

SITE PLAN
SCALE 1:300

LOT 12
1667 m²
DP 770287



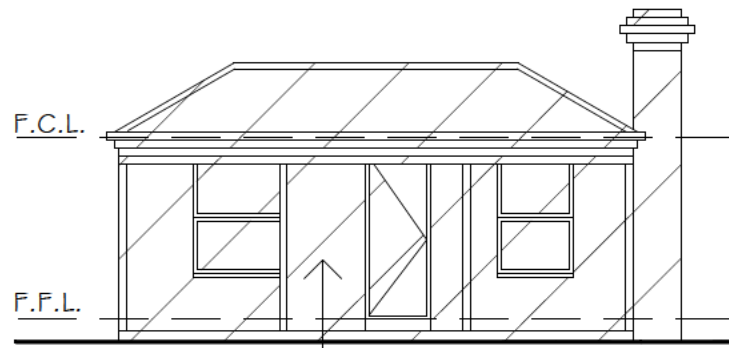
Giselle Denley
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0417 688 326
53 Hill Sixty Drive
Mudgee NSW 2850

REV	DATE	BY	DESCRIPTION
A	DEC 2024	G.D.	ISSUED FOR APPROVAL

NAVIGATE PLANNING

PROPOSED DEVELOPMENT
176 GLADSTONE STREET MUDGEE

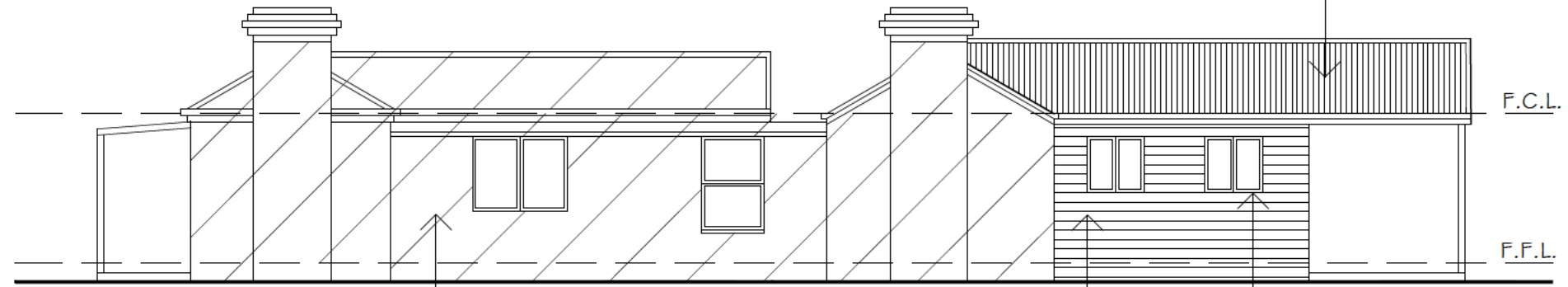
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DRAWN: G.D.	DATE: DEC 2024	3916-A01	A
CKD: M.H.	DATE: DEC 2024		



Existing Residence

SOUTH WEST ELEVATION

SCALE 1:100



Existing Residence

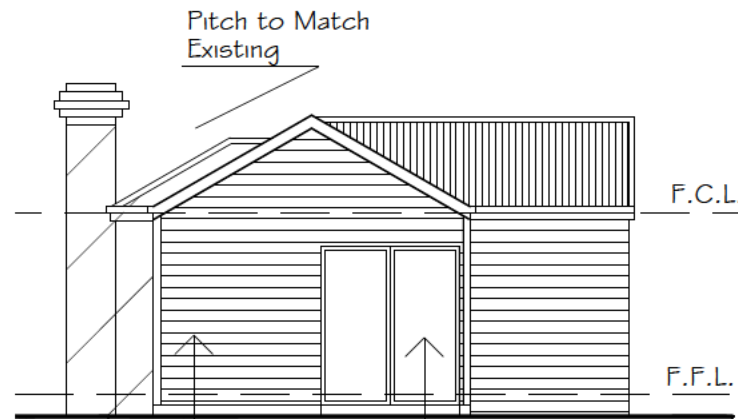
Wall Cladding To Match Existing

Aluminium Sliding Windows

Colorbond Custom Orb Roof Sheeting

SOUTH EAST ELEVATION

SCALE 1:100



Pitch to Match Existing

Wall Cladding To Match Existing

Aluminium Sliding Door

NORTH EAST ELEVATION

SCALE 1:100



Colorbond Custom Orb Roof Sheeting

Ceiling to Match Existing

Aluminium Double Hung Windows

Existing Residence

NORTH WEST ELEVATION

SCALE 1:100

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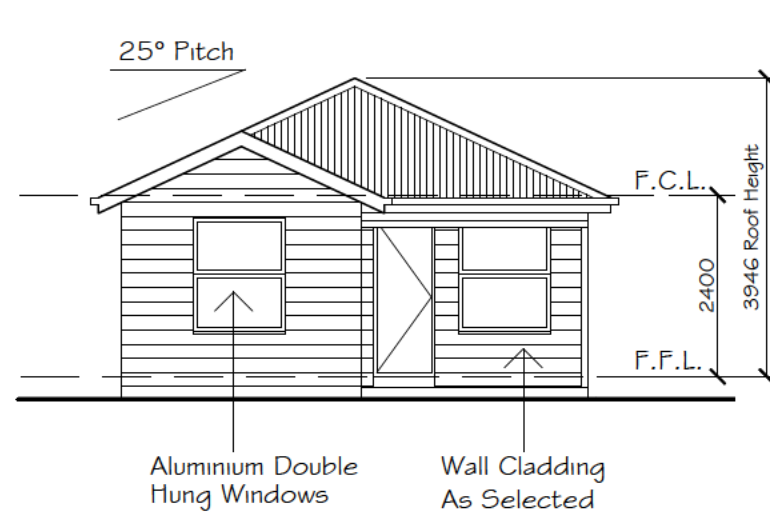
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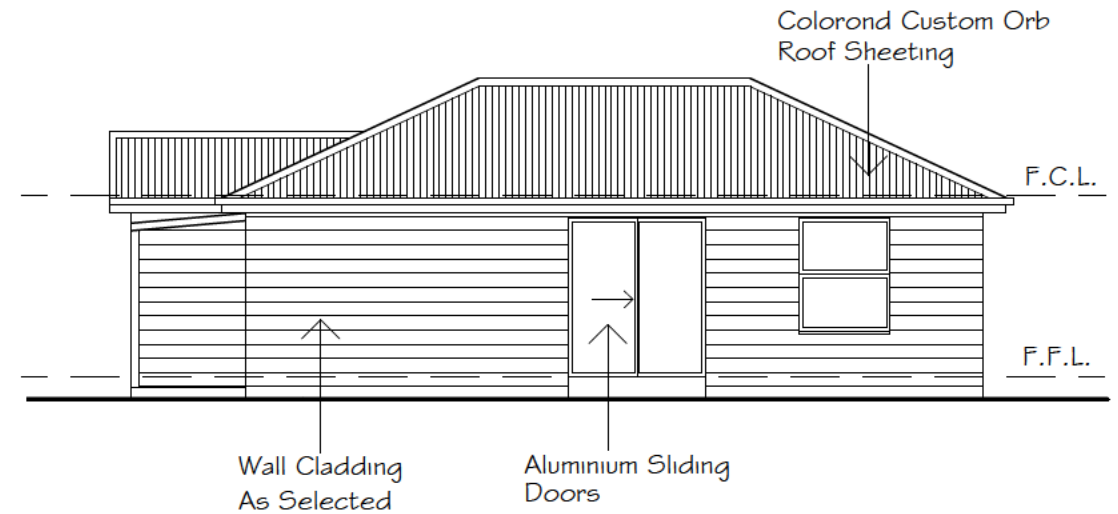
CLIENT: NAVIGATE PLANNING

TITLE: PROPOSED DEVELOPMENT
176 GLADSTONE STREET MUDGEE

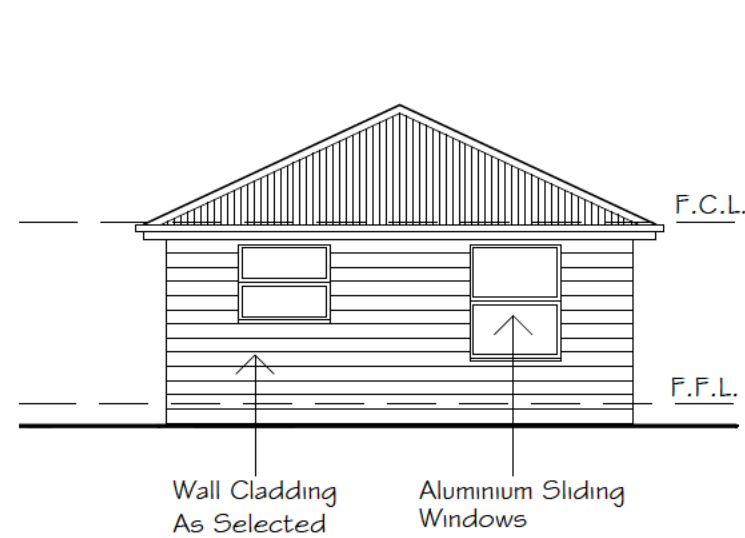
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DRAWN: G.D.	DATE: DEC 2024	3916-A03	A
CKD: M.H.	DATE: DEC 2024		



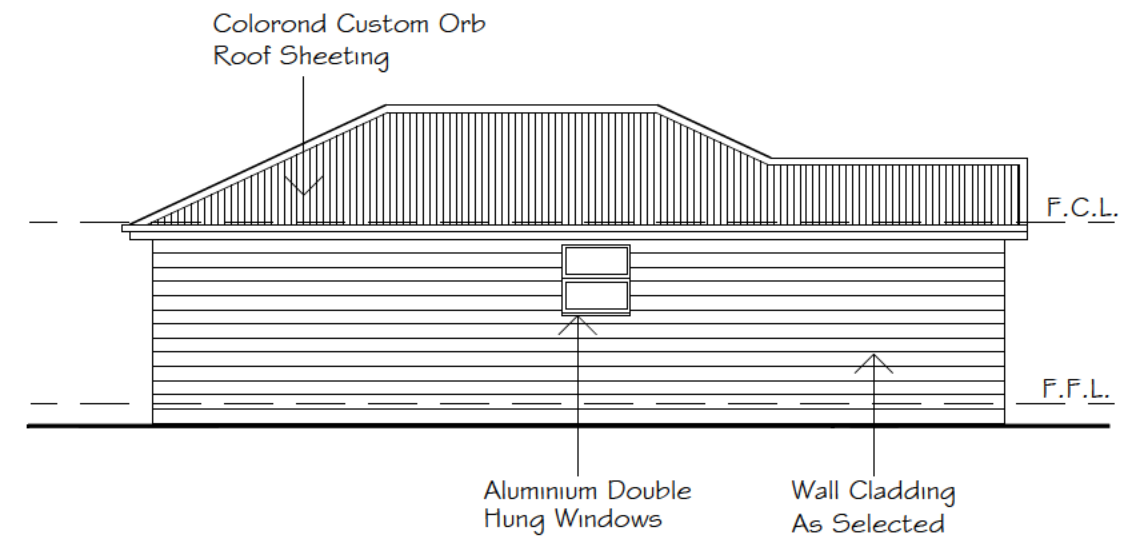
SOUTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100

Floor Areas

Living Areas	=	59.57 m ²
Porch	=	4.50 m ²
Total	=	64.07 m²

BASIX Notes

Water

2000L Rain Water Tank Connected to:

- At least one outdoor tap
- All toilets in the development

Rain Water Tank to collect water from at least 70m² of roof area of the development

Fixtures:

- Showerheads - Minimum 4 Star Rating
- Toilet - Minimum 5 Star Rating
- Kitchen Taps - Minimum 5 Star Rating
- Bathroom Taps - Minimum 5 Star Rating

Energy

- HW - Gas Instantaneous (Rated 5 Star)

Cooling System - Living Area - Air Conditioning 1 Phase (5.0 Star)

- Bedrooms - No Cooling System

Heating System - Living Area - Air Conditioning 1 Phase (5.0 Star)

- Bedrooms - No Heating System

Exhaust Systems:

- 1 Bathroom - Individual Fan - open to the facade (Manual Switch On/Off)
- Kitchen - Individual Fan - open to the facade (Manual Switch On/Off)
- Laundry - Natural ventilation only

Artificial Lighting:

The applicant must ensure that a minimum of 80% of lighting fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Other:

- ☐☐☐ - Gas Cooktop & Electric Oven

A fixed outdoor clothes drying line must be installed as part of the development

Thermal Comfort

See section drawing for Thermal Comfort Commitments

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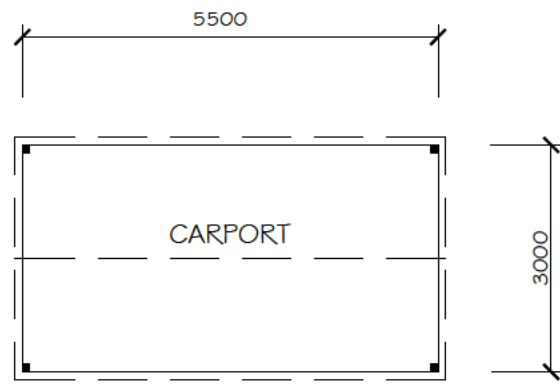
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DRAWN: G.D.	DATE: DEC 2024	3916-A04	A
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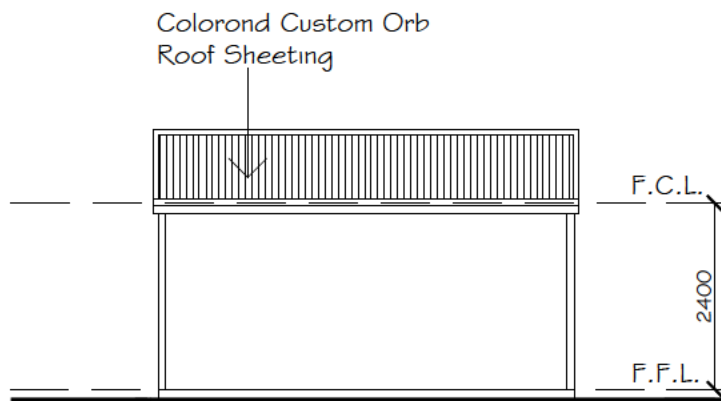
CARPORT FLOOR PLAN

SCALE 1:100

Floor Areas

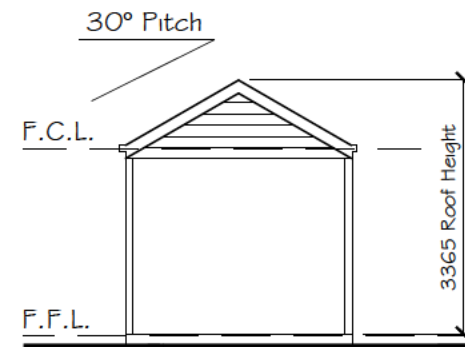
Carport = 16.50 m²

Total = 16.50 m²



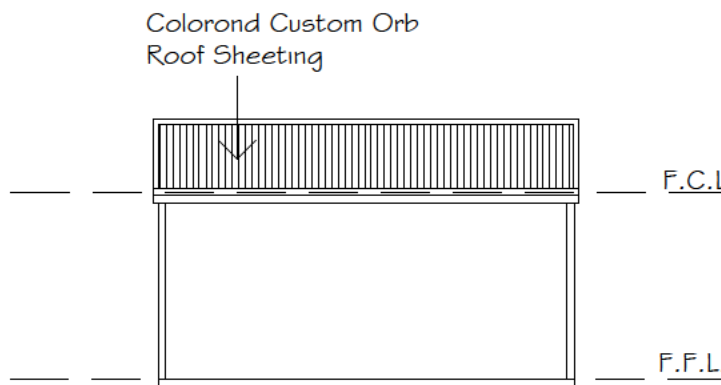
SOUTH WEST ELEVATION

SCALE 1:100



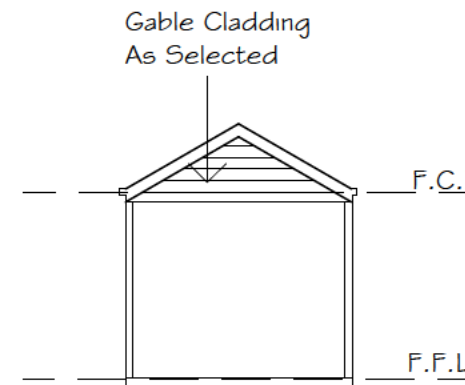
SOUTH EAST ELEVATION

SCALE 1:100



NORTH EAST ELEVATION

SCALE 1:100



NORTH WEST ELEVATION

SCALE 1:100

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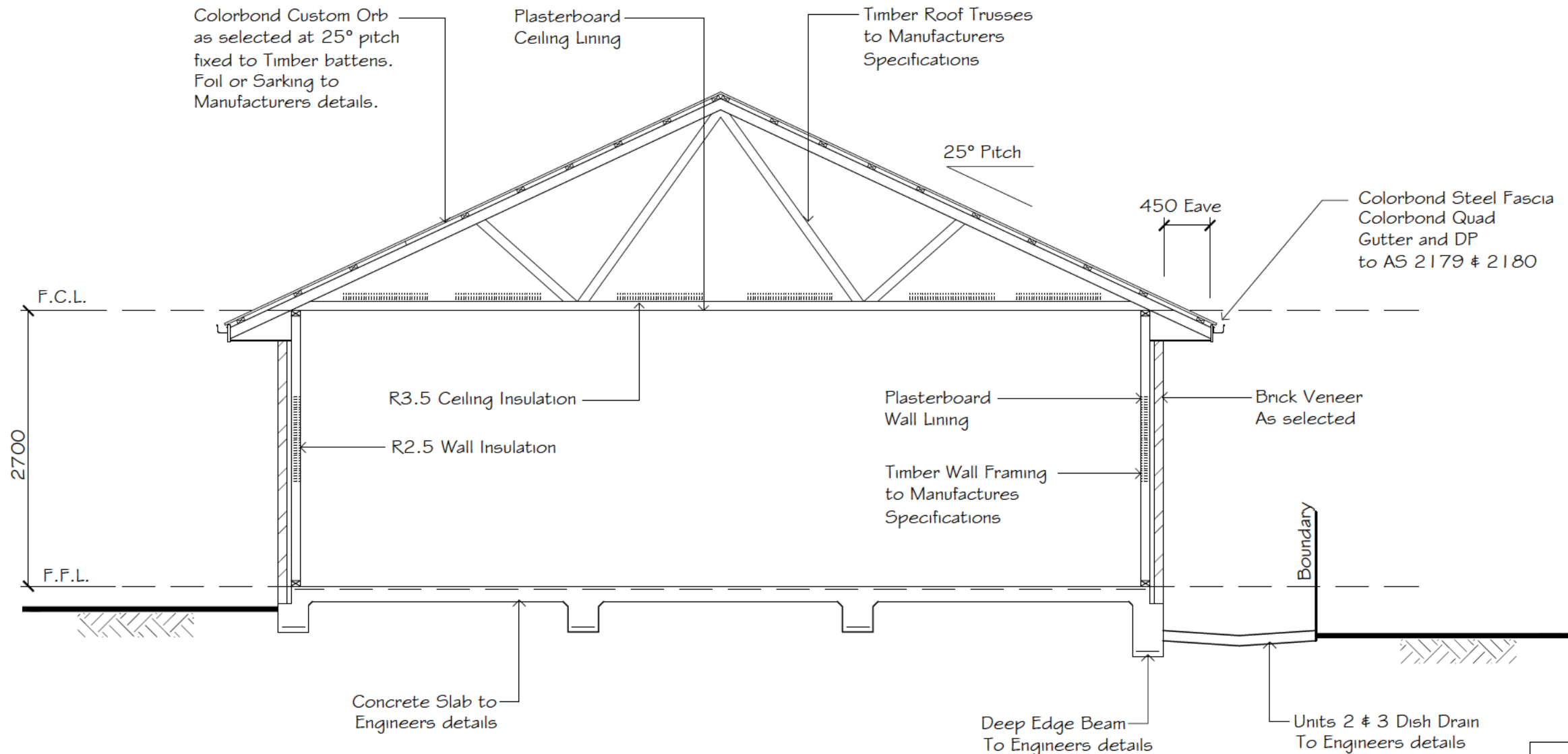
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CKD: M.H.	DATE: DEC 2024		



TYPICAL SECTION
Scale 1:50

B	DEC 2021	G.D.	DISH DRAIN ADDED
A	JUNE 2021	G.D.	ISSUED FOR APPROVAL
REV	DATE	BY	DESCRIPTION

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CLIENT: C AND S CARR			
TITLE: PROPOSED MULTI UNIT DEVELOPMENT 31 COURT STREET MUDGEE			
SCALE: 1:50	FILE: 3708-A03	DWG No.	REV.
DRAWN: G.D.	DATE: JUNE 2021	3708-A08	B
CKD: S.C.	DATE: JUNE 2021		