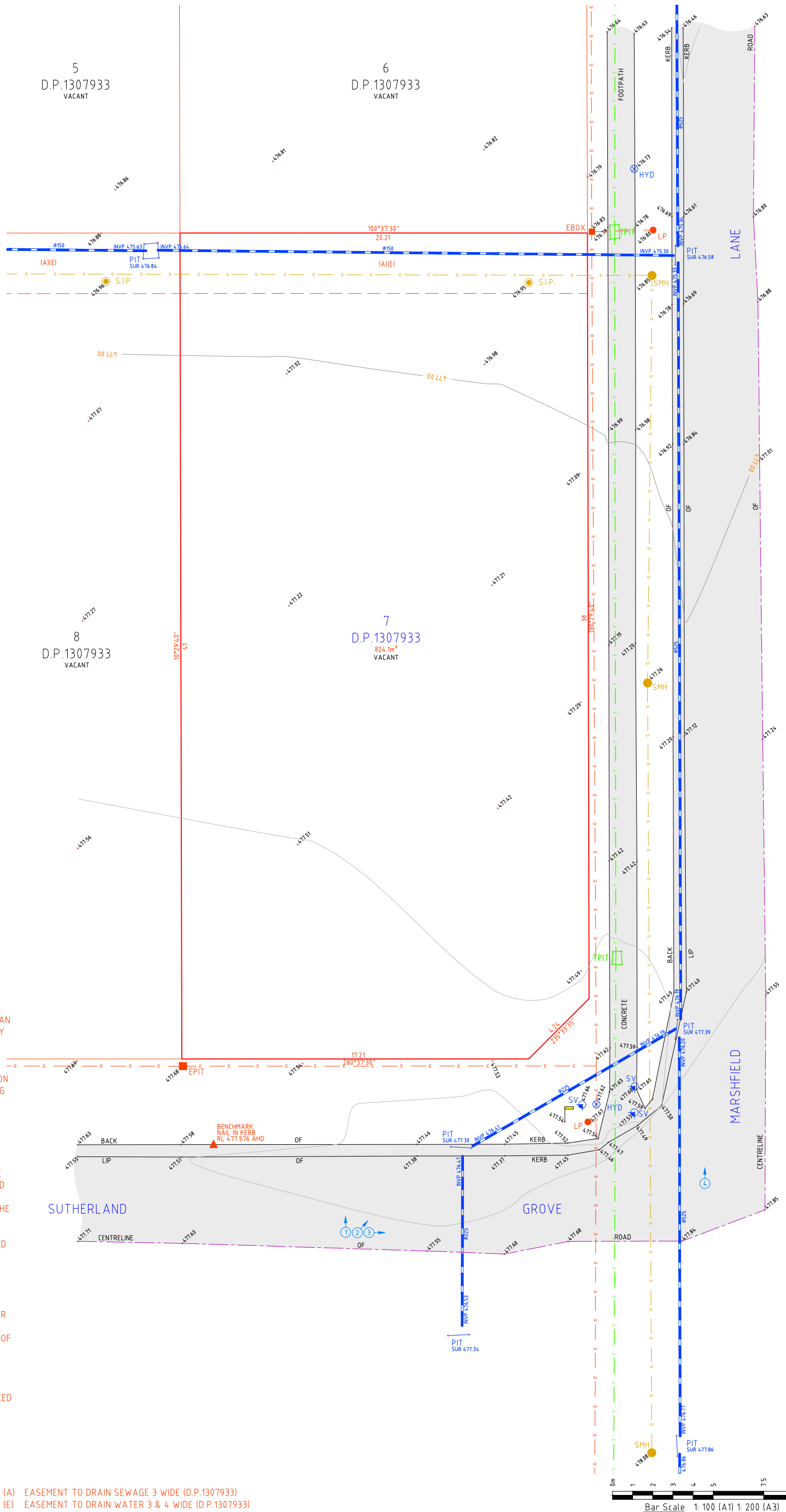


LEGEND

	BOUNDARY LINE
	ADJACENT BOUNDARY
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	STORMWATER PIPE
	UNDERGROUND ELECTRICAL LINE
	UNDERGROUND TELECOMMUNICATIONS LINE
	UNDERGROUND SEWER LINE
	BENCH MARK
	LP LIGHT POLE
	EBOX ELECTRICAL BOX
	PIT DRAINAGE PIT
	SV STOP VALVE
	HYD HYDRANT
	WM WATER METER
	SMH SEWER MAN HOLE
	S.I.P. SEWER INSPECTION PIT
	T.PIT TELECOMMUNICATIONS PIT
	DENOTES SIGNAGE
	PHOTOGRAPH LOCATION AND DIRECTION



NOTES:

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. SERVICES LOCATED ONLY WHERE VISIBLE.
4. SERVICE LINES SHOWN ON THIS PLAN HAVE BEEN SCALED FROM RELEVANT AUTHORITY PLANS. IT IS RECOMMENDED THAT THE LOCATION OF THESE SERVICES SHOULD BE PRECISELY DETERMINED BY POTHOLING PRIOR TO DESIGN & CONSTRUCTION.
5. THE LOCATION OF ALL UNDERGROUND SERVICES WHETHER SHOWN ON THE PLAN OR NOT, SHOULD BE PRECISELY DETERMINED BY POTHOLING BEFORE ANY DESIGN OR CONSTRUCTION WORK COMMENCES AND MEASURES TAKEN TO PROTECT THESE SERVICES FROM DAMAGE.
6. CONTOUR INTERVAL - 0.5m
7. THE BOUNDARIES, EASEMENTS AND AREAS SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES AND EASEMENTS SHOWN HAVE BEEN COMPILED FROM THE RELEVANT DEPOSITED PLANS. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.
8. THE BENCHMARK PROVIDED HAS BEEN PROVIDED FOR DETAILED PLANNING AND DESIGN. THE BENCHMARK PROVIDED IS TO BE CONFIRMED PRIOR TO USE FOR CONSTRUCTION ACTIVITY.
9. DURING THE COURSE OF THIS SURVEY NO INVESTIGATION HAS BEEN UNDERTAKEN TO DETERMINE THE EXISTENCE OF ANY POSSIBLE SUBTERRANEAN ENCROACHMENTS.
10. THIS IS A VISUAL SURVEY ONLY. THE SURVEY DID NOT INCLUDE INACCESSIBLE AREAS, DISMANTLING, REMOVING OR MOVING OBJECTS OR AREAS WITHIN BUILDINGS OR OTHER COVERINGS.
11. THE SUBJECT PROPERTY IS AFFECTED BY A RESTRICTION ON THE USE OF LAND. THE RELEVANT CONDITIONS OF THE RESTRICTIONS SHOULD BE CHECKED FOR COMPLIANCE PRIOR TO DESIGN & CONSTRUCTION. (D.P.1307933)
12. THE SUBJECT PROPERTY IS AFFECTED BY A POSITIVE COVENANT. THE RELEVANT CONDITIONS OF THE POSITIVE COVENANT SHOULD BE CHECKED FOR COMPLIANCE PRIOR TO DESIGN & CONSTRUCTION. (D.P.1307933)

Limited Liability by a scheme approved under the Professional Standards Legislation

H		
G		
F		
E		
D		
C		
B		
A	28.11.24	INITIAL ISSUE
Ed.	Date	Amendment

- (A) EASEMENT TO DRAIN SEWAGE 3 WIDE (D.P.1307933)
- (E) EASEMENT TO DRAIN WATER 3 & 4 WIDE (D.P.1307933)

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TITLE	DETAIL AND CONTOUR SURVEY
	LOT 7 D.P.1307933

JOB ADDRESS:	8 MARSHFIELD LANE, MUDGEE	REV	A	JOB REF:	15781
CLIENT:	COVER CONSTRUCTIONS	SCALE:	A1 1:100 A3 1:200	ORIGIN OF LEVELS	S.S.M.139233
		SURVEY DATE:	18.11.24		RL 490.403
		PLAN DATE:	28.11.24	DRAWN	CJ
		DATUM:	AHD	SURVEYOR	ME
		CAD REF:	15781DE241118	CHECKED	JG
				APPROVED	JG
				DRAWING REF:	15781-DET-28.11.24
				SHEET No	1/1