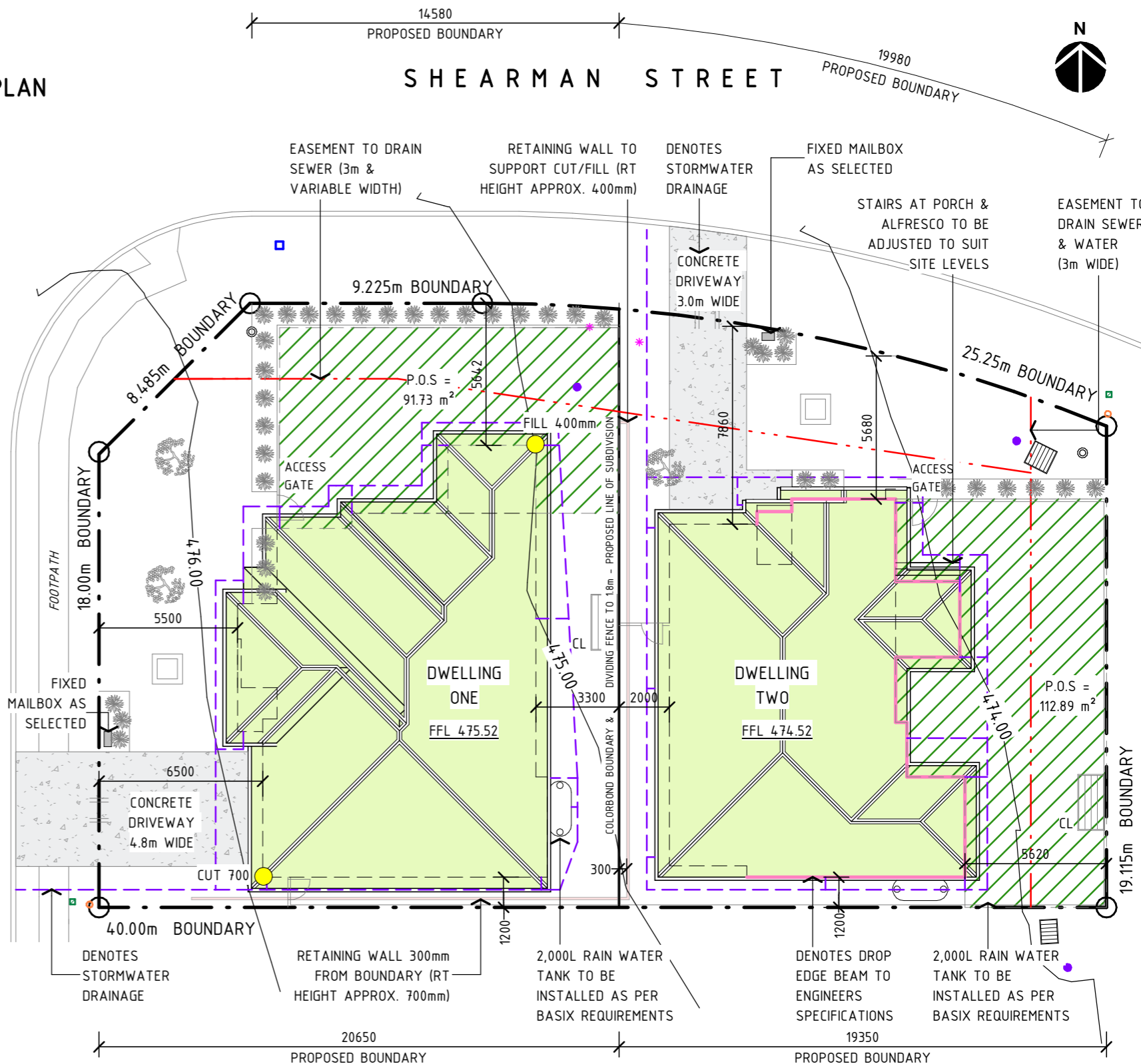
SMALL ORNAMENTAL TREES TO 3.0m HIGH

- MANCHURIAN PEAR (PYRUS USSURIENSIS)
- CONSULT LOCAL NURSERY FOR AVAILABILITY AND SUSTAINABILITY OF SPECIES LISTED & SUBSTITUTE SIMILAR PLANTING IF REQUIRED.
MULCH BEDS WITH WOODCHIP OR PEBBLES & FILL OUT OR LINE BEDS WITH GROUND COVERS OR SIMILAR SMALL PLANTS.
EDGE BEDS WITH INSITU FORMED CONCRETE ROLLED EDGE, SLEEPERS, MASONRY BLOCK EDGING OR SIMILAR AS SELECTED.

KIKUYU TURF TO ALL AREAS, UNLESS GRAVEL IS STATED AND DISPLAYED OTHERWISE.

AT BUILDERS DISCRETION SUBSTITUTE SHRUBS AND TREES MAY BE USED TO REPLACE THIS ABOVE MENTIONED SPECIES AND ALSO THE LOCATION OF GARDEN BEDS, SHOULD THE SITE LEAD TO AN ALTERNATIVE / MORE SUITABLE OPTION.

DAVIS STREET



LEGEND

- WATER METER
- WATER HYDRANT
- DRAIN GRATE
- ELECTRICAL PILLAR
- SEWER BOUNDARY RISER
- TELECOMMUNICATIONS PIT
- SEWER MAN HOLE
- PROPOSED DRAINAGE LINES - STORMWATER

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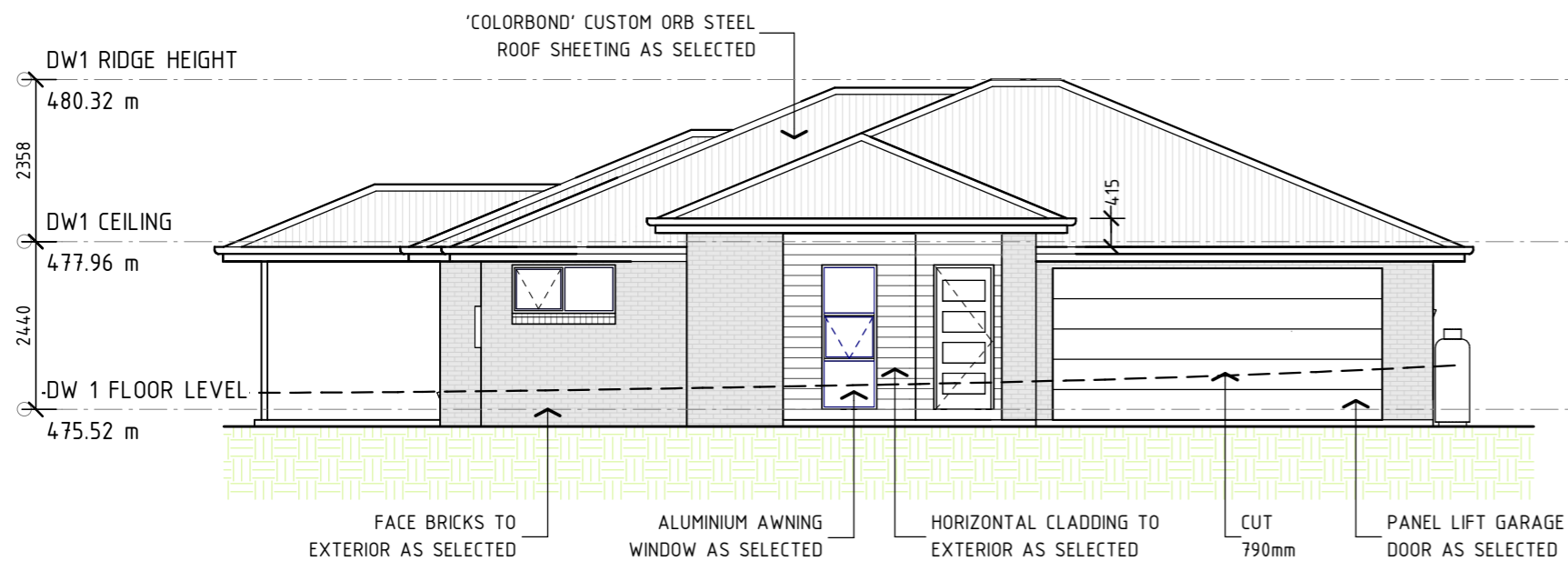
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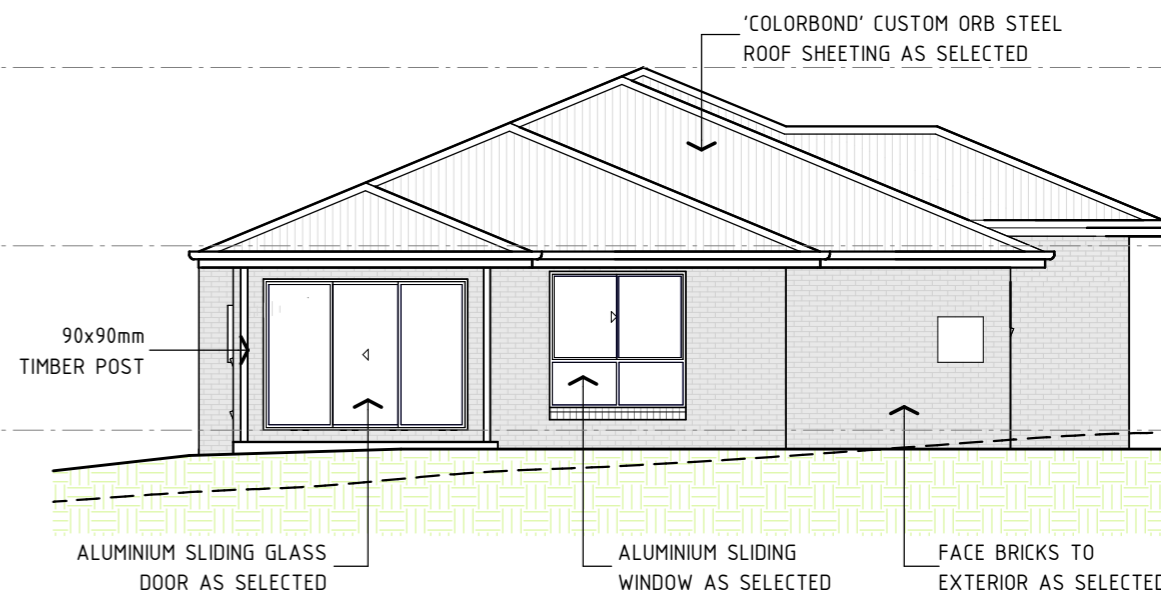
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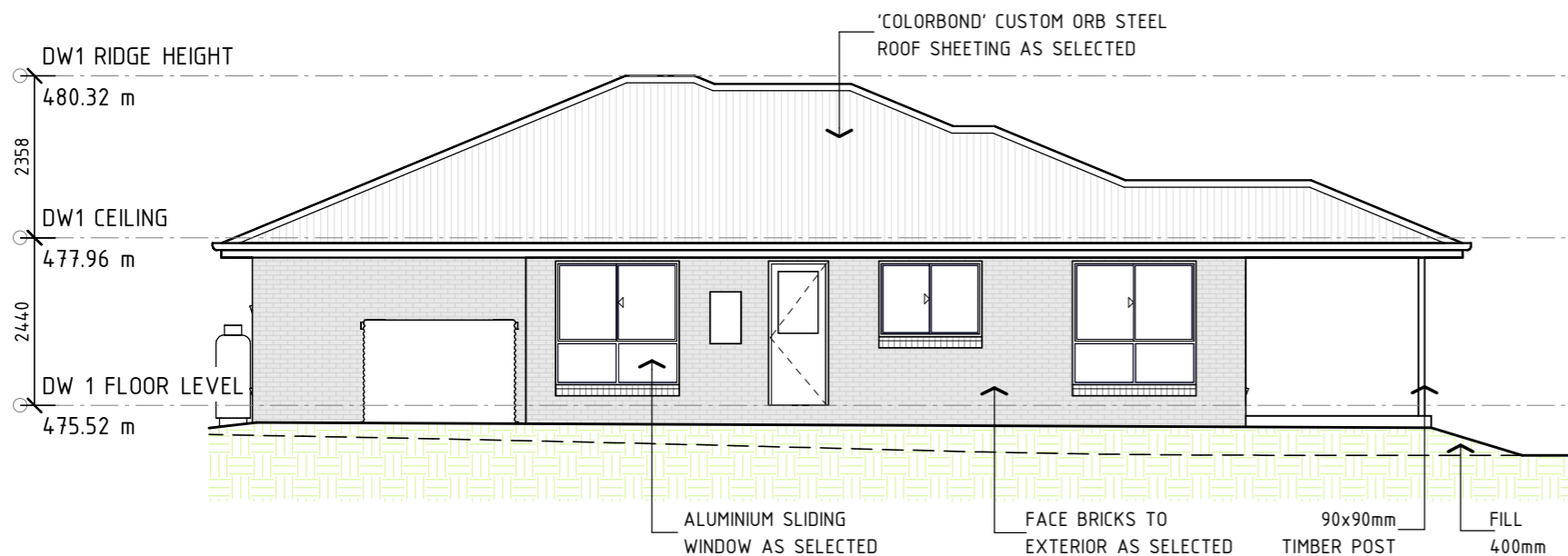
DWELLING ONE



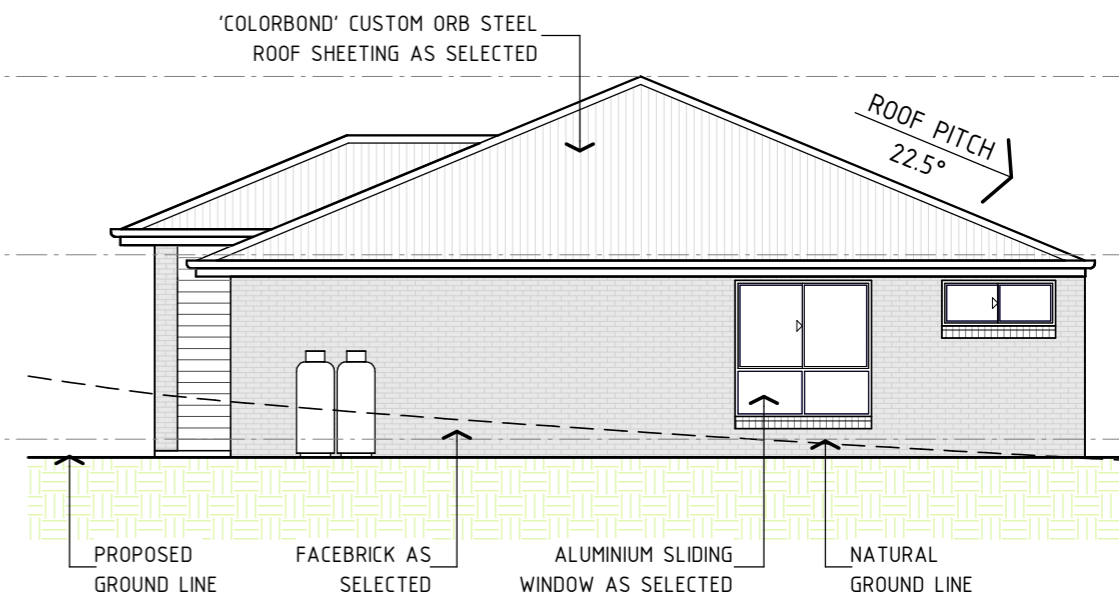
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SCALE: 1 : 100 (A3)



06 | ELEVATION: NORTH FACADE
SCALE: 1 : 100 (A3)



07 | ELEVATION: EAST FACADE
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08 | ELEVATION: SOUTH FACADE
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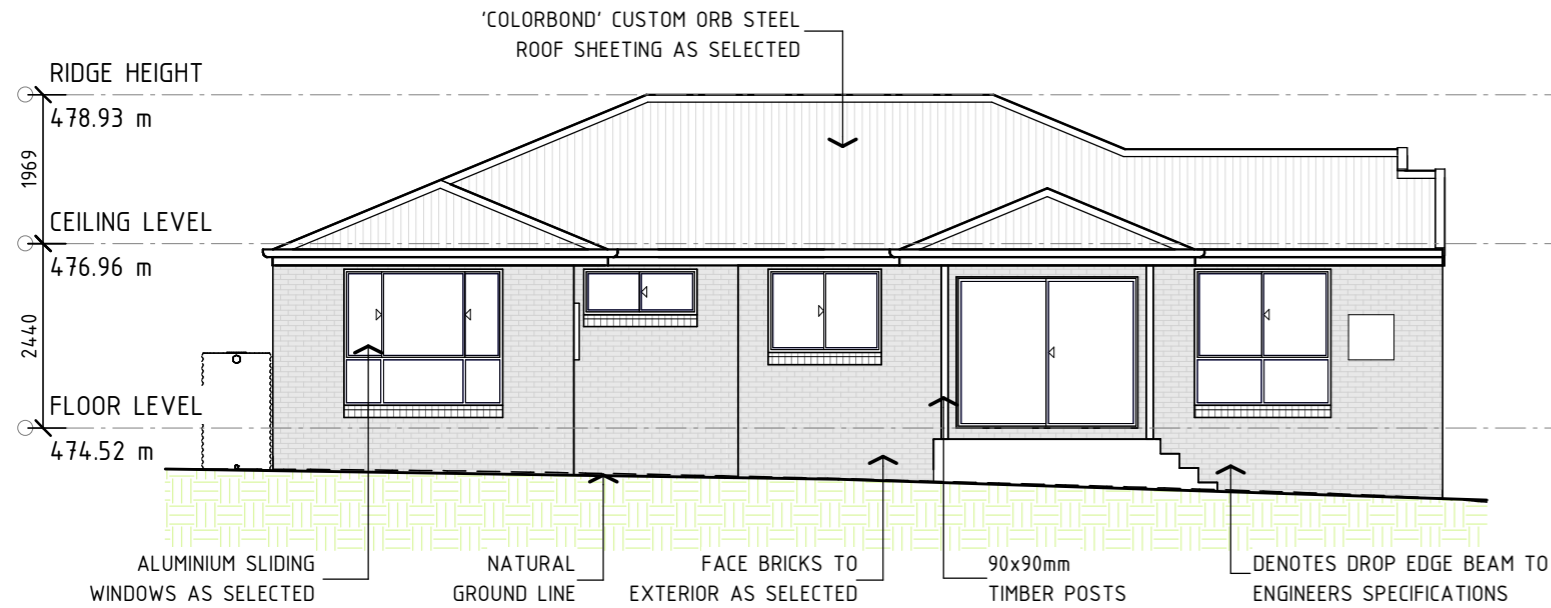


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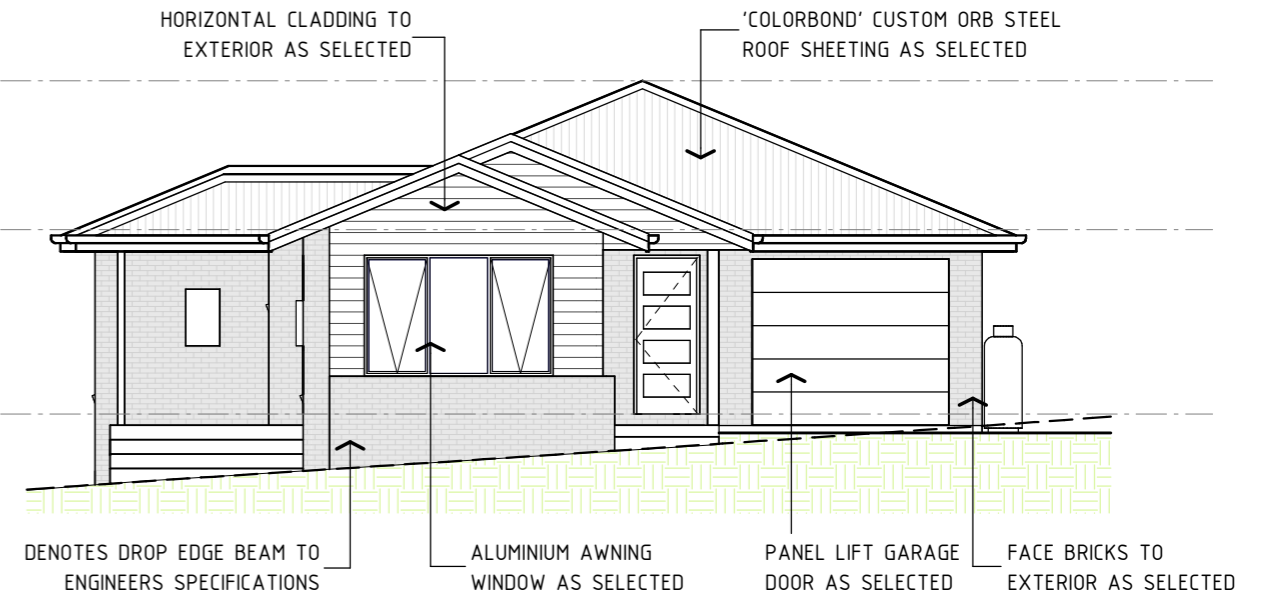
Drawing Title: ELEVATIONS - DWELLING ONE

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Sheet 06 of 10
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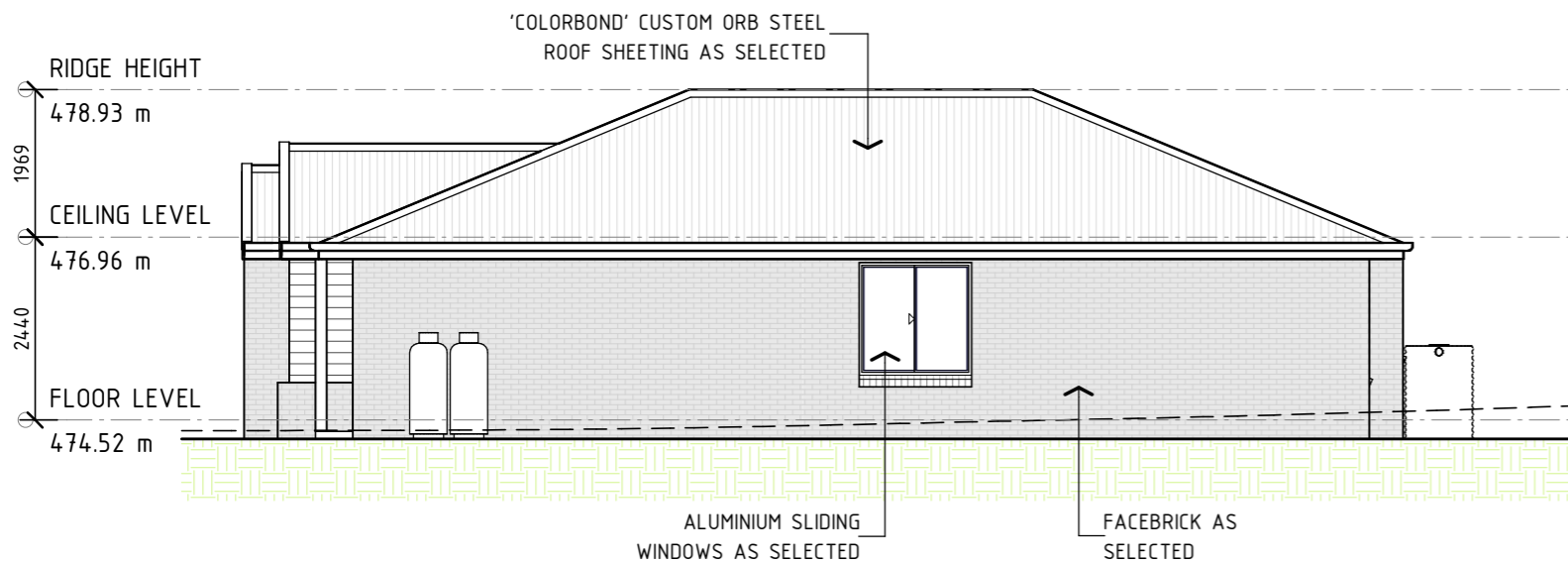
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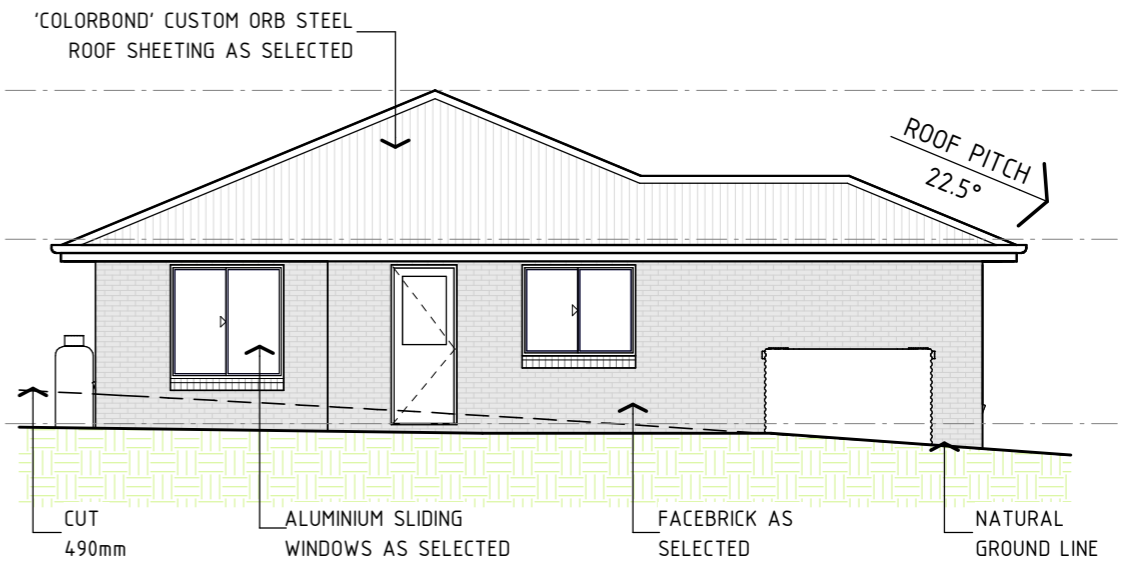
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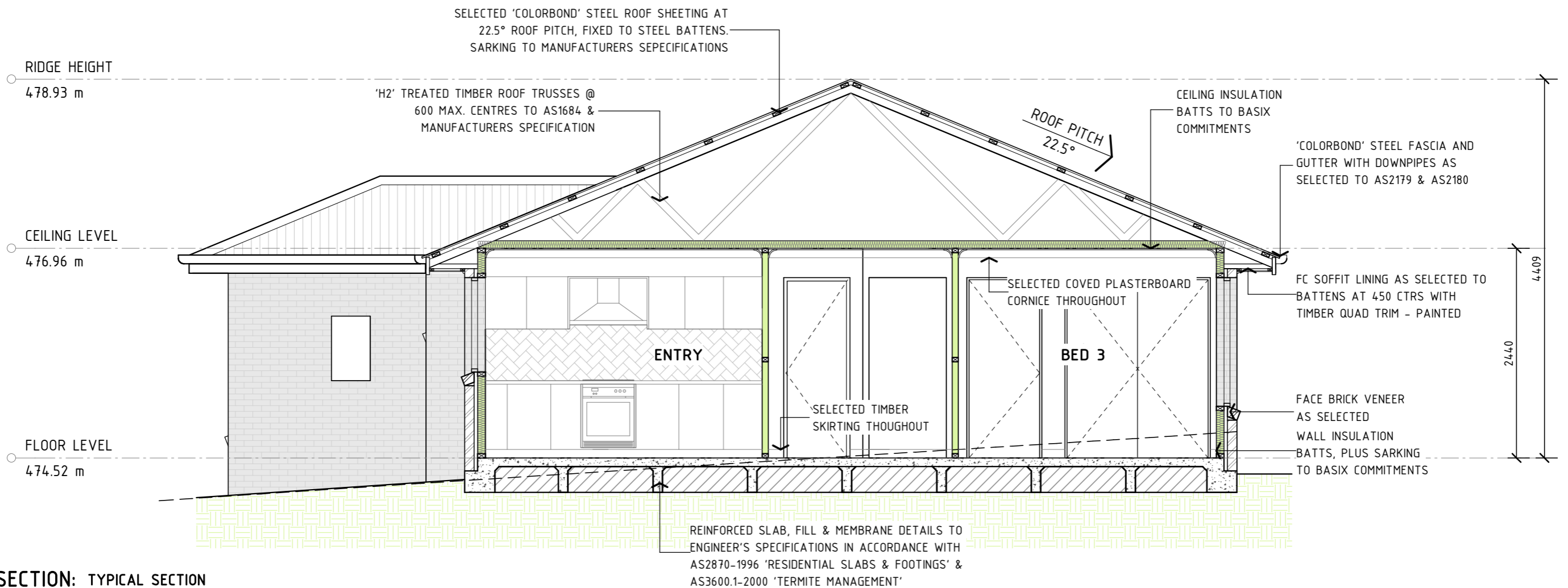
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Client: AHMEDI
Project: PROPOSED DUAL OCCUPANCY AT 19 SHEARMAN STREET, CAERLEON (LOT 920)



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Drawing Title: ELEVATIONS - DWELLING TWO

Design: LBG
Drawn: G.HACKETT
Check: J.LYNCH
Sheet 07 of 10
Drawing Number: 0501 - A07
Revision: G



13 SECTION: TYPICAL SECTION

SCALE: 1 : 50 (A3)

GENERAL NOTES:

- PLANS DOCUMENTED FOR THE EXCLUSIVE USE OF THE NOTES CLIENTS BELOW ONLY & SUBJECT TO COPYRIGHT LAWS.
- ALL DIMENSIONS & INFORMATION WITHIN THESE SET OF PLANS ARE DOCUMENTED DUE TO CARE.
- ALL DRAWINGS WITHIN THIS SET OF PLANS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DESIGNS & SPECIFICATIONS & WITH OTHER WRITTEN INSTRUCTIONS ISSUED DURING ESTIMATIONS & CONSTRUCTION WITH SELECTED BUILDER.
- ALL DISCREPANCIES SHALL BE REFERRED TO, IN WRITING TO LYNCH BUILDING GROUP FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. DIMENSIONS ARE TO STRUCTURAL ELEMENTS OF THE DRAWING & NOT TO FINISHED SURFACES IE. TILING, PLASTERBOARD ETC.
- ALL RELEVANT DIMENSIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION & FABRICATION WITH REGARDS TO ONSITE & OFF SITE REQUIREMENTS & WORK
- TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH AS3660.
- THE RELEVANT SERVICE AUTHORITIES SHALL BE CONSULTED IN REGARDS TO CONFIRMING / CHECKING ALL DIMENSIONS, LEVELS, SERVICES & SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED & APPROVAL SORT FROM / OBTAINED PRIOR TO CONSTRUCTION, IF & WHEN NECESSARY.
- STUD WALL & TRUSSED ROOF DESIGN, BRACING & TIE DOWN TO SELECTED FRAME & TRUSS MANUFACTURERS ENGINEERED SPECIFICATIONS TO AS1684 WHERE APPLICABLE.
- SHALL NO WIND CLASSIFICATION BE NOTED, CLIENT TO BE ADVISED BY PCA OR ENGINEERING CONSULTANT.
- SITE CLASSIFICATION TO BE DETERMINED BY QUALIFIED GEOTECHNICAL ENGINEER & ALL REINFORCED CONCRETE FOOTINGS & SLABS TO BE CONSTRUCTED TO AS2870.
- ALL STORMWATER FROM ROOF TO BE DISPURSED TO REQUIRED DOWNPIPES & TO STREET/RAIN WATER TANK TO AUSTRALIAN STANDARDS & PCA REQUIREMENTS.
- A MINIMUM WATER ALLOWANCE SHALL BE PROVIDED FOR RURAL PROPERTIES FOR FIRE FIGHTING PURPOSES AS SPECIFIED BY PCA.

- WHERE A SITE REQUIRES CUT & FILL TO OCCUR OR RETAINING WALLS CONSTRUCTED, ENGINEERS SHALL BE CONSULTED WHERE NECESSARY & BUILDING CONTRACTOR TO ENSURE ALL FINAL LEVELS, GROUND LINES & GRADIENTS DIVERT ALL SURFACE STORM WATER FROM THE PROPOSED RESIDENCE EITHER BY MEANS OF PIPES, DETENTION AREAS OR GRADING TO KERB. NEIGHBOURING PROPERTIES MUST BE TAKEN INTO CONSIDERATION WITH THE DESIGN OF THE FLOW OF THE STORM WATER.
- SEWER DRAINAGE LINES TO BE CONNECTED TO SEWER MAIN OR IN CASE OF A RURAL PROPERTY, CONNECTED TO A SEPTIC SYSTEM, IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS & LOCAL PCA.
- A QUALIFIED CONTRACTOR SHALL COMPLETE THE FINAL DRAINAGE LAYOUT TO BE SUBMITTED TO THE LOCAL PCA FOR THEIR RECORDS & APPROVAL.
- THE HOT WATER SYSTEM IS AS SPECIFIED WITHIN THE BASIX CERTIFICATE & LOCATION NOTED ON THE FLOOR PLAN.
- WHERE BRICK VENEER CONSTRUCTION IS SPECIFIED, CONTROL JOINTS FOR ARTICULATION MUST BE PROVIDED AT NOMINAL 6.0m MAX. CENTRES OR TO STRUCTURAL ENGINEERS DETAILS.

SECTION NOTES:

- FOR COMPLETE SLAB DETAILS & DESIGN REFER TO ENGINEERS SPECIFICATIONS & DESIGNS.
- TERMITE TREATMENT SHALL BE INCLUDED TO PROTECT AGAINST INFESTATION TO AS3660.1-2000.
- PARTY WALL DETAILS -
 - SEPERATING PARTY WALL MUST NOT BE CROSSED BY TIMBER OR OTHER COMBUSTIBLE BUILDING ELEMENTS WITH THE EXCEPTION OF STEEL ROOFING BATTENS WITH THE DIMENSIONS 75x50mm OR ROOF SARKING, MUST ALSO BE PACKED USING FIRE RESISTANT MATERIAL IN ACCORDANCE WITH THE BCA
 - 25mm GYPROCK SHAFT LINER PANEL BETWEEN STEEL "H" WITH 20-40mm OF SEPERATION BETWEEN FRAMES & GYPROCK SHAFT LINER PANEL.
 - STUDS AT 600mm MAX CENTRES
 - 10mm GYPROCK "SUPERCHEK" PLASTERBOARD WALL LINING TO FACE OF PARTY WALL (GYPROCK EWFA 45743 CSR 360 PARTY WALL SYSTEM)
 - SELECT WALL FRAMING WITH R2.7 GOLD WALL INSULATION BATTS TO BE INSTALLED.
 - FIRE RESISTANT MINERAL FIRE BLANKET TO BE INSTALLED DIRECTLY ABOVE PART WALL TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH THE BCA

RE-ISSUED FOR DA APPROVAL

Rev	Date	Description
C	6/12/23	ISSUED FOR REVIEW
D	16/05/24	ISSUED FOR REVIEW
E	22/08/24	ISSUED FOR DA APPROVAL
F	4/10/24	ISSUED FOR DA APPROVAL
G	18/11/24	RE-ISSUED FOR DA APPROVAL

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- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS



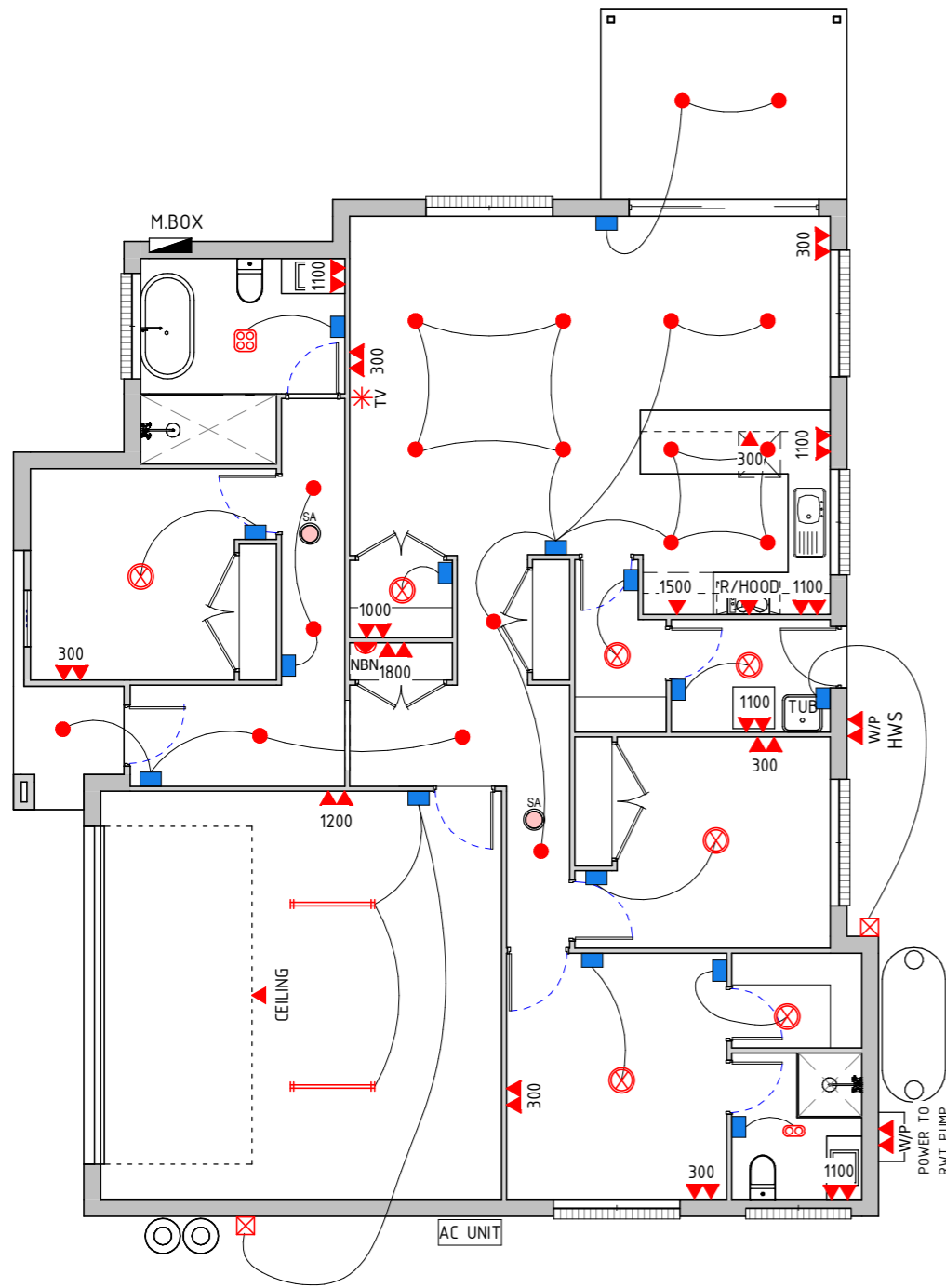
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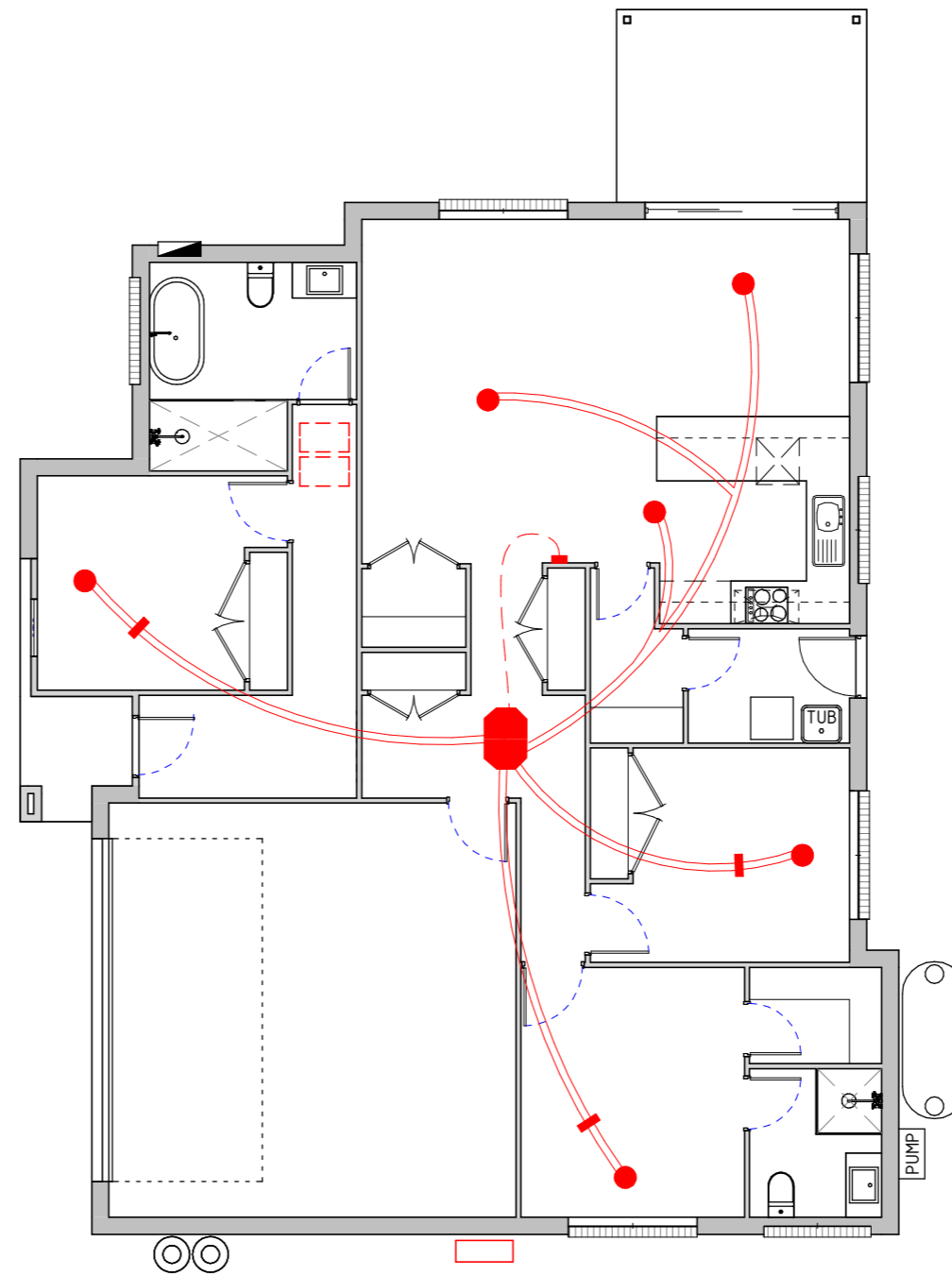
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Drawing Title: TYPICAL SECTION & GENERAL NOTES

Design: LBG
Drawn: G.HACKETT
Check: J.LYNCH
Sheet 08 of 10
Drawing Number: 0501 - A08
Revision: G



14 | DWELLING ONE ELECTRICAL PLAN
SCALE: 1 : 100 (A3)



15 | DWELLING ONE MECHANICAL PLAN
SCALE: 1 : 100 (A3)
DAY / NIGHT ZONED

ELECTRICAL LEGEND:

	SINGLE POWER POINT (DISTANCE ABOVE F.F.L)	(4)
	DOUBLE POWER POINT (DISTANCE ABOVE F.F.L)	(14)
	FLUORESCENT LIGHTS - SINGLE	(2)
	DOWN LIGHT	(19)
	SENSOR LIGHT	(2)
	STANDARD BATTEN	(7)
	TASTIC LIGHT - 4 LIGHT	(1)
	TASTIC LIGHT - 2 LIGHT	(1)
	TELEVISION OUTLET	(1)
	NBN POINT LOCATION	(1)
	EXTERNAL DOUBLE POWER POINT	(2)
	LIGHT SWITCH	(15)
	MECHANICAL EXHAUST FAN	(0)
	SMOKE ALARMS	(2)

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR. ALL WORK SHALL BE IN ACCORDANCE WITH AS/NZ3012 & ALL LICENSING REQUIREMENTS.
2. THE SELECTION OF FITTINGS AND THE LAYOUT TO BE CARRIED OUT BY THE BUILDER & DESIGNED TO THE CLIENTS REQUIREMENTS.
3. ALL APPROVED SMOKE ALARMS/DETECTORS TO BE INSTALLED TO AS3786 BY A LICENSED CONTACTOR.

MECHANICAL LEGEND:

	OUTDOOR AIR CONDITIONER UNIT
	INDOOR SPLIT SYSTEM AIR CONDITIONER UNIT
	ZONES
	SUPPLY AIR GRILLS - ROUND
	RETURN AIR GRILLS
	AIR CONDITIONER UNIT IN ROOF SPACE
	AIR CONDITIONER CONTROL PANEL / REMOTE

MECHANICAL NOTES:

1. ALL MECHANICAL WORKS REGARDING AIR CONDITIONING SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR. ALL WORKS SHALL BE IN ACCORDANCE WITH AUS STANDARDS & ALL LICENSING REQUIREMENTS.
 2. THE SELECTION OF FITTINGS AND THE LAYOUT TO BE CONFIRMED BY THE BUILDER & DESIGNED TO THE CLIENTS REQUIREMENTS.
- GENERAL LAYOUT OF SUPPLY AIR GRILLS ETC IS TO BE VIEWED AS AN EXAMPLE ONLY & CAN CHANGE THROUGHOUT INSTALLATION.

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- PCA DOCUMENTS (WHERE APPLICABLE)
- BASIX CERTIFICATE
- ALL RELEVANT CODES, STANDARDS & APPROVALS

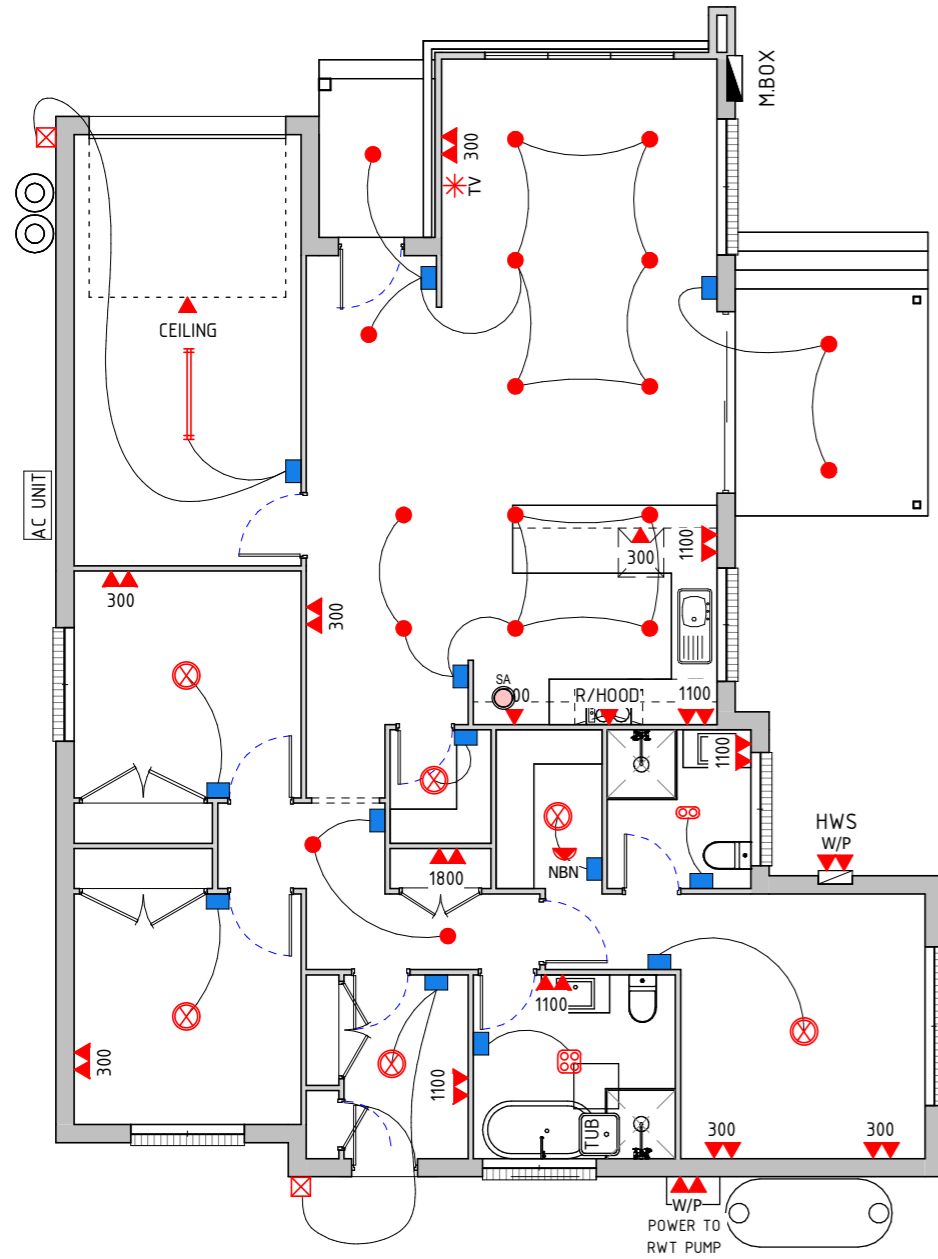


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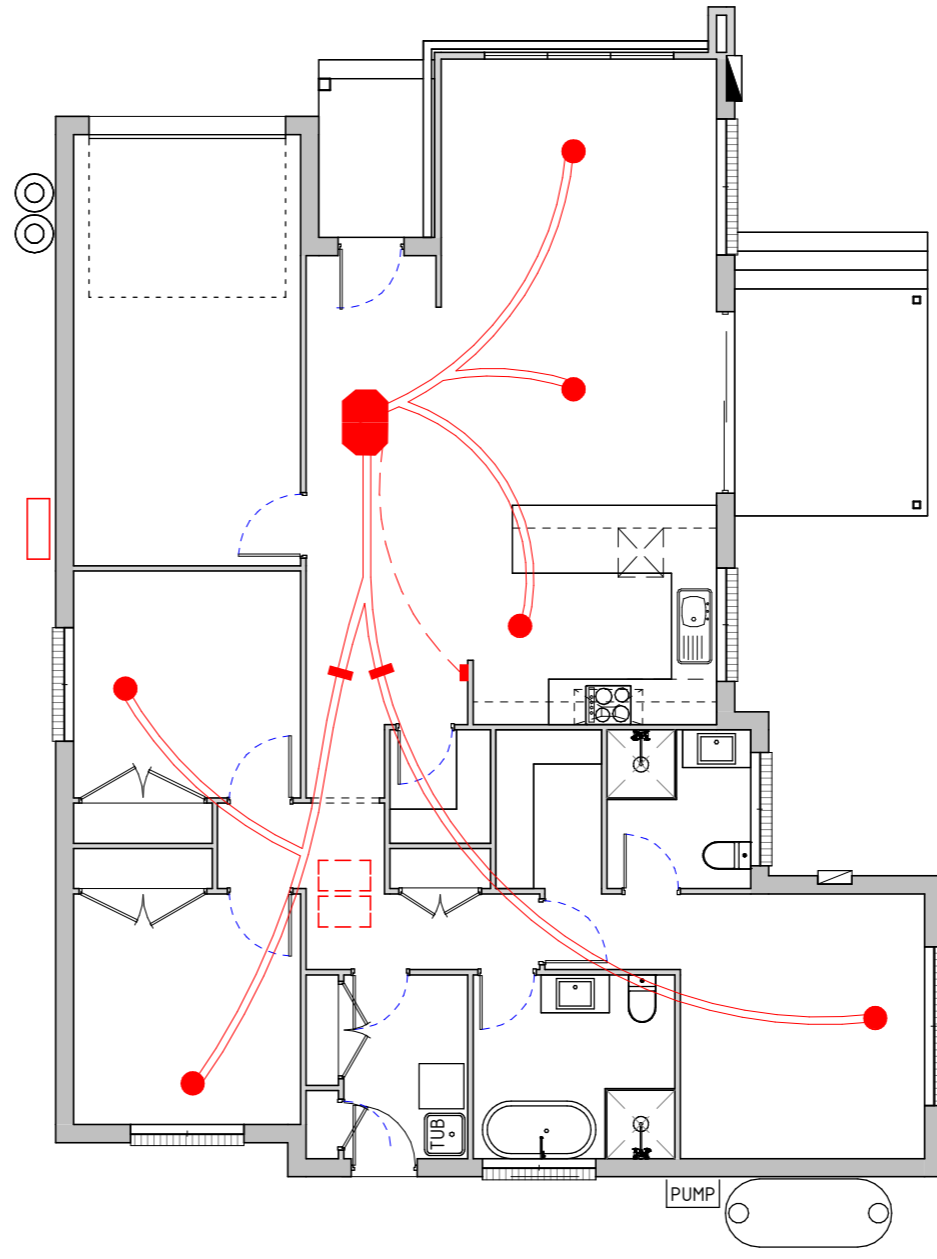


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Drawing Title: **ELECTRICAL & MECHANICAL PLAN - DWELLING ONE**
Design: LBG Sheet 09 of 10
Drawn: G.HACKETT Drawing Number
Check: J.LYNCH 0501 - A09 Revision G



16 | DWELLING TWO ELECTRICAL PLAN
SCALE: 1 : 100 (A3)



17 | DWELLING TWO MECHANICAL PLAN
SCALE: 1 : 100 (A3)
DAY / NIGHT ZONED

ELECTRICAL LEGEND:

300	SINGLE POWER POINT (DISTANCE ABOVE F.F.L)	(4)
300	DOUBLE POWER POINT (DISTANCE ABOVE F.F.L)	(12)
	FLUORESCENT LIGHTS - SINGLE	(1)
●	DOWN LIGHT	(18)
⊗	SENSOR LIGHT	(2)
⊗	STANDARD BATTEN	(7)
⊗	TASTIC LIGHT - 4 LIGHT	(1)
⊗	TASTIC LIGHT - 2 LIGHT	(1)
TV	TELEVISION OUTLET	(1)
NBN	NBN POINT LOCATION	(1)
W/P	EXTERNAL DOUBLE POWER POINT	(2)
■	LIGHT SWITCH	(13)
⊗	MECHANICAL EXHAUST FAN	(0)
⊗	SMOKE ALARMS	(1)

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR. ALL WORK SHALL BE IN ACCORDANCE WITH AS/NZ3012 & ALL LICENSING REQUIREMENTS.
2. THE SELECTION OF FITTINGS AND THE LAYOUT TO BE CARRIED OUT BY THE BUILDER & DESIGNED TO THE CLIENTS REQUIREMENTS.
3. ALL APPROVED SMOKE ALARMS/DETECTORS TO BE INSTALLED TO AS3786 BY A LICENSED CONTRACTOR.

MECHANICAL LEGEND:

□	OUTDOOR AIR CONDITIONER UNIT
■	INDOOR SPLIT SYSTEM AIR CONDITIONER UNIT
-	ZONES
●	SUPPLY AIR GRILLS - ROUND
□	RETURN AIR GRILLS
■	AIR CONDITIONER UNIT IN ROOF SPACE
■	AIR CONDITIONER CONTROL PANEL / REMOTE

MECHANICAL NOTES:

1. ALL MECHANICAL WORKS REGARDING AIR CONDITIONING SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR. ALL WORKS SHALL BE IN ACCORDANCE WITH AUS STANDARDS & ALL LICENSING REQUIREMENTS.
2. THE SELECTION OF FITTINGS AND THE LAYOUT TO BE CONFIRMED BY THE BUILDER & DESIGNED TO THE CLIENTS REQUIREMENTS.
3. GENERAL LAYOUT OF SUPPLY AIR GRILLS ETC IS TO BE VIEWED AS AN EXAMPLE ONLY & CAN CHANGE THROUGHOUT INSTALLATION.

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Drawing Title:	ELECTRICAL & MECHANICAL PLAN - DWELLING TWO		
Design:	LBG	Sheet	10 of 10
Drawn:	G.HACKETT	Drawing Number	
Check:	J.LYNCH	Revision	G