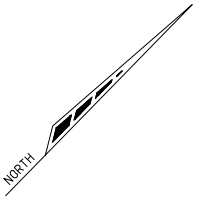


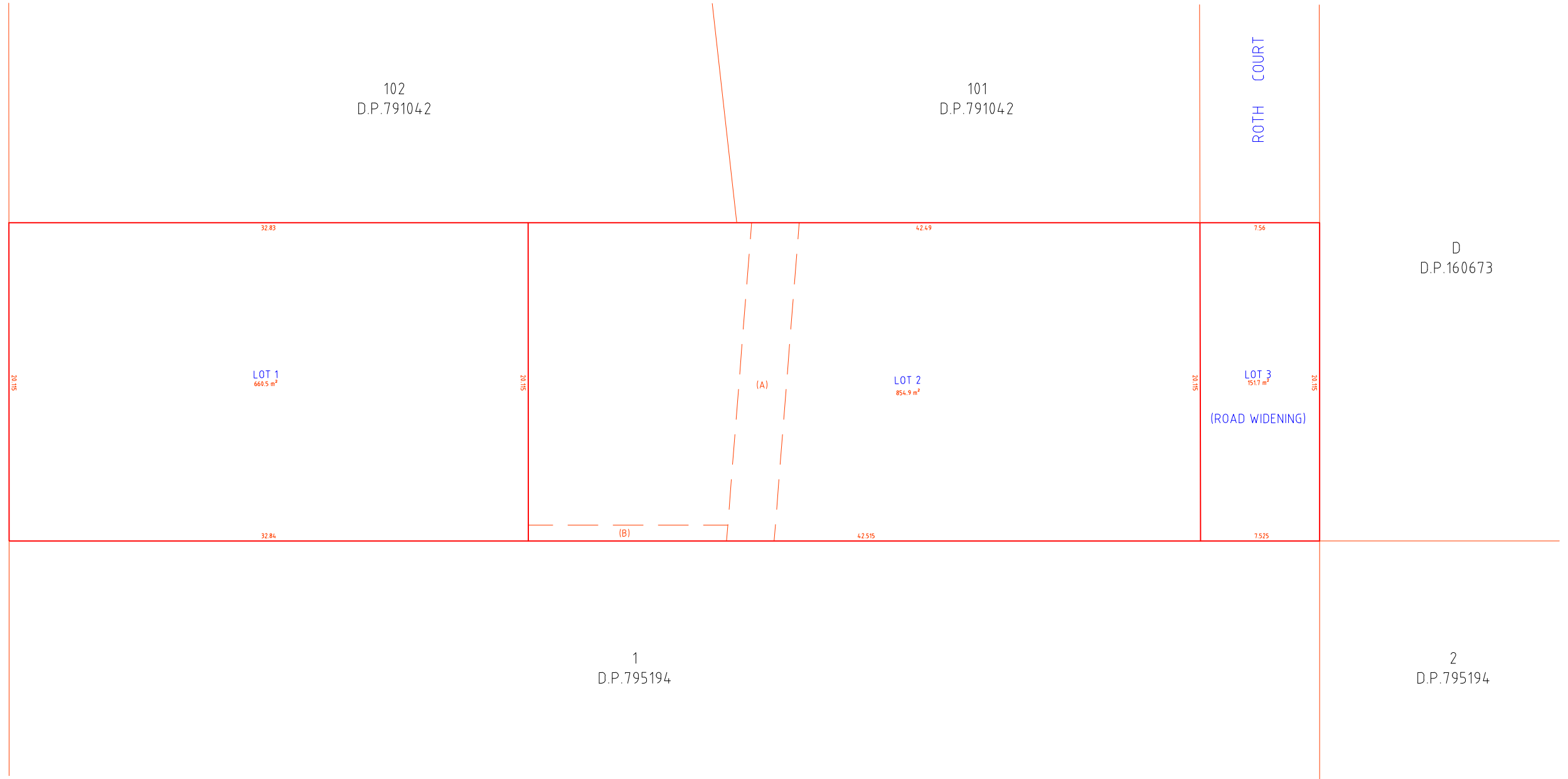
PRELIMINARY ONLY

- THIS PLAN IS PRELIMINARY ONLY AND IS SUBJECT TO COUNCIL APPROVAL, FINAL DESIGN AND FINAL SURVEY.
- ALL AREAS AND DIMENSIONS ARE APPROXIMATE ONLY.



GLADSTONE STREET

ROTH COURT



NOTES:

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. THE BOUNDARIES, EASEMENTS AND AREAS SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES AND EASEMENTS SHOWN HAVE BEEN COMPILED FROM THE RELEVANT DEPOSITED PLANS. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.
4. DURING THE COURSE OF THIS SURVEY NO INVESTIGATION HAS BEEN UNDERTAKEN TO DETERMINE THE EXISTENCE OF ANY POSSIBLE SUBTERRANEAN ENCROACHMENTS.

(A) PROPOSED EASEMENT FOR SEWER 3 WIDE
 (B) PROPOSED EASEMENT FOR SEWER 1 WIDE



Limited Liability by a scheme approved under the Professional Standards Legislation

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TITLE	PROPOSED SUBDIVISION LOT 12 D.P.770287
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H		
G		
F		
E		
D		
C		
B	28.01.25	UPDATED BOUNDARY DIMENSIONS
A	23.01.25	FIRST ISSUE
Rev	Date	Amendment

JOB ADDRESS: 176 GLADSTONE STREET, MUDGEE	REVISION	JOB REF:
CLIENT: NAVIGATE PLANNING	B	15625
SCALE: A1 1:150 A3 1:300	ORIGIN OF LEVELS	DRAWN BY
SURVEY DATE: N/A	N/A	BT
PLAN DATE: 23.01.24		SURVEYOR -
DATUM: N/A		CHECKED JG
CAD REF: 15625DE241018CL		APPROVED JG
	DRAWING REF: 15625-SUB-23.01.25	SHEET No
		1/1